

# RHYBUDD O GYFARFOD / NOTICE OF MEETING



Awdurdod Parc Cenedlaethol Eryri

Emyr Williams  
Prif Weithredwr  
Awdurdod Parc Cenedlaethol Eryri  
Penrhyndeudraeth  
Gwynedd LL48 6LF  
Ffôn/Phone (01766) 770274  
E.bost/E.mail : [parc@eryri.llyw.cymru](mailto:parc@eryri.llyw.cymru)

Snowdonia National Park Authority

Emyr Williams  
Chief Executive  
Snowdonia National Park Authority  
Penrhyndeudraeth  
Gwynedd LL48 6LF  
Ffacs/Fax (01766)771211  
Gwefan/Website: : [www.eryri.llyw.cymru](http://www.eryri.llyw.cymru)

**Cyfarfod :** *Pwyllgor Cynllunio a Mynediad*

**Dyddiad:** *Dydd Mercher 8 Medi 2021*

**Amser** *10.00 y.b.*

*Anfonir cyfarwyddiadau ymuno at yr Aelodau ar wahân*

**Meeting:** *Planning and Access Committee*

**Date:** *Wednesday 8 September 2021*

**Time:** *10.00 a.m.*

*Joining instructions will be sent to Members separately*

*Aelodau wedi'u penodi gan Gyngor Gwynedd*

*Members appointed by Gwynedd Council*

*Y Cynghorydd / Councillor:*

*Elwyn Edwards, Alwyn Gruffydd, Annwen Hughes,  
Judith Mary Humphreys, Edgar Wyn Owen, Elfed Powell Roberts,  
John Pughe Roberts, Mike Stevens, Gethin Glyn Williams;*

*Aelodau wedi'u penodi gan Gyngor Bwrdeistref Sirol Conwy*

*Members appointed by Conwy County Borough Council*

*Y Cynghorydd / Councillor:*

*Philip Capper, Wyn Ellis-Jones, Ifor Glyn Lloyd;*

*Aelodau wedi'u penodi gan Llywodraeth Cymru*

*Members appointed by The Welsh Government*

*Mr. Brian Angell, Ms. Tracey Evans, Mrs. Sarah Hattle,  
Mr. Tim Jones, Mr Owain Wyn.*

# A G E N D A

1. **Apologies for absence and Chairman's Announcements**  
To receive any apologies for absence and Chairman's announcements.
2. **Declaration of Interest**  
To receive any declaration of interest by any members or officers in respect of any item of business.
3. **Minutes**  
The Chairman shall propose that the minutes of the meeting of this Committee held on 30<sup>th</sup> June 2021 be signed as a true record (copy herewith) and to receive matters arising, for information.
4. **Reports by the Director of Planning and Land Management**  
To submit the reports by the Director of Planning and Land Management on applications received. (Copies herewith)
5. **Report by the Director of Planning and Land Management**  
To submit report by the Director of Planning and Land Management on policy matters. (Copy herewith)
  - (1) SPG 15 - Telecommunications and Masts
6. **Update Reports**  
To submit update reports, for information. (Copies herewith)
7. **Delegated Decisions**  
To submit the list of applications which have been determined in accordance with delegated authority, for information. (Copy herewith)
8. **Appeal Decisions**
  - (1) To submit an oral report by the Director of Planning and Land Management on the Inspector's decision to allow the appeal and planning permission is granted for continuation of the established use of the site as a fallen stock store by the demolition of existing outbuildings and erection of new building measuring 13.5 x 9 metres at Nantcol Kennels, Pentre Gwynfryn, Llanbedr, LL45 2PB. Appeal by Mr. Christopher Bennett against the decision of the Snowdonia National Park Authority.  
(A copy of the Inspector's decision is enclosed - Copy herewith)
  - (2) To submit an oral report by the Director of Planning and Land Management on the Inspector's decision to dismiss the appeal for the development of a proposed new dwelling on existing land associated with Brig y Don, Aberdyfi. Appeal by Mr. Willis against the decision of the Snowdonia National Park Authority.  
(A copy of the Inspector's decision is enclosed - Copy herewith)

**SNOWDONIA NATIONAL PARK PLANNING AND ACCESS COMMITTEE  
WEDNESDAY 30<sup>th</sup> JUNE 2021**

**PRESENT:****Members appointed by Gwynedd Council**

Councillors Elwyn Edwards, Alwyn Gruffydd, Annwen Hughes, Judith Humphreys, Edgar Wyn Owen, Elfed Powell Roberts, John Pughe Roberts;

**Members appointed by Conwy County Borough Council**

Councillor Philip Capper, Wyn Ellis Jones, Ifor Glyn Lloyd;

**Members appointed by the Welsh Government**

Mr. Brian Angell, Ms. Tracey Evans, Mrs. Sarah Hattle, Mr. Owain Wyn;

**Officers**

Mr. G. Iwan Jones, Mr. Jonathan Cawley, Mrs. Jane Jones, Mr. Aled Lloyd, Mr. Sion Roberts, Mrs. Anwen Gaffey.

As the meeting was being held remotely, the Director of Corporate Services stated:-

- that the meeting was subject to Covid-19 Regulations on how the Authority conducts its business, and
  - o that a Notice of the Meeting had been published and the Agenda and reports were available on the Authority's website.
  - o the meeting was not open to the public.
  - o the meeting was being recorded and will be available on the Authority's website.
  - o outlined the procedure for electing a Chair and Vice-Chair for the Planning and Access Committee.

1. **Chairman**

**Councillor Elwyn Edwards was elected Chairman of the Planning and Access Committee.**

The Chairman thanked Members for their support.

2. **Vice-Chairman**

**Councillor Ifor Glyn Lloyd was elected Vice-Chairman of the Planning and Access Committee.**

The Vice-Chairman thanked Members for their support.

3. **Apologies**

Councillors Gethin Glyn Williams; Mr. Tim Jones.

4. **Declaration of Interest**

No declarations of Personal Interests were made in respect of any item.

5. **Minutes**

The minutes of the Planning and Access Committee meeting held on 19<sup>th</sup> May 2021 were accepted and the Chairman signed them as a true record.

6. **Appointment of Members to serve on the Planning and Access Committee Inspection Panels**

Submitted – A report by the Director of Planning and Land Management to appoint Members onto the Authority's Inspection Panels.

**RESOLVED to appoint Members as follows:-**

**Northern Area Inspection Panel**  
(9 Members)

- 1) Cllr. Philip Capper
- 2) Cllr. Alwyn Gruffydd
- 3) Cllr. Wyn Ellis Jones
- 4) Cllr. Ifor Glyn Lloyd
- 5) Cllr. Edgar Wyn Owen
- 6) Cllr. Judith Humphreys
- 7) Mr. Owain Wyn
- 8) Ms. Tracey Evans
- 9) Vacancy

**Southern Area Inspection Panel**  
(9 Members)

- 1) Cllr. Elwyn Edwards
- 2) Cllr. Annwen Hughes
- 3) Cllr. Elfed Powell Roberts
- 4) Cllr. John Pughe Roberts
- 5) Cllr. Gethin Glyn Williams
- 6) Mr. Brian Angell
- 7) Mrs. Sarah Hattle
- 8) Mr. Tim Jones
- 9) Vacancy

7. **Protocol – Public Speaking at the Planning and Access Committee**

Submitted – A report by the Director of Planning and Land Management to update the Public Speaking Protocol.

Reported – The Director of Planning and Land Management presented the report and background.

Members considered the protocol in detail and made the following observations:-

- to include an explanation why the Authority allows public speaking by way of 3 objectives - fairness, transparency, and consistency.
- to consider including a "flow chart" (possibly within the leaflet) to illustrate when the speaker will be asked to address the meeting (as outlined in Section 10);
- although there was a presumption that a committee would meet on Wednesdays - it may be better to amend this to three working days in advance of a meeting?
- the protocol should be flexible to allow speakers to make a video presentation.
- the leaflets referred to in para. 2.3 should be re-distributed at regular intervals.  
The Director of Planning and Land Management agreed that in future, the leaflets would be circulated at the annual meetings with Town and Community Councils.
- that authority should be delegated to the Director of Planning and Land Management, in consultation with the Chairman, to make amendments to the guidance.

**RESOLVED**

1. **to delegate authority to the Director of Planning and Land Management, in consultation with the Chairman, to make the necessary amendments to the guidance.**
2. **subject to including the amendments as outlined, to approve the Public Speaking Protocol.**

8. **Update Reports**

**Submitted** – Update reports by the Director of Planning and Land Management on planning applications and compliance matters.

Please see the Schedule of Planning Decisions attached.

9. **Supplementary Planning Guidance (3): Planning and the Welsh Language**

Submitted – A report by the Planning (Policy) Officer to adopt the draft updated Supplementary Planning Guidance (3): Planning and the Welsh Language.



Reported – The Principal Planning Policy Officer presented the report and background and advised that the Supplementary Planning Guidance had now been updated to reflect the amendments following consultation.

In response to a question, the Principal Planning Policy Officer advised it was not possible to amend the SPG at this time and that revisions can be made when the Local Development Plan was next up for review. The Principal Planning Officer anticipated that census information, specific to the National Parks, will not be available for at least 18 months.

A Member asked officers to consider a grammatical amendment to Appendix B in the Welsh report.

**RESOLVED subject to noting the above amendment, to endorse the changes proposed and adopt the Supplementary Planning Guidance (3): Planning and the Welsh Language for use in determining future planning applications.**

10. **Delegated Decisions**

**Submitted and Received** – List of applications determined in accordance with delegated authority.

**RESOLVED to note the report.**

11. **Planning Appeals**

**Submitted and Received** – copies of the following appeal decisions:-

- (1) Appeal by Mr. Alun Lewis against an enforcement notice issued by the Authority for “without planning permission, operational development to construct a two-storey extension on the eastern gable end of the dwelling”, Nant Cwmbran Isaf, Nasareth, Caernarfon. LL54 6DS (Appeal allowed)

Members discussed the appeal decision in detail and noted the risk to the Snowdonia National Park of having an under-resourced Compliance Service.

**RESOLVED** to ask the Director of Planning and Land Management, in consultation with the Chairman, to write to the Inspector to request further clarification on his decision.

- (2) Appeal by Mr. D. Evans and Miss E. Williams against the Authority’s decision to refuse planning permission for the construction of a dwelling on land by The Cemetery, Dinas Mawddwy. SY20 9LL (Appeal dismissed)
- (3a) Appeal by Mr. R. Evans of Harlech Estates (Commercial) Ltd., against the Authority’s decision to refuse a certificate of lawful use or development (LDC) on land to the North of Ty Canol, Harlech. (Appeal dismissed)
- (3b) Appeal by the Snowdonia National Park Authority for a full award of costs against Mr. R. Evans of Harlech Estates (Commercial ) Ltd. (Appeal dismissed)

**The meeting ended at 11.05**

## SCHEDULE OF PLANNING DECISIONS – 30<sup>th</sup> JUNE 2021

### Item No.

#### 8. Update Reports

- (1) Enforcement Notices, Listed Building Enforcement Notices served under delegated powers and List of Compliance Cases – **For Information**

Arising thereon, Members were provided with further details on the following:-  
NP4/11/ENF397- Land to West of A470(T) junction with A5 near Waterloo Cottage, Betws y Coed

The Acting Planning Manager confirmed that contact had now been made and that discussions were underway.

NP5/54/ENFLB33M – Nannau Hall, Llanfachreth

The Acting Planning Manager provided further information on progress and agreed to present a report and a video of the drone footage to the next meeting of the Planning and Access Committee.

**RESOLVED to note the report.**

- (2) Section 106 Agreements – **For Information**

NP5/69/90C – 5 Ffordd y Felin, Llwyngwriil

Members discussed the trend for removing Section 52 Agreements attached to planning permissions. The Director of Planning and Land Management advised that although the Authority had defended similar applications in the past, and was successful on 7 occasions, officers felt that removing the Section 52 agreement in favour of a commuted sum was the best option in this instance.

Members felt there was currently a momentum for the Welsh Government to address the housing crisis and as such, the Authority should emphasise the need for the Welsh Language to be a planning consideration in future. A statement by the Welsh Government on the housing crisis was awaited, but not yet released, and Members asked the Chairman of the Planning and Access Committee to write to the Welsh Government to raise their concerns.

**RESOLVED to note the report and to ask the Chairman to write to the Welsh Government to raise Members' concerns and seek clarification with regard to release of the statement.**

- (3) Outstanding Applications where more than 13 weeks have elapsed – **For Information**

**RESOLVED to note the report.**

<b><u>Rhif Eitem / Item No.</u></b>	<b><u>Cyfeirnod / Reference No.</u></b>	<b><u>Disgrifiad / Description.</u></b>	<b><u>Swyddog Achos / Case Officer</u></b>
1	NP2/16/6B	Cais ôl-weithredol i gadw siale pren i'w ddefnyddio mewn cysylltiad â'r mân-ddaliad a'r busnes contractwr trydanol, Tan-y-Bryn, Garndolbenmaen / Retrospective application for the retention of a timber chalet for use in connection with a smallholding and electrical contracting business, Tan-y-Bryn, Garndolbenmaen.	Mr. Richard Thomas
2	NP4/11/160V	Ail-ddatblygu'r gwesty yn cynnwys dymchwel rhan, newidiadau ac estyniadau i'r gwesty presennol; codi adeilad defnydd cymysg yn cynnwys lle siopa a chaffi, fflatiau wedi ei gwasanaethu a swît gweithgareddau/cynadleddau; dymchwel yr adeiladau siale presennol; creu mynedfeydd newydd, newidiadau a chau mynediadau presennol; creu nodwedd porth; creu maes parcio gorlifo, newid defnydd tir i'w ddefnyddio ar gyfer pwrpas hamdden a chreu llwyfan golygfa gyda thirlunio cysylltiol, parcio a gwaith arall (Cais Llawn); codi adeilad pwll sba (Cais Amlinellol), The Waterloo Hotel, Betws-y-Coed / Redevelopment of hotel to include partial demolition, alterations and extensions to existing hotel; erection of mixed use development building comprising of retail and café space, serviced apartments and multi-function/conference suite; demolition of existing chalet buildings; creation of new accesses, alterations and closures to existing access points; creation of gateway feature; creation of overflow car parking; change of use of land to be used for recreational purposes and creation of viewing platform together with associated landscaping, parking and other works (Full Application); and erection of spa pool building (Outline Application), The Waterloo Hotel, Betws-y-Coed.	Mr. Richard Thomas

3	NP5/58/598B	Newid defnydd tir o gae chwarae i faes parcio gyda 11 o lefydd parcio ac addasu'r mynediad presennol i gerddwyr i greu mynediad i gerbydau, Cae Chwarae Llidiart, Dyffryn Ardudwy / Change of use of land from play area to car park to accommodate 11 parking spaces and alterations to existing pedestrian access to create vehicular access, Llidiart Playing field, Dyffryn Ardudwy.	Mr. Aled Lloyd
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**Snowdonia National Park Authority    Date: 08/09/2021**  
**– Planning & Access Committee**

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**Application Number:** NP2/16/6B

**Date Application Registered:** 10/05/21

**Community:** Dolbenmaen

**Grid Reference:** 250014 344453

**Case Officer:** Mr Richard Thomas

**Location:**

Tan-y-Bryn, Garndolbenmaen.

**Applicant:**

Paul Filby  
 Tan y Bryn  
 Garndolbenmaen  
 LL51 9UQ

**Description:**

Retrospective application for the retention of a timber chalet for use in connection with a smallholding and electrical contracting business.

**Summary of the Recommendation:**

To **GRANT** permission subject to conditions relating to:

- Accordance with approved plans

**Reason(s) Application Reported to Committee:**

Officer's recommendation contrary to Community Council representation.

**Wellbeing of Future Generations Act (WBFG):**

Account has been taken of the WBFG Act in the consideration of this application and in the recommendation to the Planning and Access Committee.

**Land Designations / Constraints:**

Open countryside

**Site Description:**

The site subject to this retrospective application is situated around 400 metres to the northeast of Garndolbenmaen within a small cluster of dispersed rural residential properties and less than 50 metres from the applicants dwelling. Now characterised by an area for vehicular parking and turning the site is enclosed from the adjacent agricultural land by post and rail fencing to the rear is a stone wall and the site is screened by mature trees.

The site is accessed from the public highway by an existing gated and improved access.

### Relevant Planning Policies:

Eryri Local Development Plan 2016-2031

<b>Policy No</b>	<b>Policy</b>
SP A	National Park Purposes and Sustainable Development
SP C	Spatial Development Strategy
DP 1	General Development Principles
DP6	Sustainable Design and Materials
SPH	A Sustainable Rural Economy
DP19	New Employment and Training Development

### Statutory Consultations:

Community Council	Objection
Highways Authority	No objections, subject to conditions

### Response to consultations:

The Community Council have raised an objection to this application on the basis of vans visiting the property early in the mornings disturbing near residents and that the road is unsuitable for vans on regular trips.

The applicant was requested to respond to these concerns and provided the following information:

- We do not have customers at the office
- There is a maximum of three potential office staff present at one time but usually one.
- We do not have contractors at the office
- Most of our materials are delivered to site or the engineers collect direct from the wholesalers (We cannot afford to keep a large amount of stock)
- Deliveries to Tan Y Bryn for the electrical company do not and would not exceed 2 per week but is often less
- Our engineers are home based and they keep their work vehicles at home as there is a potential for late call outs. All our engineers are sent specific job requirements and site addresses through three mediums. Whatsapp, Text and Simpro (Our CRM cloud based management system) It is very rare that they come to the office (Occasionally they come to pick up drawings etc) All our interaction with the engineers is site based.

The Highways Authority have responded to the Community Council concerns with the following comments:

*'From a highways perspective the chalet makes little difference to the local highway network as, if as the applicant states, the business already operates from the address moving the office from the main house to a chalet, with no proposed [sic] increase in staff or deliveries shouldn't change the current traffic patterns. The local highway network isn't great and the roads are certainly rural in nature but there area couple of passing places on the way to the site from the village. If the business already operates legitimately from the address then I see little grounds for highway to have concerns about the chalet.'*

### **Response to Publicity:**

The application was advertised by way of a site notice and by letter to nearby neighbours. Despite the Community Council concerns over loss of amenity to near neighbours no responses or objections were received from neighbours.

### **Assessment**

#### **Policy Considerations**

- 1.1 Initial policy consideration will be to look at ELDP policy C: Spatial Development Strategy and the criteria for the relocation of an existing business from within the existing residential property to a location within 50m of the dwelling Tan y Bryn.
- 1.2 Policy C states at criterion xii that within a secondary settlement, as is the case for Garndolbenmaen, '*small scale employment development to support existing or provide new employment opportunities*' can be supported if it is accordance with ELDP policy 19.
- 1.3 Policy 19 provides the criteria based guidance where the expansion of an existing business could be viewed favourably in or adjacent to a secondary settlement such as Garndolbenmaen. At criterion ii to policy 19 it is expressed that the expansion of a small-scale employment development to support an existing business can be viewed favourably.
- 1.4 If it is to be accepted that the criteria of policy 19 are satisfied, we then look to the siting and use of materials in this case.
- 1.5 The proposed siting is unobtrusive and would not harm any special qualities of the National Park.
- 1.6 The Highways Authority, whilst acknowledging the restricted access, have not raised any objections. They have also acknowledged that the business has legitimately been operating from the applicants dwelling for several years.

- 1.7 As for the scale, design and use of materials the chalet is no larger than is required for the proposed use and houses three work stations and has a floor area of under 19sqm and an overall height to ridge of 2.5m.
- 1.8 The timber construction with felt roof does not out look of place in this location and is unobtrusively located.
- 1.9 The applicant has in addition to the use of the building in association with the electrical contracting business stated that the office will be utilised to assist in the running of a smallholding of 9.5 acres attached to Tan y Bryn.

## **2. Conclusions**

- 2.1 The applicant has declared that the business (Cambrian Electrical) has been in operation since 1987, currently employs 7 persons and has been run up-until now from an office within the adjacent dwelling Tan y Bryn.
- 2.2 In addition to the applicant a full-time office manager is employed and located at the chalet with working hours between 08:00 hrs and 16:30 hrs. A part time accounts clerk is employed and located at this chalet for two days a week between the hours of 09:00hrs and 16:30 hrs.
- 2.3 It is considered that given the small number of people employed and located at this location and the small scale of the building this development can be viewed as small in scale for the purposes of considerations of a business under ELDP policies C and 19.
- 2.4 This building has been located discretely and unobtrusively and would not harm any neighbouring amenity or National Park Special Quality.
- 2.5 Given the above it is considered that this application does not conflict with ELDP policy and can be viewed favourably.

## **Background Papers in Document Bundle No.1: No**

## **3. Recommendation**

- 3.1 To **APPROVE** this application subject to the following condition:
  1. The development hereby permitted shall be carried out in accordance with the following approved plans:
    - 2013.10: Location Plan
    - 2013.20: Plans and elevations
    - 01 Rev A: Office Layout


Reason for Condition:

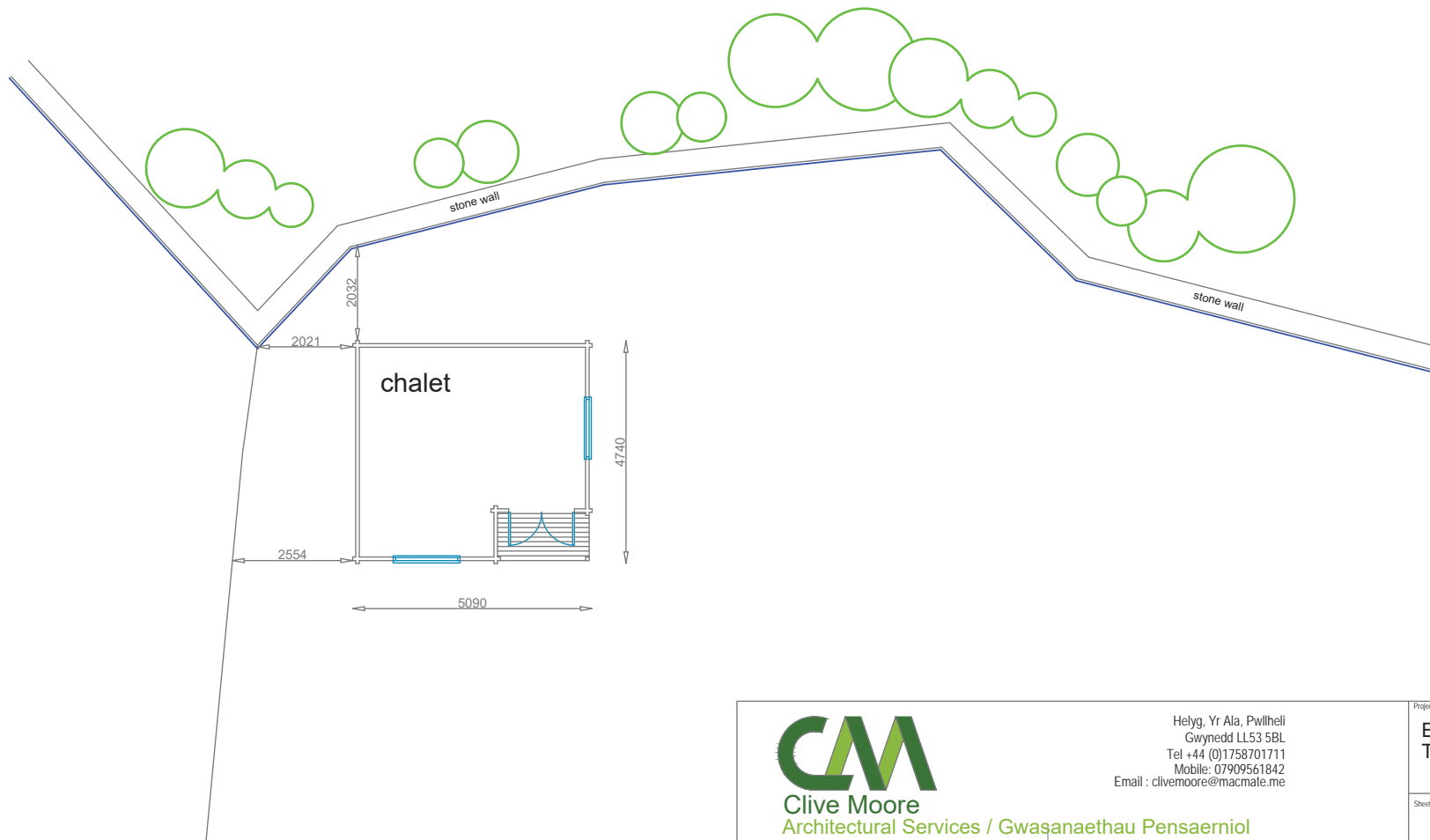
1. To define the permission and for the avoidance of doubt.



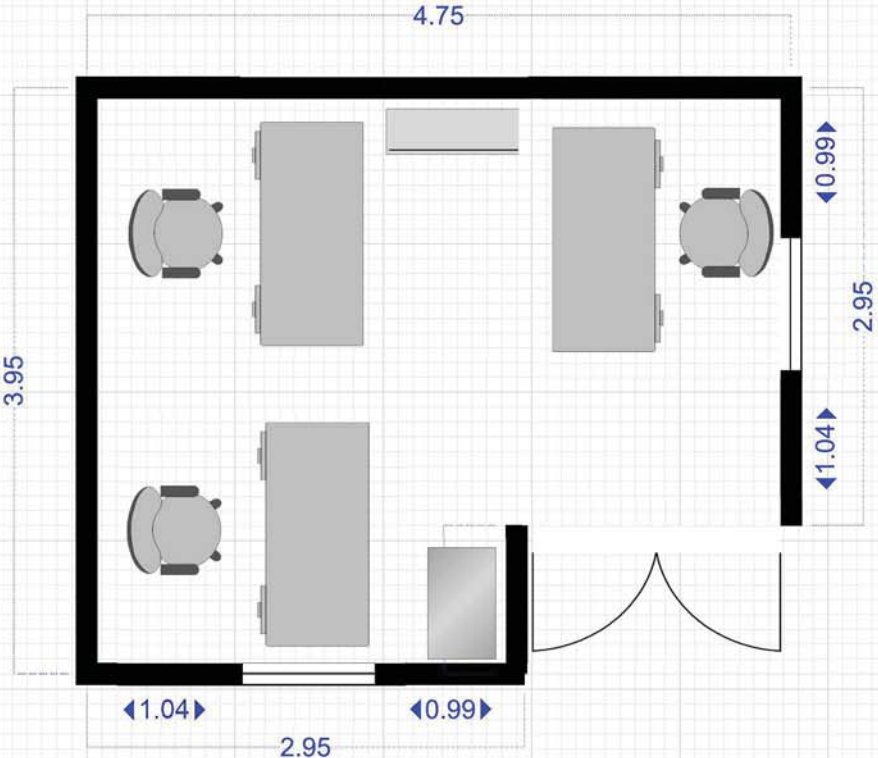


Ordnance Survey, (c) Crown Copyright 2020. All rights reserved. Licence number 100022432

 <p><b>Clive Moore</b> Architectural Services / Gwasanaethau Pensaerniol</p>		Helyg, Yr Ala, Pwllhell Gwynedd LL53 5BL Tel +44 (0)1758701711 Mobile: 07909561842 Email : clivemoore@macmate.me			Project Application for retention of existing timber chalet . Tan y Bryn, Garndolbenmaen			
					Sheet Location Plan			
Drawn CM	Designed CM	Approved CM	Revision Date 19.12.20	Project No. 2013	Scale 1:1250	Drawing No. 2013.10	Sheet No. 02	Revision



 <p><b>Clive Moore</b> Architectural Services / Gwasanaethau Pensaernïol</p>		Helyg, Yr Ala, Pwllheli Gwynedd LL53 5BL Tel +44 (0)1758701711 Mobile: 07909561842 Email : clivemoore@macmate.me			Project	
					Existing timber chalet, Tan y Bryn, Garndolbenmaen	
Sheet		Plans and elevations		Revision		
Drawn	Designed	Revision Date	Project No.	Scale	Drawing No.	Sheet No.
CM	CM	19.02.20	2013	1:100	2013.20	02



Site: <b>Tan Y Bryn Office</b>	Drawing: <b>01</b>	Project: <b>01</b>	Drawn: <b>Paul Filby</b>	Notes:	<b>Tan Y Bryn Garndolbenmaen LL51 9UQ</b>
Title: <b>Office layout</b>	Scale: <b>1:50</b>	Date: <b>01/30/2017</b>	Rev: <b>A</b>		

**Snowdonia National Park Authority    Date: 08/09/2021**  
**– Planning & Access Committee**

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**Application Number:** NP4/11/160V

**Date Application Registered:** 16/03/21

**Community:** Betws y Coed

**Grid Reference:** 279745 355890

**Case Officer:** Mr Richard Thomas

**Location:**

The Waterloo Hotel, Betws-y-Coed.

**Applicant:**

The Royal Oak Hotel (Betws-y-Coed) Ltd.  
 Betws y Coed  
 Conwy  
 LL24 0AR

**Description:**

Redevelopment of hotel to include partial demolition, alterations and extensions to existing hotel; erection of mixed use development building comprising of retail and café space, serviced apartments and multi-function/conference suite; demolition of existing chalet buildings; creation of new accesses, alterations and closures to existing access points; creation of gateway feature; creation of overflow car parking; change of use of land to be used for recreational purposes and creation of viewing platform together with associated landscaping, parking and other works (Full Application); and erection of spa pool building (Outline Application).

**Summary of the Recommendation:**

To **Authorise** the Director of Planning and Land Management to determine this application.

**Reason(s) Application Reported to Committee:  
 Scheme of Delegation**

Scale of development

**Wellbeing of Future Generations Act (WBFG):**

Account has been taken of the WBFG Act in the consideration of this application and in the recommendation to the Planning and Access Committee.

**Land Designations / Constraints:**

Open countryside  
 Adjacent to housing development boundary

Outside retail area  
PRoW in close proximity  
TPO in close proximity  
Partially within C2 Flood Risk Zone  
Heritage Assets in close proximity

### **Site Description:**

The Waterloo Hotel occupies a large site either side of the A5 Trunk Road on the south-western approaches to Betws y Coed. The proposed development site comprises, to the west of the A5, the existing hotel/spa complex, an area of rough ground formerly occupied by a filling station and café now utilised as overflow carparking and land adjacent to a private dwelling. The western boundary this area is defined by the main railway line linking Blaenau Ffestiniog with Llandudno with steeply rising wooded ground beyond. To the east of the A5 there is an additional car parking area in association with the Hotel and undeveloped grazing land bordered by the Afon Conwy.

The complex currently offers 11 bedrooms within the Hotel and a further 37 bedrooms within lodges to the rear of the hotel. In association with the accommodation and located within the existing Hotel there is a spa and swimming pool facility.

### **Proposed Development:**

This application proposes over 4 phases a significant redevelopment of the Waterloo Hotel complex and adjoining land which increases its capacity to accommodate visitors and enhance their experience and comprises:

- partial demolition, alterations and extensions to the existing hotel,
- erection of mixed-use development building comprising of retail and café space, serviced apartments and multi-function/conference suite,
- demolition of existing chalet buildings,
- creation of new accesses, alterations and closures to existing access points,
- creation of gateway feature,
- creation of overflow car parking,
- change of use of land to be used for recreational purposes and creation of viewing platform together with associated landscaping, parking and other works,
- an outline application for the erection of thermal spa and pool building.

The development is proposed over the following phases:

Phase 1: Mixed use development and associated parking through to completion.

Phase 2: Main hotel extension, reconfigured parking, entrance features, change of use of land for recreational purposes and creation of viewing platform east of A5.

Phase 3: Demolition of lower chalet block and creation of additional parking area and soft landscaping.

Phase 4: Thermal Spa and Pool Building (outline application).

**Relevant Planning Policies:**

<b>Policy No</b>	<b>Policy</b>
<b>ELDP</b>	
SP A	National Park Purposes and Sustainable Development
SP B	Major Development
SP C	Spatial Development Strategy
DP 1	General Development Principles
SP D	Natural Environment
SP Ff	Historic Environment
DP 18	The Welsh Language and the Social and Cultural Fabric of Communities
SP I	Tourism
DP 24	Retail
DP 28	New Build Serviced Accommodation
<b>Future Wales 2040</b>	
Policy 4	Supporting Rural Communities
Policy 5	Supporting Rural Economy

**Statutory Consultations:**

Community Council	No objections
Highways Authority	No objections, subject to conditions
Highways Agency	No objections, subject to conditions
Natural Resources Wales	Further protected survey required, and conditions suggested
Environmental Health	No objections subject to conditions
Network Rail	No objections, advisory notes provided
Dwr Cymru	No objections subject to conditions and advisory notes
GAPS	No objections
SAB	No comments received

**Response to Publicity:**

The application was advertised by way of multiple site notices at various points around the development site and by letter to nearby neighbours.

This publicity resulted in three letters/e-mails being received none of which expressed any objection to the proposed scheme. However, concerns were raised over the following matters:

- Delays along the A5 should be avoided during construction

- Hours of construction work should be regulated
- Parking restrictions along the A5 should be enforced
- Consider there may be insufficient off-street parking for the use
- The Public Right of Way through the site should be maintained at all times
- Consider there may be a loss of amenity to properties to the east of Afon Conwy

## **Assessment**

### **Phase 1:** Mixed use development and associated parking through to completion

- 1.1 This proposal site is located adjacent to the A5 Trunk Road on land adjacent to the Waterloo Hotel. The site is currently utilised as an overflow car park for the Waterloo hotel but was occupied by a petrol filling station and restaurant until it was demolished circa 2007.
- 1.2 Planning permission was granted by this Authority for the demolition of the filling station and restaurant and the erection of a 31 bedroom Hotel above two retail units with associated car parking in 2007. That permission remains extant and represents a fallback position, as a material start was made on the proposal in accordance with the conditioned timescale and the approved plans.
- 1.3 That permission was superseded in 2018 by the approval of an amended scheme. The amended scheme followed the same principles as that which received planning approval in 2007 in that it showed visitor accommodation over retail units with refreshments outlet, landscaping, carparking and improved vehicular access.
- 1.4 The current proposal and subject to this application follows the same general principles as that previously granted planning approval with 20 serviced accommodation rooms over two floors (1st and 2nd) above retail outlets, cookery school, café and coffee shop on the ground floor. Above the accommodation there is proposed a multi-purpose conference space and upper roof terrace.
- 1.5 The elevations of this proposed building show a recognition to the architectural style prevalent in Betws y Coed with steep natural mineral slated gabled roofline interspersed with dormer windows.
- 1.6 The submitted plans show a mix of proposed walling materials. To the front elevation there is a mix of natural stone – field stones/granite and slate, render, timber, zinc, and panels of a living/green walling. Windows are specified as anti-glare.

- 1.7 As this part of the proposed development can generally be described as a design amendment to a previously approved and extant development the principle of this type and form of development at this location would be difficult to object to. Consequently, it is the form, design and finish of this proposal that should be primarily considered at this time.
- 1.8 Whilst this site falls outside the main built-up area and defined retail area for Betws y Coed it does fall between a long-established Hotel and residential properties. The site is a brownfield site having previously been occupied by a petrol filling station and café/restaurant outlet. As a result, it can be viewed as a suitable site for redevelopment, a principle that was set in approving the previous application on the site.
- 1.9 This phase will also include improvements to the two vehicular access points, reconfigured carparking areas to the front and rear of the mixed-use building and provide improved access for the neighbouring residential properties. The soft landscaping plan shows a landscaped buffer between the A5 and the carpark as a part of this phase of the development.

**Phase 2:** Main hotel extensions, reconfigured parking, entrance features, change of use of land for recreational purposes and creation of viewing platform east of A5.

- 1.10 Following on from the development of the mixed use building this application shows a significant redevelopment of the existing main hotel building. Continuing the design styling proposed for the mixed use building the proposal shows a significant front extension which at its highest is five floors in height. Bringing the front elevation closer to the A5 with a central signature tower with a height of 22m in height harking back to the original Victorian era Waterloo Hotel, demolished a number of years ago and replaced by the current Hotel building.
- 1.11 The existing spa/pool element of the existing building is shown to be retained.
- 1.12 With characteristic Betws y Coed slate roofed gables facing onto the A5 with roof dormers the styling again has a contemporary twist with a mix of materials as shown for the phase 1 mixed-use building.
- 1.13 Within this phase of the development and to the east of the A5 there is proposed a reorganisation and extension of the carparking arrangements. In addition, the proposal shows a walkway from the carpark with landscape features leading to a viewing platform adjacent to and beneath the Grade I listed Waterloo Bridge. Currently utilised as general grazing land the area between the A5 and Afon Conwy will be landscaped with additional tree planting.



**Phase 3:** Demolition of lower chalet block and creation of additional parking area

- 1.14 Following the completion of the phase 2 development it is proposed then to demolish the range of somewhat dated chalet buildings to the rear of the site which will then facilitate the clearing of this area of the site to establish additional carparking and soft landscaping.

**Phase 4:** Outline proposal for Thermal Spa and Pool Building

- 1.15 The applicant is also seeking outline approval for the siting of a new thermal spa building, details of which are still to be determined. All matters are reserved for future submission and determination which, if approved would have to be submitted within a specified timescale.

**2. Policy Considerations**

- 2.1 In terms of the form of development for the mixed-use building, what is proposed is comparable to that previously granted permission. The design and finishing materials are a feature that differ from that previously approved and are to be scrutinised.
- 2.2 Whilst this site falls outside the main built-up area and defined retail area for Betws y Coed it does fall between a long-established Hotel and residential properties. The site is a brownfield site having previously been occupied by a petrol filling station and café/restaurant outlet. As a result, it can be viewed as a suitable site for redevelopment, a principle that was set in approving the previous application on the site.
- 2.3 Consequently the principal policies of the Eryri Local Development Plan in the consideration of this application are primarily:
- SP A: National Park Purposes and Sustainable Development
  - DP 1: General Development Principles
  - DP 6: Sustainable Design and Materials
  - SP I: Tourism
  - DP 21: Tourism and Recreation
  - DP 24: Retail
  - DP 28: New Build Serviced Accommodation

**3. Pre-Application advice and consultation**

- 3.1 The applicants have been fully engaged with the Authority throughout the pre-application period and have been receptive and reactive to the advice and guidance provided.

- 3.2 In addition to the pre-application engagement with this Authority the applicants undertook a statutory process of Pre-Application Consultation (PAC) through October and November 2020. This is a requirement for developments of this scale under the provisions of Section 17 of the Act and the Town and Country Planning (Development Management Procedure) (Wales) Order 2012 (DMPWO) as amended by the 2016 Order.
- 3.3 This process involved consultation with the local community, stakeholders and statutory consultees.
- 3.4 The applicant has been able to take the consultation responses submitted during the PAC period into account when formally submitting this application, which has resulted in no significant objections from consultees or members of the public to the application as submitted.

#### Design Commission for Wales

- 3.5 The applicants sought a Design Review from the Design Commission for Wales (DCfW) on the proposed scheme to which officers of the Authority were able to attend and make a contribution. The DCfW comments and recommendations were constructive and informative and have been reflected in the scheme now presented in this application.
- 3.6 In very general terms the DCfW concluded that *'The massing, bulk and height are all appropriate to the setting and the 'heft' of the original hotel and setting, as is the move from proposed use of render to stone, reflecting detailed analysis of the language of the Victorian and Edwardian architecture in the locale.'*

#### **4. Well-being of Future Generations Act (WBFG):**

- 4.1 It has been shown above that in the assessment of the application and supporting documentation this Authority has put the wellbeing of this and future generations at the forefront.
- 4.2 In ensuring that such topics areas as social, economic, environmental and cultural matters are not adversely affected and in many areas enhanced the 7 well-being goals of the Act have given full consideration and prominence.
- 4.3 Given the above it is considered that full account has been taken of the WBFG Act in the consideration of this application and in the recommendation to the Planning and Access Committee.

#### **5. Future Wales, The National Plan 2040**

- 5.1 Published in April 2021 Future Wales 2040 sets out the national plan for the next 20 years. This document outlines policies, goals and priorities for Wales to develop sustainably and respond to climate change.

- 5.2 Of particular relevance to this application policies 4 and 5 which refer to the support for rural communities.
- 5.3 Policy 4 emphasises the need to consider the role of new employment opportunities in tackling needs of rural communities. Policy 5 expands on that to specifically focus on the rural economy in stating that Local Development Plans must plan positively to meet the employment needs of rural areas.
- 5.4 It is considered that this application if approved will provide new employment and training opportunities which will enhance the local economy. In so doing fulfil the goals of Future Wales 2040.

## **6. Welsh Language**

- 6.1 ELDP policy 18 acknowledges that in determining planning applications the Authority must take into consideration the needs and interests of the Welsh language. In so doing account must be taken of matters such as:
- Supporting development which maintains or enhances the integrity of the Welsh language
  - Refusing development that would cause significant harm to the character and language balance of a community
  - Mitigate against any adverse effect
  - Encourage all signage by public bodies, commercial interests to be bilingual or in Welsh only and to promote the distinctiveness of any cultural amenity
  - Encourage the use of the Welsh language for place names, house and street names
- 6.2 The applicants have submitted a comprehensive Community and Linguistic Impact Assessment which concludes that:

*'The economic benefits associated with the proposed development, during construction and operation of the proposed hotel and mixed-use building, will support the local economy and in turn support and maintain Welsh language and culture. Support for the local economy will be in the form of generating additional employment opportunities during both construction and operation and supporting the local supply chain, where possible, during construction. The proposed hotel development will also diversify the local economy, which will support a sustainable community where the Welsh language can thrive.'*

And have provided the following mitigation and/or enhancement measures:

- Commitment to supporting the local supply chain where possible during construction through early and proactive engagement with the potential supply chain in order to maximise benefits for businesses in Conwy, Snowdonia and North Wales.
  - Commitment to source construction and operation labour locally, where possible.
  - External signage for the proposed development should be bilingual (Welsh and English).
- 6.3 The applicant will be reminded of their duty in line with this policy to ensure that the Welsh language is the primary language and should be prominent in terms of signage in association with the redeveloped Hotel
- 6.4 It is therefore considered that this proposal is not in conflict with ELDP policy 18.

## 7. Heritage Assets

- 7.1 Four Heritage assets have been identified as being in close proximity to this redevelopment proposal:
- Grade I listed Waterloo Bridge – 200m to the south
  - Grade II listed Beaver Grove (private residence) – 200m to the east
  - Grade II listed roadside Milestone - 70m to the north
  - Betws y Coed Conservation Area – 150m to the north
- 7.2 In response to this the applicants have submitted a Heritage Impact Assessment (HIA) report.
- 7.3 In summary the HIA concludes that *'the proposals (will) result in a minimal impact on the setting of Beaver Grove House and the Telford Milestone, and to create an improvement to the approach to the Conservation Area. There will be a change in the pre-development setting of the Waterloo Bridge, but its overall setting of the river, the river bank and field, the A5, the steep forested hillsides and the semi-rural feel do not alter ..... and the proposals allow the public to better appreciate this historic structure.'*
- 7.4 In the consideration of this proposal on the potential impact on these identified Historic Assets there is no reason to disagree with the summary as outlined above. The minimal impact that is identified is not considered to be unacceptable and has the potential to enhance the approach to Betws y Coed and the setting of the Conservation Area and would assist in improving interpretation and public appreciation of the Grade I Waterloo Bridge.
- 7.5 Given this it is considered that policy SPFf: Historic Environment has been satisfied.

## **8. Ecology**

- 8.1 The applicant has, as a part of this application, submitted a detailed Preliminary Ecological Assessment Report which has been scrutinised by this Authority's Ecologist and NRW. This survey report recorded the presence of bats in the lodges to the rear of the site and scheduled for demolition and indicated the potential for bats in other buildings. As such the report recommended to the applicant that further survey work will be required in the form of emergence surveys during the bat flight period between 1st May and 31st August.
- 8.2 This requirement for further survey work was emphasised by this Authority's ecologist and NRW in their consultation responses.
- 8.3 Consequently, further survey work in the form of emergence surveys have been undertaken through the recent bat flight period. The results of those surveys were not available at the time of writing this report. It is anticipated that the results will be available in time for the presentation of this report to the Planning and Access Committee. The outcome of further consultation on this additional survey work with the Ecologist and NRW will be reported verbally during the presentation.

## **9. Biodiversity Enhancement**

- 9.1 With the submission of a comprehensive soft landscaping plan there is shown extensive tree and hedge planting which will enable the enhancement of biodiversity.
- 9.2 Given this policy SPD: Natural Environment is considered to have been satisfied.

## **10. Conclusions**

- 10.1 It is considered that this proposal is in conformity with the policies of the ELDP in particular Strategic Policy I criteria iv: supporting the accommodation industry in encouraging the improvement of the sustainability and quality of existing accommodation.
- 10.2 The design and use of materials is considered to be appropriate for this part of the National Park in that it has interpreted the general character of the existing Betws y Coed Conservation Area whilst giving it a contemporary emphasis. In addition, it is considered that this proposal will not have any unacceptable effect on any identified historic asset. This would place the proposal in conformity with policies DP1 and DP6 and SPFF.

10.3 There is however some concern as to conformity with ELDP policy 24: Retail. Policy 24 states that any new retail development in settlements such as Betws y Coed should be located within the defined retail area for the settlement. This site is located outside the retail area for Betws y Coed. As this development proposes on the ground floor of the mixed-use building retail outlets, which would place it in conflict with this policy. However, the applicants have a fall-back position for retail development in this location by virtue of the 2007 and 2018 permissions which were approved prior to the current policy being brought into force. Consequently, it is considered appropriate that new retail development as a part of this proposal can be approved at this time.

10.4 In regard of policy DP 28: New Build Serviced Accommodation the mixed-use building would fall within the consideration of this policy. Policy DP28 provided encouragement to permit new build serviced accommodation within or adjacent to the main built-up area of Service Settlements such as Betws y Coed provided that the two criteria are satisfied, the two criteria are:

i) The proposal is not on a site which is required for local affordable housing need,

and

ii) The scale and design of the development is compatible with its setting.

It can be confirmed that the site is not allocated for housing and the proposed development is considered to be of a scale and design compatible with its setting. This policy is therefore considered to be satisfied.

10.5 It is considered that all other relevant policies of the ELDP have been adequately addressed including DP18: Welsh language and the social and cultural fabric of communities.

## 11. Recommendation

11.1 To **Authorise** the Director of Planning and Land Management to **determine** this application in the light of the outcome of further consultation with the Authority ecologist and Natural Resources Wales on the updated Protected Species Report.

11.2 If the results of the protected species report re-survey are made available in time for this Planning and Access Committee and are favourably received by the Authority Ecologist and NRW it will be possible to amend this recommendation to one of **Approval** subject to the following conditions

## Background Papers in Document Bundle No.1: No

1. The development hereby permitted shall be commenced before the expiration of FIVE years from the date of this decision.
2. The development hereby permitted shall be carried out in accordance with the following approved plans and documents:

<b>HOTEL</b>	
20413_P110 rev F	Site Plan
20413_P210 rev D	Ground Floor
20413_P211 rev E	First Floor
20413_P212 rev E	Second Floor
20413_P213 rev E	Third Floor
20413_P214 rev F	Fourth and Fifth Floors
20413_P215 rev C	Roof Plan
20413_P216 rev H Sheet 1 of 2	Elevations
20413_P217 rev H Sheet 2 of 2	Elevations
20413_P310 rev C	Sections
<b>Mixed-Use</b>	
20413_P111 rev F	Site Plan
20413_P220 rev D	Ground Floor
20413_P221 rev D	First Floor
20413_P222 rev D	Second Floor
20413_P223 rev D	Third Floor
20413_P224 rev D	Roof Plan
20413_P226 rev J Sheet 1 of 2	Elevations
20413_P227 rev G Sheet 2 of 2	Elevations
20413_P320 rev C	Sections
<b>Others</b>	
20413_P230 rev D	Street Scene Elevations
20413_P330 rev B	Proposed site sections
20413_P150 rev A	Viewing Platform
20413_P120 rev A	Indicative Phasing Plans
20413_P230 rev D	Gateway Landscaping Feature
20413_P102 rev Q	Proposed Site Context Plan
<b>Highways</b>	
1 of 2 rev A	Access Drawing
2 of 2 rev A	Access Drawing
<b>Landscaping</b>	
2019042/HLP/01	Hard Landscaping
2019042/SLP/01	Soft Landscaping
<b>Documents</b>	
4261-CAU-XX-XX-RP-C-0301C	Flood Consequences Assessment
Bat Survey Report v4 08/2021	Cambrian Ecology Ltd,

3. Details of the appearance, landscaping, layout, and scale, hereinafter called 'the reserved matters' for the proposed thermal spa and pool building (phase 4) shall be submitted to and approved in writing by the local planning authority before any development begins and the development shall be carried out as approved.
4. Any application for approval of the reserved matters shall be made to the local planning authority not later than three years from the date of this permission.
5. The development of the thermal spa and pool building (phase 4) shall begin either before the expiration of five years from the date of this permission or before the expiration of two years from the date of approval of the last of the reserved matters to be approved, whichever is the later.
6. No development shall commence in pursuant to this permission until such time as a Construction Environmental Management Plan (CEMP) has been submitted to and approved by means of formal application by the Local Planning Authority.
7. No development shall commence in pursuant to this permission until such time as a lighting plan has been submitted to and approved by means of formal application by the Local Planning Authority. Any such plan as may be approved shall be implemented in full and maintained thereafter.
8. No development shall commence in pursuant to this permission until such time as an Invasive Non-Native Species survey and report to identify and eradicate any such species has been submitted to and approved by means of formal application by the Local Planning Authority. Any such plan as may be approved shall be implemented in full and maintained thereafter.
9. The roof of the building and extension shall be covered with blue-grey slates from the Blaenau Ffestiniog area, or slates with equivalent colour, texture and weathering characteristics details of which shall be provided and approved in writing by the Local Planning Authority.
10. Prior to any stonework commencing on the site, a trial stonework panel including pointing not less than 2.00 m<sup>2</sup> shall be constructed. No building operations in stone shall be carried out on the site unless and until the trial panel has been inspected and approved by means of a formal application to the Local Planning Authority. The stonework of the building and extension shall be built in accordance with the approved sample.
11. No development shall commence in pursuant to this permission until such time as a schedule of materials and colour palette to all walling and hard landscaping materials has been submitted to and approved by means of formal application by the Local Planning Authority. Any such plan as may be approved shall be implemented in full and maintained thereafter.



12. The applicant shall ensure that the flood mitigation measures as detailed in the Flood Consequences Assessment (FCA) (version 0.02 dated 17/05/2018 and addendum, version 0.01, dated 31/07/2018 and addendum version 0.02 dated 28/11/2019) are incorporated in the design/construction of the proposed access road scheme hereby approved.
13. All planting, seeding or turfing comprised in the approved details of landscaping shall be carried out in the first planting and seeding seasons following the completion of the development; and any trees or plants which within the period of 5 years from the completion of the development die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species.
14. No site preparation or construction works shall take place between the hours of 18.00 to 08.00 Mondays to Fridays and 13.00 to 09.00 on Saturdays and at no time on Sundays or Public Holidays.
15. All work on the construction of the buildings hereby approved shall cease if contamination not previously identified is found to be present at the site. In such circumstances the applicant shall formulate a remediation strategy detailing how this unsuspected contamination shall be dealt with and submit it, by means of formal application, to the Local Planning Authority. Any such remedial strategy that may be approved shall be carried out as approved.
16. No development shall commence until a foul water drainage scheme for the site has been submitted to and approved by means of a formal application to the local planning authority. The scheme shall provide for the disposal of foul water flows and include a detailed design outlining the measures proposed to accommodate the public sewer. Thereafter the scheme shall be implemented in accordance with the approved details prior to the occupation of the development.
17. No part of the development shall be occupied or brought into use until the areas indicated on the submitted plans to be set aside for parking and servicing have been surfaced and permanently marked out or demarcated in accordance with the details and specifications shown in drawing reference: 20413\_P102 Rev. Q. The parking and servicing areas shall be retained as such thereafter.
18. No development in pursuant to this approval shall commence until such time as a scheme for the provision of cycle parking in accordance with Conwy Council's current standards shall be submitted to and approved by means of formal application by the local planning authority. The scheme shall be implemented as approved before any part of the development is occupied or brought into use and shall be retained as such thereafter.
19. No works shall take place, including any demolition, site clearance or ground works, until a Construction Method Statement comprehensively detailing the phasing and logistics of construction has been submitted to and approved by means of formal application to the local planning authority.

The method statement shall include, but not be limited to:

- (i) Construction traffic routes, including provision for access to the site
- (ii) Entrance/exit from the site for visitors/contractors/deliveries
- (iii) Location of directional signage within the site
- (iv) Siting of temporary containers
- (v) Parking for contractors, site operatives and visitors
- (vi) Identification of working space and extent of areas to be temporarily enclosed and secured during each phase of demolition/construction
- (vii) Temporary roads/areas of hard standing
- (viii) Schedule for large vehicles delivering/exporting materials to and from site
- (ix) Storage of materials and large/heavy vehicles/machinery on site
- (x) Measures to control noise and dust
- (xi) Details of street sweeping/street cleansing/wheelwash facilities
- (xii) Details for the recycling/disposing of waste resulting from demolition and construction works
- (xiii) Hours of working
- (xiv) Phasing of works including start/finish dates

The approved Construction Method Statement shall be adhered to throughout the construction period for the development.

- 20. No gates or other means of obstruction shall be placed across the vehicular access formed as part of this development.
- 21. The minimum visibility distances available for vehicles emerging from the proposed accesses shall be 90 metres in each direction at a height of 1.05 metres, measured to a point 0.26 metres above the nearer running edge of the trunk road carriageway. These visibility distances shall be available at a point 2.4 metres from the nearer running edge of the trunk road, measured along the centreline of the access road. The visibility splay so formed shall be free of any growth or obstruction, which would interfere with the minimum visibility requirements.
- 22. The access and visibility requirements shall be substantially complete and available for use prior to the commencement of any other works associated with the development.
- 23. No development shall commence until such time as a Street Lighting Assessment is submitted to and approved by means of formal application to the Planning Authority in consultation with the Welsh Government before any works commence on site.
- 24. No drainage from the development site shall be connected to or allowed to discharge into the trunk road drainage system, and the proposed accesses shall be constructed such that the access road does not drain onto the trunk road.

# ITEM NO. 4.2 - NP4/11/160V

- Notes:
- DO NOT SCALE FROM THIS DRAWING - USE FIGURED DIMENSIONS ONLY.
  - IN CONJUNCTION WITH ALL OTHER PLANNING APPLICATIONS / SPECIALISTS DRAWINGS, REPORT ANY DISCREPANCIES BEFORE AFFECTED WORK COMMENCES.
  - ALL SETTING OUT DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR BEFORE WORK COMMENCES.

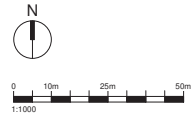


**Site Key**

— Application boundary line

Site Area = 3.88 hectares / 9.58 acres

— Extent of ownership / control outside of application boundary



B	Issued for Planning	16/10/2020	OT	IC
A	Pre-Application Planning Issue	13.03.2020	MD	SL

**REVISIONS**

<b>CLIENT</b>	The Royal Oak & Waterloo Hotels
<b>PROJECT</b>	Waterloo Hotel
<b>PROJECT NO.</b>	20413
<b>TITLE</b>	Location Plan
<b>DWG NUMBER</b>	20413_P100
<b>REVISION</b>	B
<b>STATUS</b>	Planning
<b>SCALE</b>	1 : 1000 @ A2
<b>DATE</b>	06/05/19
<b>DRAWN BY</b>	OT
<b>CHECKED BY</b>	SL

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Unit 1.3 Wauik Mill 51 Bengal St MANCHESTER M4 6LN t: 0161 236 5655	Clarendon House Victoria Avenue HARROGATE HG1 1DY t: 01423 709 807	Y Neusadd Lwyd Dolwyddelan CONWY LL25 0SJ t: 0772819425	24 Gravelle Street Clerkenwell LONDON EC1N 8SS t: 0203 036 0691
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# ITEM NO. 4.2 - NP4/11/160V

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Proposed Site Context Plan

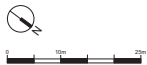
- Key**
- Boundary of site subject to full planning application
  - ▨ Extent of site subject to outline planning application
- A Proposed 4 storey hotel building.
  - B Retained and refurbished elements of existing hotel building.
  - C Existing swimming pool building with corner extension.
  - D Mixed use building - retail ground floor with serviced accommodation to upper floors.
  - E The Acorns - retained as office accommodation for hotel.
  - F Pump station retained.
  - G Existing chalet accommodation on upper plateau.

- 1 Viewing platform of Waterloo Bridge.
- 2 Gateway feature - dry stone walls with ashlar copings.
- 3 Reconfigured parking to north side of Holyhead Road.
- 4 New flagstaff.
- 5 Overflow car park, grasscrete finish.
- 6 Helicopter landing pad.
- 7 Disabled car parking spaces.
- 8 Relocated vehicle access junction for parking to the north side of Holyhead Road.
- 9 Main entrance to Waterloo Hotel.
- 10 Entrance to Serviced Hotel Accommodation.
- 11 Corner entrance feature to retail/serviced accommodation building.
- 12 Hotel parking and drop off.
- 13 Parking spaces for retail/serviced accommodation building.

- 14 Additional parking spaces.
- 15 Hotel delivery bay.
- 16 Existing chalet buildings (dashed red) retained until hotel development complete, then demolished to create additional car parking spaces.
- 17 Footbridge over railway extended slate trail with new way markers.
- 18 Delivery route and barrier.
- 19 Walkway leading up to railway bridge.
- 20 Railway bridge.
- 21 Staff car parking.
- 22 Access road leading to neighbouring residential properties.

REVISIONS	DATE DRAWN/CHECK
Q	Revisions to landscaping scheme 05/01/2021 TH SL
P	Revised for Planning 08/12/2020 TH SL
N	Revisions following client changes 28/10/2020 TH SL
M	Extent of outline application shown 19/10/2020 TH SL
L	Updated site to reflect client feedback. Removed Thermal Spa building from Detailed site plan 14/10/2020 OT IC
K	Updated Site plans to show Thermal Spa building footprint and adjusted car park layout to rear 30/09/2020 OT SL
J	Updated Site layout to reflect landscape designers proposal 16/09/2020 OT SL
H	Updated Site layout to reflect landscape and Highway feedback 04/09/2020 OT SL
G	Updated residential traffic route to reflect client feedback 26/08/2020 OT SL
F	Integrated drainage and pedestrian circulation and landscape proposal 26/08/2020 OT SL
E	Updated drawing to reflect design changes submitted to DCFV and SNPA 20/07/2020 OT SL
D	Pre-Application Planning Issue 13/03/2020 MD SL
C	Updated to landscape and trees in relation to Client and Landscape feedback 12/02/2020 OT IC
B	Updated Plan to reflect client amendments 07/02/2020 OT SL
A	Updated to reflect current landscape drawing 29/01/2020 OT IC

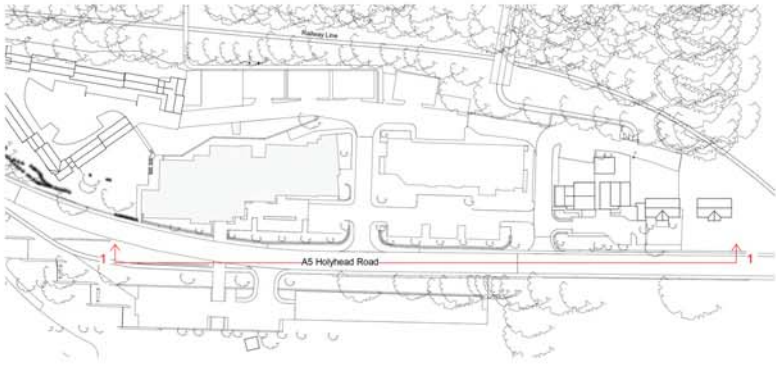
REVISIONS	DATE DRAWN/CHECK
CLIENT	The Royal Oak & Waterloo Hotels
PROJECT	Waterloo Hotel
PROJECT NO.	20413
TITLE	Proposed Site Context Plan
DWG NUMBER	20413_P102
REVISION	Q
STATUS	Planning
SCALE	1:500 @ A1
DATE	04/12/19
DRAWN BY	OT
CHECKED BY	SL







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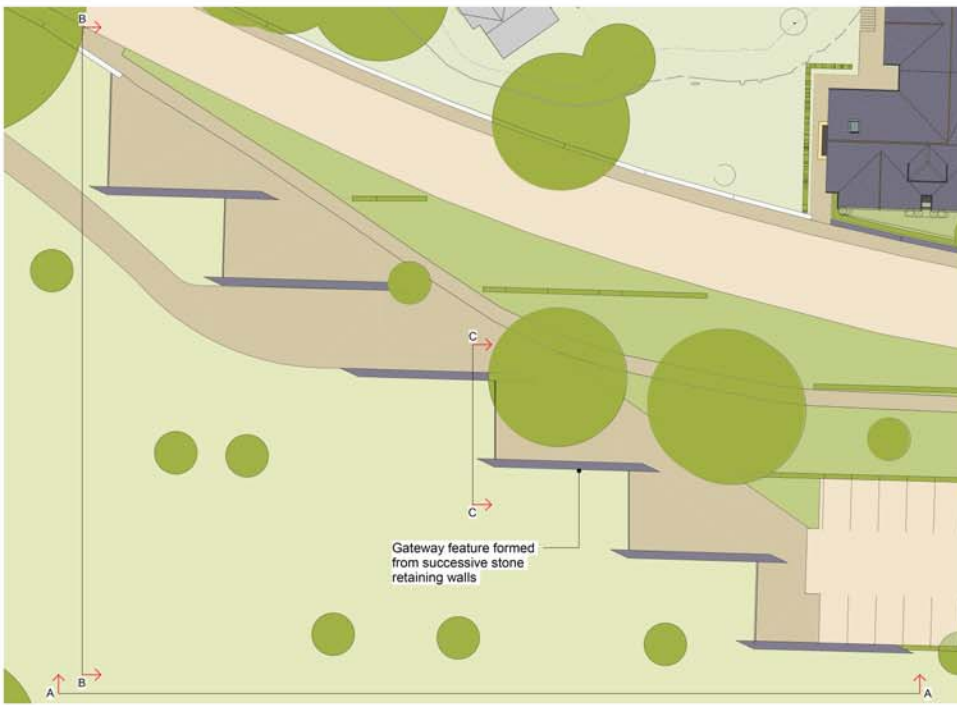
D	Issued for Planning	11/11/2020	TH	SL
C		-	-	-
B		-	-	-
A	Pre-Application Planning Issue	13.03.2020	MD	SL

REVISIONS	DATE DRAWN/CHECK
CLIENT	The Royal Oak & Waterloo Hotels
PROJECT	Waterloo Hotel
PROJECT NO.	20413
TITLE	Proposed Street Scene Elevations
DWG NUMBER	20413_P230
REVISION	0
STATUS	Planning
SCALE	As indicated
DATE	08/12/19
DRAWN BY	MD
CHECKED BY	OT

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 SEVENARCHITECTURE.CO.UK  
 104 1-2 Finch Lane, Chichester, Sussex PO19 1UG, UK  
 01243 738 885  
 104 1-2 Finch Lane, Chichester, Sussex PO19 1UG, UK  
 01243 738 885  
 24 Dandy Street, Chichester, West Sussex PO19 1UG, UK  
 01243 738 885  
 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100





Proposed Site Context Plan

1. Structural concrete core to retaining wall elements
2. Field stone outer face finish in various sizes and tones. Square topped stone in various heights. Stone to match vernacular of surrounding area.
3. Slate/Granite coping stone surround to top edge of wall. Colour to match local vernacular
4. Woven metal mesh balustrade with timber top rail.
5. Paved ground surface finish

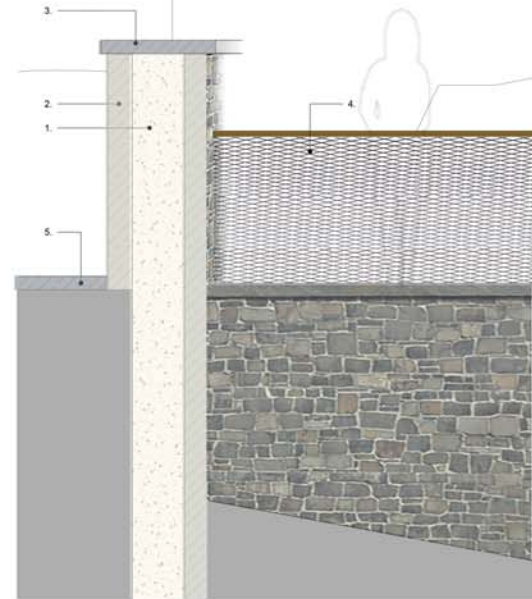


Example of woven metal mesh balustrade similar to proposed



Slate/Granite coping stone surround to top of stone wall. Colour to match local vernacular.

## ITEM NO. 4.2 - NP4/11/160V



Section C

Notes:  
 1. DO NOT SCALE FROM THIS DRAWING - USE FIGURED DIMENSIONS ONLY.  
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Section A



Section B

REVISIONS	Reasons to landscaping scheme	DATE, DRAWN; CHECK
A	Revisions to landscaping scheme	05/12/2021 TH SL
CLIENT	The Royal Oak & Waterloo Hotels	
PROJECT	Waterloo Hotel	
PROJECT NO.	20413	
TITLE	Gateway Landscaping Feature	
DWG NUMBER	20413_P151	
REVISION	A	
STATUS	Planning	
SCALE	As indicated	@ A1
DATE	11/16/20	
DRAWN BY	TH	
CHECKED BY	SL	

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SPECIAL SITE DRAWINGS. REPORT ANY DISCREPANCIES BEFORE AFFECTED WORK COMMENCES  
3. ALL SETTING OUT DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR BEFORE WORK COMMENCES



Proposed Viewing platform plan  
1:200



Section A  
1:100



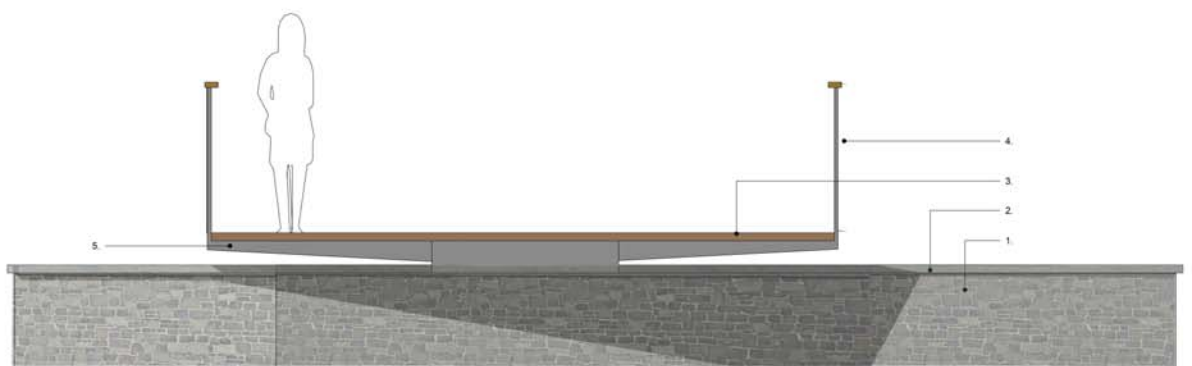
Section B  
1:100



2. Example of woven metal mesh balustrade proposed to lower the visual impact of the structure



1. Examples of viewing platform and walkway in historic setting demonstrating the use of contemporary materials in order to allow the new intervention to visually contrast with the historic fabric of the adjacent structures



Section C  
1:20

1. Structural supporting plinth finished in field stone in various sizes and forms. Square copped stone in various heights. Stone to match vernacular of surrounding area
2. Slabs Granite coping stone surmount to top edge of supporting wall. Colour to match local vernacular
3. Non slip timber decking surface finish to viewing platform
4. Woven metal mesh balustrade with timber top rail
5. Steel supporting deck to underside of platform

CLIENT	The Royal Oak & Waterloo Hotels		
PROJECT	Waterloo Hotel		
TITLE	Waterloo Bridge Viewing Platform		
NUMBER	20413_P150		
REVISION	A		
STATUS	Planning		
SCALE	As indicated	@ A1	
DATE	11/03/20		
DRAWN BY	TH		
CHECKED BY	BL		

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Studio at:  
Unit 1-3, Fosse Way, St. Nicholas St.,  
MANCHESTER, M3 8LJ  
T: 0161 224 8888

Operational House, Victoria Avenue,  
NARRINGTON, WILT 10J  
T: 01242 709 897

Water 6, Elm, Parkway,  
DARNHAMTON, WILT 10J  
T: 01242 885 283

28 Grenville Street,  
LONDON, EC2N 3ES  
T: 0203 534 9991

REVISIONS | A: Revisions to landscaping scheme  
06/10/2021 TH BL  
DATE DRAWN: CHECK



# ITEM NO. 4.2 - NP4/11/160V

- Notes**
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  - ALL SETTING OUT DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR BEFORE WORK COMMENCES.

**Key**

Outline of existing hotel



Proposed East Elevation



Proposed South Elevation

### Materials Key

- Roof: Natural Slate tiled roof.
- External Wall: External Render. StoSilico system with Architectural Colour 16049 or similar and approved.
- External Wall Recess: Slate Stone Surround to recessed window surrounds, lintels and cills.
- External Wall & Panels: Zinc Cladding: eZinc Rainbow pre-weathered zinc. Colour: Gold / Grey or similar and approved.
- External Wall: Coursed Field Stone in various sizes and tones. Square copped stone in various heights. Stone to match vernacular of surrounding area. See Royal Oak hotel as example.
- External Wall: Vertical Timber Cladding.
- External Wall: LivingGreen wall. Plant species and maintenance schedule to be determined.
- Roof: Lead detailing to hipped roof.
- Parapet: Slate/Granite coping stone surround to edge of parapet. Colour to match local vernacular.
- Roof: Ridge: The Blue-Black colour.
- Rooftight: Conservation rooftop set within depth of the roof.
- Dormer: Natural slate tiled roof to dormer with vertical timber cladding to walls.
- Cutters & Downpipes: PPC Aluminium, RAL colour 7015.
- Windows: Anti-glare glass to minimize light pollution with PPC Aluminium frames. RAL 7015.
- Balustrade: Frameless Glasba System.
- Bush & Hedges: Small native plants and trees, no taller than 600mm.
- Doors: Glazed folding panel door with Timber frame. Painted finish RAL 7044.
- Doors: Glazed panel door with Timber frame. Colour to match Anodized aluminium.



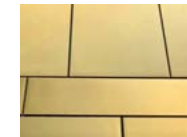
1: Natural Slate Roof & Ridge Tile. Blue-Black Colour



2: StoSilico System Architectural Colour Range 16049 or similar and approved



3: Slate/Granite surround to recessed window surrounds where indicated.



4: Zinc Cladding: eZinc Rainbow pre-weathered zinc. Colour: Gold / Grey or similar and approved.



5: External Wall: Random Coursed Field Stone, to match surrounding area and Royal Oak hotel shown (shown above).



6: Vertical Timber Cladding



7: Living Wall. Plants to be Evergreen and suitable for Wet conditions. Plant species to be determined



8: Parapet: Slate/Granite coping stone surround to edge of parapet. Colour to match local vernacular



9: Cutters & Downpipes: PPC Aluminium, RAL Colour 7015



10: Windows: Frame colour RAL 7015

REVISIONS	DATE	DRAWN	CHECK
H	11.11.2020	TH	SL
G	28.10.2020	TH	SL
F	16.10.2020	OT	IC
E	02.09.2020	OT	SL
D	14.08.2020	OT	SL
C	05.08.2020	OT	SL
B	13.02.2020	MD	SL
A	06.02.20	OT	IC

CLIENT	The Royal Oak & Waterloo Hotel
PROJECT	Waterloo Hotel Building
PROJECT NO.	20413
TITLE	Waterloo Hotel Building - Elevations - Sheet 1 of 2
DWG NUMBER	20413_P216
REVISION	H
STATUS	Planning
SCALE	As indicated @ A1
DATE	28/01/20
DRAWN BY	OT
CHECKED BY	SL


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T: 0161 236 5665 F: 01462 709 807 E: 01773 819425 I: 0203 038 9991

# ITEM NO. 4.2 - NP4/11/160V

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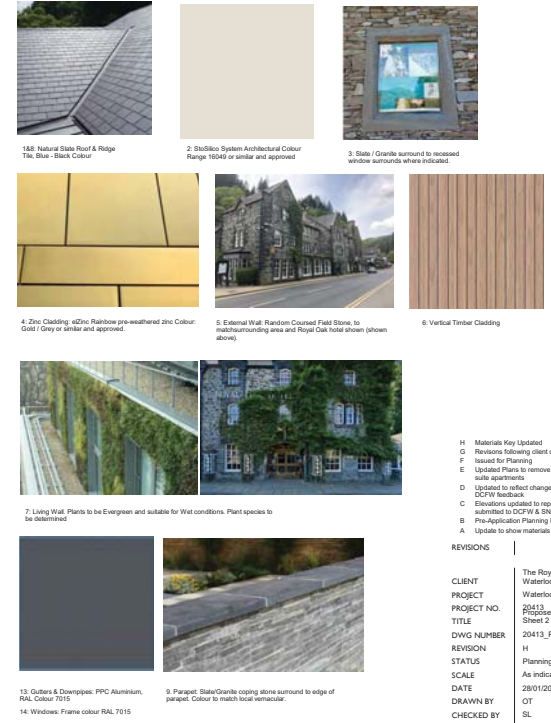
Key:  
 Outline of existing hotel



Proposed West Elevation

### Materials Key

1. Roof: Natural Slate tiled roof.
2. External Wall: External Render: StoSilico system with Architectural Colour 16049 or similar and approved.
3. External Wall Recess: Slate Stone Surround to recessed window surrounds, lintels and sills.
4. External Wall & Panels: Zinc Cladding: eZinc Rainbow pre-weathered zinc Colour: Gold / Grey or similar and approved.
5. External Wall: Coursed Field Stone in various sizes and tones. Square cropped stone in various heights. Stone to match vernacular of surrounding area. See Royal Oak hotel as example.
6. External Wall: Vertical Timber Cladding.
7. External Wall: LivingGreen wall. Plant species and maintenance schedule to be determined.
8. Roof: Lead detailing to hipped roof.
9. Parapet: Slate/Granite coping stone surround to edge of parapet. Colour to match local vernacular.
10. Roof: Ridge Tile Blue-Black colour.
11. Rooflight: Conservation rooflight sat within depth of the roof.
12. Dormer: Natural slate tiled roof to dormer with vertical timber cladding to walls.
13. Gutters & Downpipes: PPC Aluminium, RAL colour 7015.
14. Windows: Anti-glare glass to minimize light pollution with PPC Aluminium frame, RAL 7015.
15. Balustrade: Frameless Glass Balustrade System.
16. Bush & Hedges: Small native plants and trees, no taller than 600mm.
17. Doors: Glazed folding panel door with Timber frame. Painted finish RAL 7044.
18. Doors: Glazed panel door with Timber frame. Colour to match Anodized aluminium.



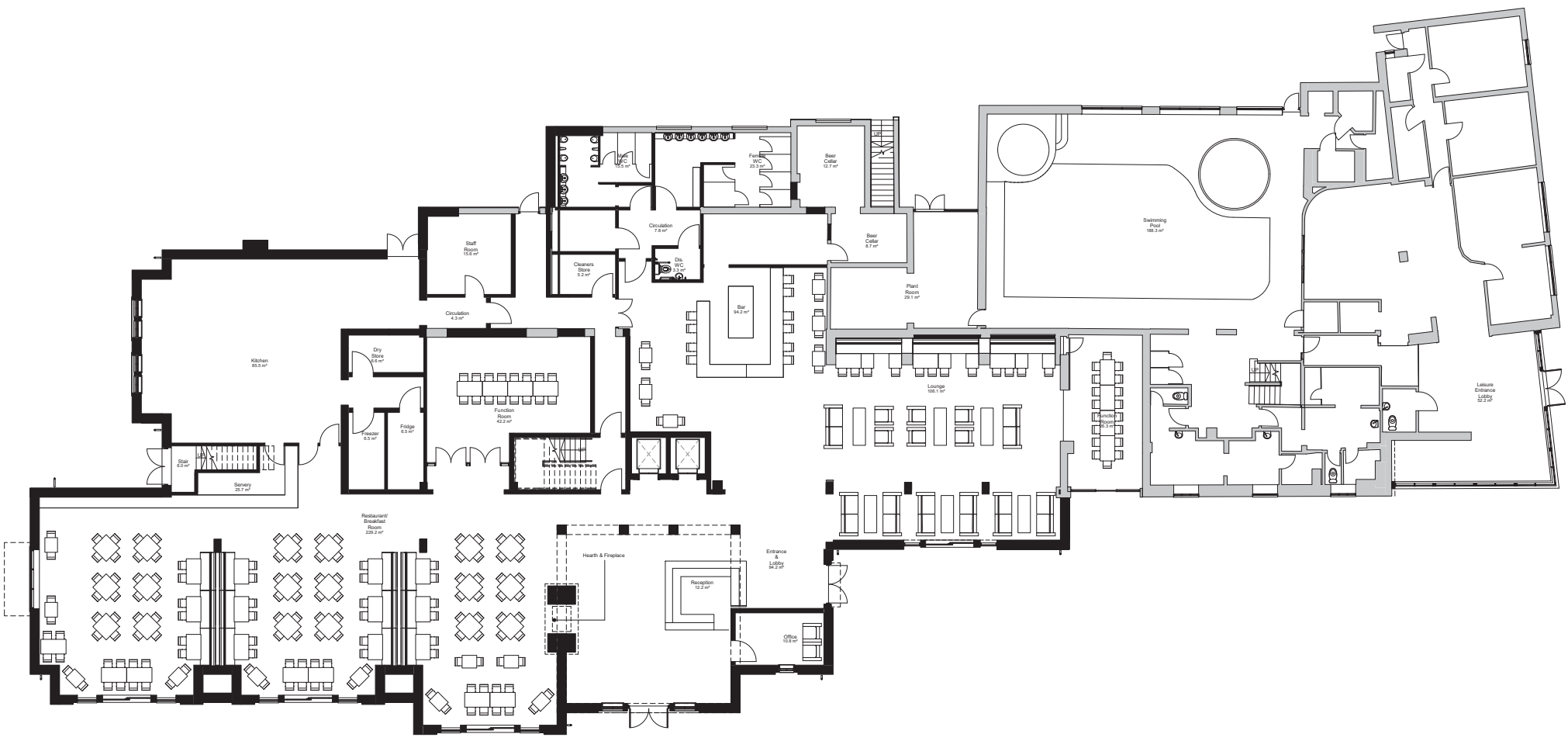
Proposed North Elevation

Revision	Description	Date	Drawn	Checked
H	Materials Key Updated	11.11.2020	TH	SL
G	Revisions following client comments	08.10.2020	TH	SL
F	Issued for Planning	16.10.2020	OT	IC
E	Updated Plans to remove window from suite apartments	17.09.2020	OT	SL
D	Updated to reflect changes highlighted in 02.09.2020	02.09.2020	OT	SL
C	Elevations updated to represent scheme submitted to DCPW & BMA	05.08.2020	OT	SL
B	Pre-Application Planning Issue	13.02.2020	MD	SL
A	Update to show materials	06.02.20	OT	IC

REVISIONS	DATE DRAWN / CHECK
CLIENT	The Royal Oak & Waterloo Hotel
PROJECT	Waterloo Hotel Building
PROJECT NO.	20413
TITLE	Proposed Hotel Building - Elevations - Sheet 2 of 2
DWG NUMBER	20413_P217
REVISION	H
STATUS	Planning
SCALE	As indicated @ A1
DATE	28/01/20
DRAWN BY	OT
CHECKED BY	SL

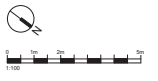


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Proposed Ground Floor Plan

Key:  
 ■ Proposed  
 ■ Existing

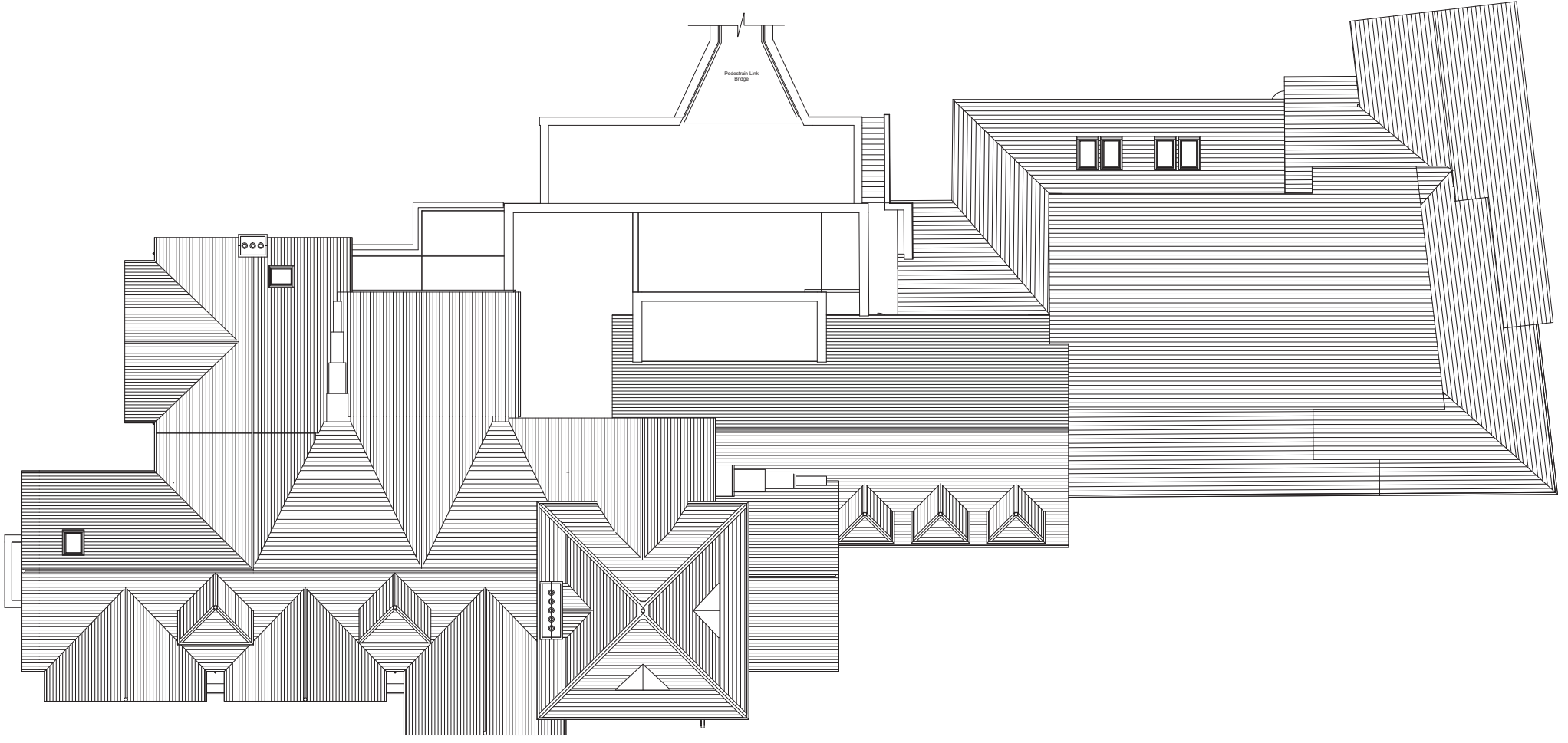


REVISIONS	DATE	DRAWN	CHECK
D	28.10.2020	TH	SL
C	16.10.2020	OT	IC
B	02.09.2020	OT	SL
A	13.02.2020	MD	SL

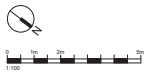
CLIENT: The Royal Oak & Waterloo Hotel  
 PROJECT: Waterloo Hotel Building  
 PROJECT NO.: 20413  
 TITLE: Proposed Hotel Building - Ground Floor Plan  
 DWG NUMBER: 20413\_P210  
 REVISION: D  
 STATUS: Planning  
 SCALE: 1:100 @ A1  
 DATE: 28/01/20  
 DRAWN BY: OT  
 CHECKED BY: SL

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 104 1.3 Wood Mill, Victoria House, Y Newbold Layer, 24 Grenville Street  
 S1 3BNG ST, MANCHESTER M14 6LW, HARRISGATE, DOWNSIDE, LONDON  
 MM 5L 4, HD1 1DY, LL2 9SL, ED17N 8SS  
 T: 0161 236 5665 F: 01462 709 807 E: 07772619425 I: 0203 038 9891

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Roof Plan



REVISIONS	DATE	DRAWN	CHECK
C	28.10.2020	TH	SL
B	16.10.2020	DT	IC
A	13.02.2020	MD	SL

CLIENT	The Royal Oak & Waterloo Hotel
PROJECT	Waterloo Hotel Building
PROJECT NO.	20413
TITLE	Proposed Hotel Building - Roof Plan
DWG NUMBER	20413_P215
REVISION	C
STATUS	Planning
SCALE	1:100 @ A1
DATE	28/01/20
DRAWN BY	MD
CHECKED BY	SL





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Proposed West Elevation



Proposed North Elevation

**Materials Key**

1. Roof: Natural Slate tiled roof.
2. External Wall: Coursed Field Stone in various sizes and tones. Square copped stone in various heights. Stone to match vernacular of surrounding area. See Royal Oak hotel as example.
3. External Wall & Panels: LivingGreen Wall. Plant species and maintenance to be determined.
4. External Wall & Panels: Zinc Cladding: eZinc Rainbow pre-weathered zinc Colour: Gold / Grey or similar and approved.
5. External Wall: Vertical Timber Cladding
6. External Wall Recess: Slate stone surround to recessed window.
7. Chimney Roof: Lead detailing to hipped roof.
8. Parapet: Slate/Granite coping stone surround to edge of parapet. Colour to match local vernacular.
9. Roof: Ridge: Tile Blue-Black colour.
10. Rooflight: Conservation rooflight sat within depth of the roof.
11. Windows & Recess: Windows sat with recessed panel: Anthracite Grey.
12. Gutters & Downpipes: PPC Aluminium, RAL colour 7015.
13. Windows: Anti-glare glass to minimize light pollution with PPC Aluminium frame: RAL 7015
14. Bush & Hedges: Small native plants and trees, no taller than 600mm
15. Doors: Glazed folding panel door with Timber frame. Painted finish RAL 7014.
16. Door: Automatic sliding door to cafe and retail area
17. External Wall: External Render: StoSilico system with Architectural Colour 16049 or similar and approved.



1&7 Natural Slate Roof & Ridge Tile, Blue-Black Colour



2 External Wall: Random Coursed Field Stone, to match surrounding area and Royal Oak hotel shown above.



3 Living Wall: Plants to be evergreen and suitable for wet conditions. Plant species to be determined



4 External Wall & Panels: Zinc Cladding: eZinc Rainbow pre-weathered zinc Colour: Gold / Grey or similar and approved.



5 Vertical Timber Cladding



6 Slate / Granite surround to recessed window surrounds where indicated.



8 Parapet: Slate/Granite coping stone surround to edge of parapet. Colour to match local vernacular.



12 Gutters & Downpipes: PPC Aluminium, RAL Colour 7015



17 External Render: StoSilico system with Architectural Colour 16049 or similar and approved.

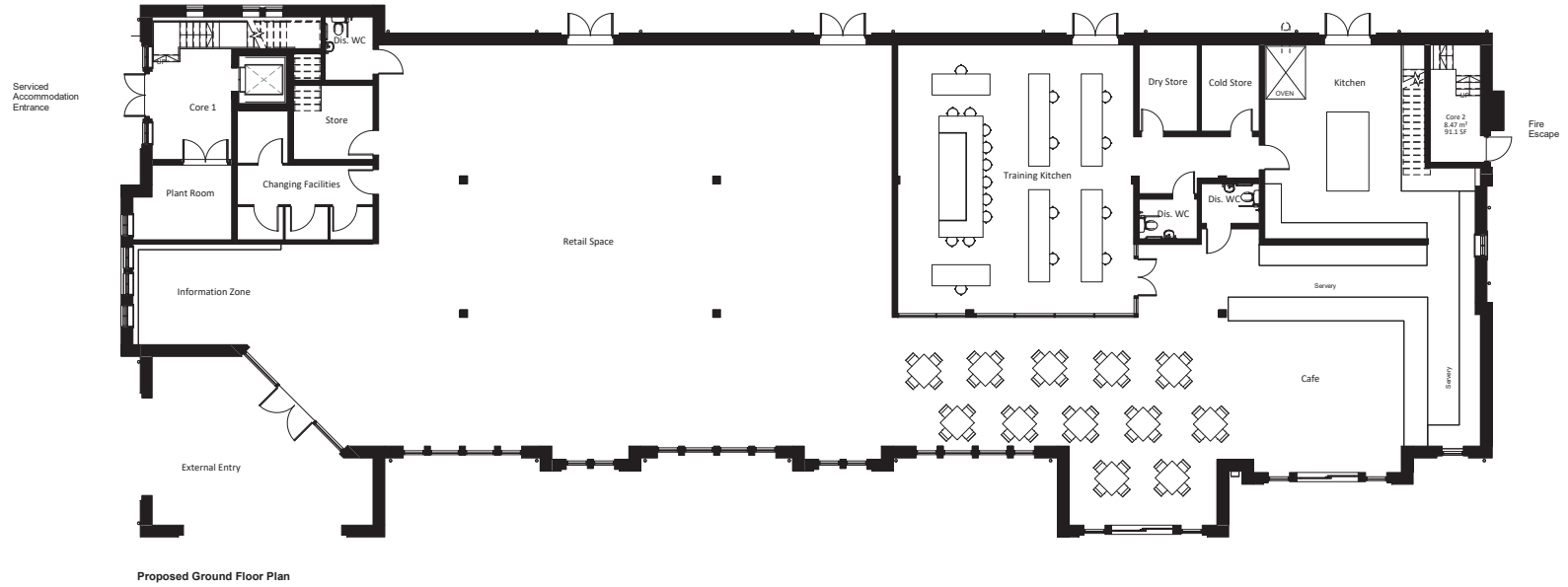
13 Windows: Frame colour RAL 7015

REVISIONS	DATE	DRAWN	CHECK
G	08.12.2020	TH	SL
F	28.10.2020	TH	SL
E	16.10.2020	OT	IC
D	16.09.2020	OT	IC
C	28.07.2020	OT	IC
B	13.02.2020	MD	SL
A	09.02.2020	OT	IC

CLIENT	The Royal Oak & Waterloo Hotels
PROJECT	Waterloo Hotel
PROJECT NO.	20413
TITLE	Proposed Mixed Use Development - Elevations - Sheet 2 of 2
DWG NUMBER	20413_P227
REVISION	G
STATUS	Planning
SCALE	1:100 @ A1
DATE	23/01/20
DRAWN BY	OT
CHECKED BY	SL



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Proposed Ground Floor Plan

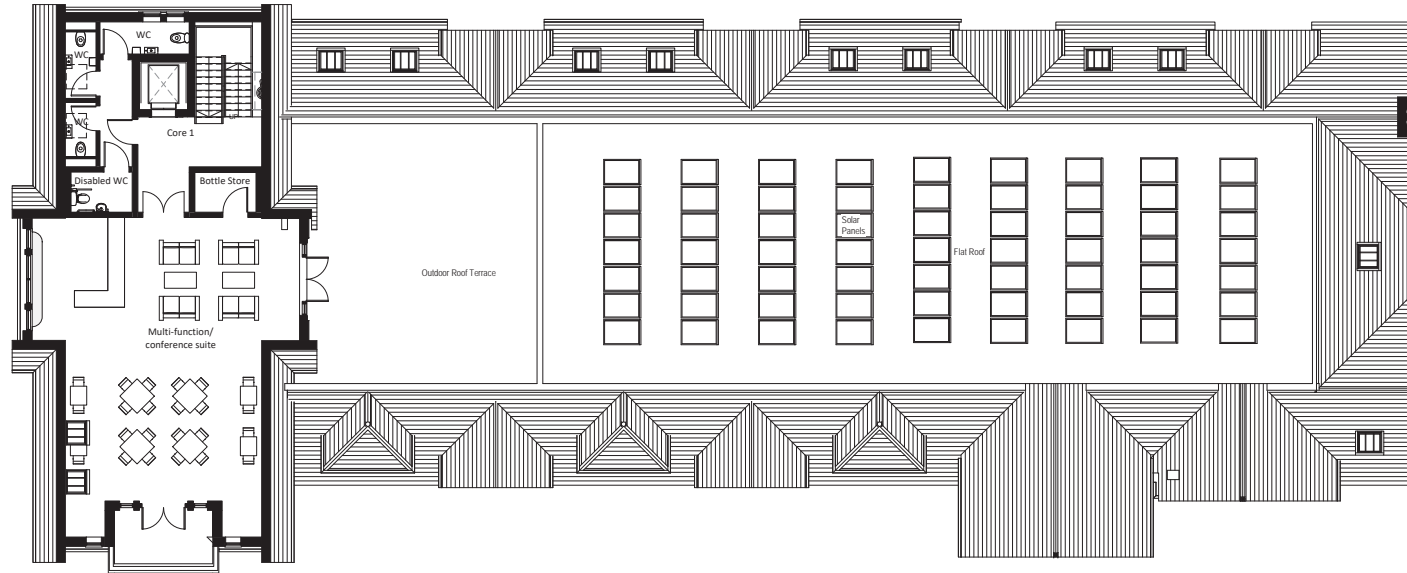
REVISIONS	DATE	DRAWN	CHECK
D	Revisions following client changes	28.10.2020	TH SL
C	Issued for planning	16.10.2020	DT IC
B	Updated plans to reflect proposed changes in line with DCFM & SWIPA feedback	16.09.2020	DT IC
A	Pre-Application Planning Issue	13.02.2020	MD SL

CLIENT	The Royal Oak & Waterloo Hotels		
PROJECT	Waterloo Hotel		
PROJECT NO.	20413		
TITLE	Proposed Mixed Use development - Ground Floor plan		
DWG NUMBER	20413_P220		
REVISION	D		
STATUS	Planning		
SCALE	1:100 @ A1		
DATE	27/01/20		
DRAWN BY	MD		
CHECKED BY	SL		



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Proposed Third Floor Plan



REVISIONS	DATE	DRAWN	CHECK
D	Revisions following client changes	28.10.2020	TH SL
C	Issued for planning	16.10.2020	OT IC
B	Updated plans to reflect proposed changes in line with DCFM & S&PAs feedback	16.09.2020	OT IC
A	Pre-Application Planning Issue	13.02.2020	MD SL

CLIENT | The Royal Oak & Waterloo Hotels  
 PROJECT | Waterloo Hotel  
 PROJECT NO. | 20413  
 TITLE | Proposed Mixed Use Development - Third Floor Plan  
 DWG NUMBER | 20413\_P223  
 REVISION | D  
 STATUS | Planning  
 SCALE | 1:100 @ A1  
 DATE | 02/12/20  
 DRAWN BY | MD  
 CHECKED BY | SL



**Snowdonia National Park Authority    Date: 08/09/2021**  
**– Planning & Access Committee**

---

**Application Number:** NP5/58/598B

**Date Application Registered:** 20/01/21

**Community:** Dyffryn Ardudwy

**Grid Reference:** 258720 323180

**Case Officer:** Mr Aled Lloyd

**Location:**

Llidiart Playing field, Dyffryn Ardudwy.

**Applicant:**

Mr. Edward Griffiths  
 Cymgor Cymuned Dyffryn Ardudwy &  
 Talybont  
 Llecheiddior Isaf  
 Talybont  
 Gwynedd  
 LL43 2BA

**Description:**

Change of use of land from play area to car park to accommodate 11 parking spaces and alterations to existing pedestrian access to create vehicular access.

**To GRANT permission subject to conditions**

- Start within 5 years
- In accordance with the submitted plan
- Landscaping
- No overnight use by campervans and motorhomes

**Reason(s) Application Reported to Committee:  
 Scheme of Delegation**

Application by Dyffryn Ardudwy and Talybont Community Council

**Environmental Impact Assessment (EIA):**

The development has been subject to a screening opinion, which concluded that the development is not EIA development.

**Land Designations / Constraints**

Designated Open Space  
 Inside Housing Development Boundary  
 Public footpath nearby

**Site Description:**

The application site is an area of land that is situated within a predominantly residential area within the centre of Dyffryn Ardudwy adjoining the A496 and adjacent to the village shop/post office and other facilities. A public footpath runs past the site leading to Penrhiw housing estate.

The site was previously a playground with play equipment (swings) now abandoned. The playground has been re-located to another site within the village. A toilet block is sited on the eastern corner of the site, which is currently not used.

The site is designated as an Open Space.

**Proposed Development:**

The proposed development is to change the use of the land from a play area to a car park to accommodate 11 parking spaces, together with alterations to the existing pedestrian access to create a vehicular access. The application site has an area of 0.06 hectares.

**Consultations:**

Dyffryn Ardudwy and Talybont Community Council	Dyffryn Ardudwy and Talybont Community Council have declared an interest in the application since the Community Council owns the land subject to the application.
Highways	No objection - subject to conditions.
SAB	Standard Advice.
Ecology	No objection - The site largely comprises improved amenity grassland of negligible ecological interest.  This application will result in the direct loss of amenity grassland of negligible ecological interest but a sympathetic planting scheme should replace any loss to biodiversity.
Forestry	View awaited.

**Responses to Publicity:**

The application has been publicised by way of a site notice and 20 neighbour notification letters were posted to nearby residential properties.

3 letters of objection have been received during the consultation period, objecting on the grounds of

- No need for a car park
- Need to re-locate Bus Stop
- Area is a vital part of Dyffryn Ardudwy
- Previous application refused

### **Relevant Planning Policies – Eryri Local Development Plan (2016 – 2031)**

<b><i>Policy No</i></b>	<b><i>Policy</i></b>
Strategic Policy C	Spatial Development Strategy
Strategic Policy D	Natural Environment
Development Policy 1	General Development Principles
Development Policy 5	Open space and Green Wedges
Development Policy 18	The Welsh Language and the Social Fabric of Communities
Development Policy 25	Visitor Car Parking

### **Supplementary Planning Guidance**

- SPG 2: General Development Considerations

### **National Policy**

Future Wales 2040

- Policy 4 – Supporting rural communities

Planning Policy Wales (Edition 11) 2021

## **1.0 Background**

- 1.1 Planning permission was refused for the Change of use of land to a car park in 2018 as it was considered that the proposal was an inappropriate form of development within an area designated as Open Space.
- 1.2 The current application has been amended from the submitted application, which was to provide parking for 16 vehicles to provide parking for up to 11 vehicles, including additional landscaping. The application has also been supported with the submission of a Traffic Management scheme.
- 1.3 The area was previously used as a children's play area. A new play area has now been created on another site within the village.

## **2.0 Principle of Development**

- 2.1 Whilst the site of the proposed car park is within a designated open space, the key issue is whether the proposal would have an unacceptable effect on the contribution of the Open space within the village, which is assessed in this report. The key policy is Development Policy 5.
- 2.2 It is appropriate to consider the proposal against Strategic Policy C, D and Development Policies 1, 5, 18 and 25.
- 2.3 This proposal complies with LDP Development Policy 5, which primarily aims to protect open space within or adjacent to the main built-up areas of settlements which contribute to the amenity of residents, the character of Conservation Areas or setting of historic buildings. The application site was previously used as a children's play area, where the equipment has now been abandoned and rubber protection mats have been left in situ. It is considered that the car park to be constructed from appropriate materials together with additional landscaping will not have a detrimental effect on the open space and will provide a needed community facility to facilitate better and safer access to local shops and facilities.
- 2.4 Development Policy 25 states that new visitor car parking will not be permitted unless they are an integral part of a planned traffic management scheme. A traffic management scheme has been submitted as part of the application, justifying the need in terms of allowing better access to shops and facilities within the village.

## **3.0 Planning Assessment**

- 3.1 The site comprises an area of somewhat improved amenity grassland together with an unused toilet block which will be retained within the proposed car park.
- 3.2 The children's play area has been re-located from the application site to a more suitable site within the village. The new play area has suitable parking and drop off points for children to be safely transferred from vehicles to the play area.
- 3.3 Planning permission was granted in 2008 for the new play area and the existing site has been redundant since 2018.
- 3.4 There is an established hedge growth along the northern and eastern site boundaries. In addition, there is an existing pedestrian access in place which will be altered which includes a stone wall and a cast iron fence to the front. As part of the current application, plans show an intention for additional planting, including planting heathers and low ground cover native plants along the east boundary.

- 3.5 The proposed finish of the car park, is to have a 'grasscrete' finish which will soften the appearance. With the existing growth of trees and shrubs, and additional landscaping, as well as the scale of the proposal and the presence of an existing access, it is considered the proposal is visually acceptable and therefore complies with the relevant requirements of Development Policy 1.

### ***General and residential amenities***

- 3.6 The proposed new car park is bounded in part to the north and east by residential properties that overlook the site. However, it is considered the boundary vegetation is of sufficient height to ensure it would not be possible to look into the garden of neighbouring houses from the car park. It is considered the impact on residential amenities is acceptable.
- 3.7 In terms of impact on the general amenities of the site, consideration is given to the established use and the fact some disturbance has already occurred due to this use as a former children's play area. Due to scale of the proposal and additional landscaping, it is considered there would be no significant detrimental effect on the open space and amenities and as a result is considered acceptable.

### ***Transport and access issues***

- 3.8 There is currently an existing gated pedestrian access to the site. Consideration must therefore be given in terms of the alterations to the existing access to create a vehicular access. The existing access will be altered from 3 metres to a 6 metre opening. The proposal is not opposed by the Highway Authority, who recommend that any permission granted includes a condition that the proposal is in accordance with the plans.
- 3.9 It is noted in the Grasscrete company information leaflet submitted with the application that this material allows surface water to penetrate naturally into the ground through layers applied to any site. It is accepted that this is a suitable method of drainage. An advisory note will be included on the permission to ensure that the applicant takes appropriate measures to prevent surface water from within the curtilage of the sites to discharge onto the county highway. Approval will be required from the SUDS Approval Body who will also consider discharge of surface water.
- 3.10 The proposal involves the installation of dropped kerbs to allow access on to the highway. Therefore, having considered all the responses received, the proposal is acceptable on the grounds of the impact on highway matters and as a result complies with the relevant requirements of policy DP1.

### ***Strategic Policy C***

- 3.11 Dyffryn Ardudwy is defined as a Secondary Settlement. Strategic Policy C states that within Secondary Settlement development that *improves existing and provides new community facilities to serve local residents and strengthen its role in providing services to the rural hinterland*, will be supported.
- 3.12 The amended proposal reducing the number of car parking spaces together with the landscaping proposed and the justified need for a car park, it is considered that the proposal complies with the relevant criteria of the policy.

### ***Development Policy 5***

- 3.13 The site, which is currently unused as a playground with redundant play equipment (swings), is designated as Open Space for the purposes of the Eryri Local Development Plan (ELDP). Development Policy 5 state that areas of public or private space within or adjacent to the main built-up area of settlements, which contribute to the amenity of residents, will be protected from development.
- 3.14 Whilst the area of designated open space is small, it is considered that the proposed car park would not have a detrimental effect on the site in view of its present condition. The proposal has been so designed, with the use of appropriate materials and additional landscaping, that it will preserve and enhance the designation and contribute to the amenity of residents for the purposes of providing a valuable community resource by providing better and safer access to local shops and facilities.
- 3.15 The traffic management scheme states that the children's play area, as part of improved Highway Safety, was re located to a much more suitable position within the village. The new play facility is now set back from the road with suitable parking and drop off points for children to be safely transferred from vehicles to the play area.
- 3.16 Officers concur that the re-location of the play area is much improved in terms of safety and location and the new site is larger in size and able to offer more play equipment.
- 3.17 In consideration of the above and that a new safer children's play area has been established in another location in the village, it is considered that the proposal complies with Development Policy 5.

### ***Development Policy 25***

- 3.18 To meet the requirements of the policy the Authority must be satisfied that the proposed car park is an integral part of a planned traffic management scheme. A supporting traffic management scheme has been submitted.

Development Policy 25 states; Car parks which are acceptable must:

- i. Be unobtrusively located, be designed, and landscaped to fit sympathetically and where possible enhance surroundings and not impact adversely on the landscape.*
- ii. Have a permeable surface.*
- iii. Not give rise to conflict with other road users.*
- iv. Not compromise road safety.*
- v. Have a direct, off road, footpath connection to the desired destination of the car park users.*

- 3.19 The re-location of the Play area allows for improved traffic management within the village as the former Play area (the application site) entailed parking on the Highway in the busiest part of the village.
- 3.20 The highway outside the application site is always occupied by vehicles whose occupants use the local shop/ post office and facilities. Parking here especially in the summer months prevents the free flow of traffic through the village and at times prevent residents from using the shop and facilities as there are no parking spaces available.
- 3.21 The use of the former playground allows for blocking the one lane together with further vehicles parking on the Highway to visit Shops and other business premises in the immediate vicinity resulting in a longer string of parked cars which further exacerbated the build-up of traffic.
- 3.22 The new car parking area will facilitate up to eleven vehicles including one Disabled Car Parking space that will allow increased footfall for the nearby shops and businesses as users can park safely off road.
- 3.23 The site is screened on three sides by stone walling with fence screening and hedge planting to the roadside elevation. Additional planting and landscaping have been incorporated into the Eastern side.
- 3.24 The proposed surface of the Car Park will have a permeable finish – Grasscrete.
- 3.25 Increased road safety and an improved relationship with road users is achieved by the forming of the car park and has a direct off-road footpath and pavement connection for the car park users to access nearby shop and facilities.
- 3.26 In view that the application site is near to residential properties it would appropriate to impose a condition preventing the use for overnight use by camper vans and motorhomes.
- 3.27 It is therefore considered that the proposal satisfies the requirement Development Policy 25.

### ***Development Policy 18***

- 3.28 Development Policy 18 requires that in determining applications within the National Park the needs and interest of the Welsh Language will be taken into account.
- 3.29 Since it is likely that there will be signage associated with the development it is appropriate to impose a condition requiring such signage to be bi-lingual.

### **4.0 Conclusion**

- 4.1 Given the above and having considered all relevant Planning matters including local and national policies and guidelines as well as comments received, it is believed the application in this case to create a car park is acceptable and complies with the requirements of the relevant policies as set out above.

### **Background Papers in Document Bundle No.1: Yes**

### **RECOMMENDATION: TO GRANT PLANNING PERMISSION SUBJECT TO THE FOLLOWING CONDITIONS**

1. The development hereby permitted shall be commenced before the expiration of FIVE years from the date of this decision.
2. The development hereby permitted shall be carried out in accordance with the following approved plans:  
Location Plan  
Proposed Site Plan Ref E.3/18 received on 21/06/21
3. All planting, seeding or turfing comprised in the approved details of landscaping shall be carried out in the first planting and seeding seasons following the completion of the development; and any trees or plants which within the period of 5 years from the completion of the development die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species.
4. Any signage associated with the development hereby approved shall be bi-lingual.
5. There shall be no overnight parking of campervans and motorhomes.

#### **Reason(s) for Condition(s):**

1. To Comply with Section 91 (as amended) of the Town and Country Planning Act 1990.
2. To define the permission and for the avoidance of doubt.
3. To preserve and enhance the visual amenities of the area, in accordance with Eryri Local Development Plan Policies 2016-2031 and in particular Policy 1.

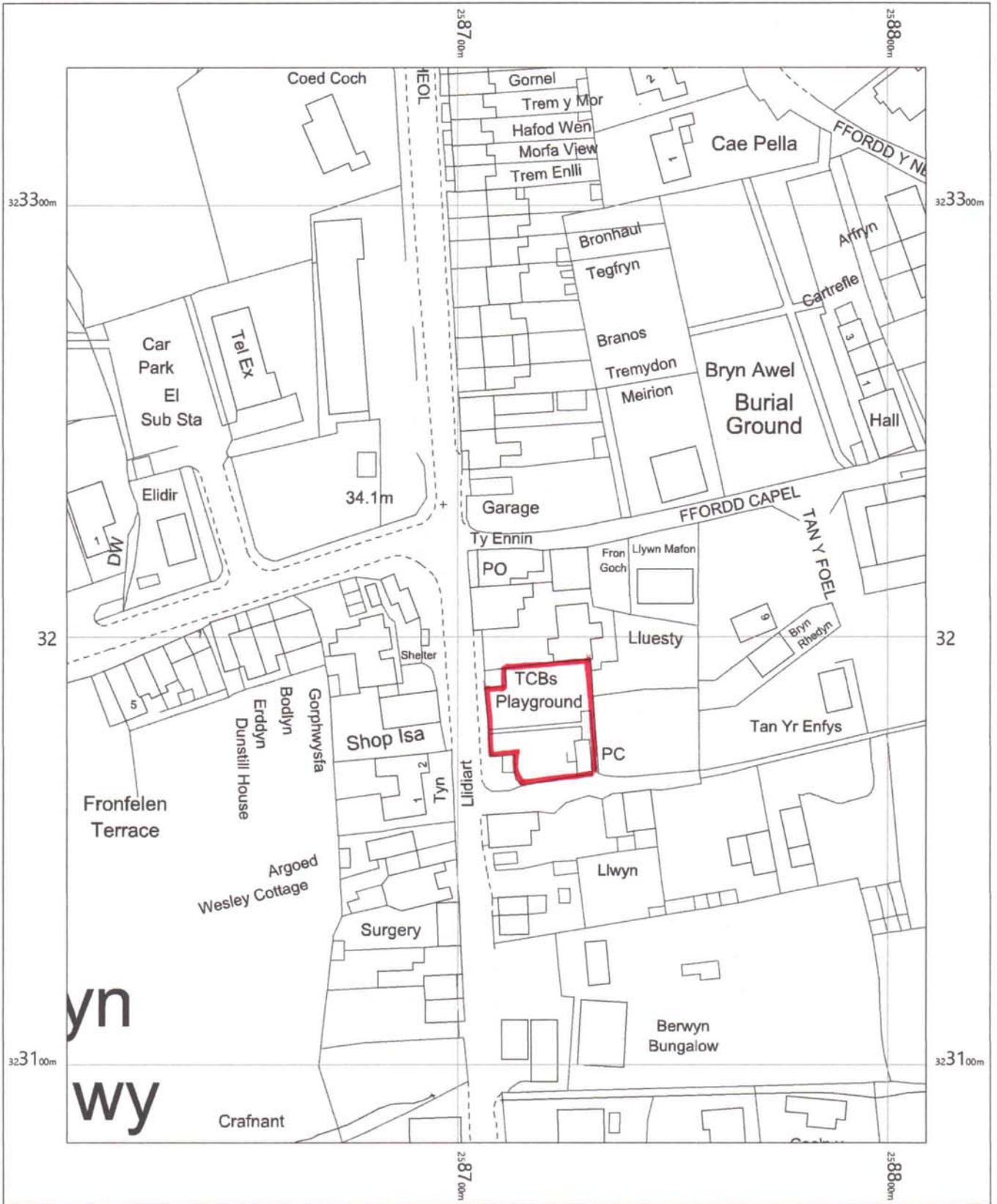


4. In accordance with Eryri Local Development Plan Policies and in particular Development Policy 18.
5. To safeguard and protect the amenity of neighbouring properties in accordance with Eryri Local Development Plan Policies and in particular Policy 1.

#### ADVISORY NOTES

1. The Applicant shall take all appropriate measures to prevent surface water from within the curtilage of the sites to discharge onto the county highway.
2. The applicant should be advised to apply in writing to the Street Works Manager for the necessary consent, as required under Section 171/184 of the Highways Act, 1980, to carry out work within the highway/footway/verge for the formation of the access. Alternatively, please contact Gwynedd Council's Street Works Unit on 01766 771000 for the relevant application forms.
3. In addition to the above, the need to amend the existing on-street parking system in front of the site to secure access to the proposed car park. It is the responsibility of the Highways Department to organise changes here, and the changes will be made upon the receipt of a license application under Section 171/184 of the Highways Act 1980.
4. FLOOD AND WATER MANAGEMENT ACT (FWMA) 2010  
THE SUSTAINABLE DRAINAGE (APPROVAL AND ADOPTION  
PROCEDURE)(WALES) REGULATIONS 2018  
The introduction of legislation on 7th January 2019 made sustainable drainage systems a mandatory requirement on new development where the construction area is 100m<sup>2</sup> or more. It is considered that this development exceeds the above identified threshold and may require Sustainable Drainage Systems (SuDS) consent from the relevant Sustainable Drainage Systems Approval Body (SAB) prior to construction works commencing.

Consequently, you are advised to contact the relevant Sustainable Drainage Systems Approval Body (SAB), i.e. Gwynedd Council for advice and guidance on this matter.



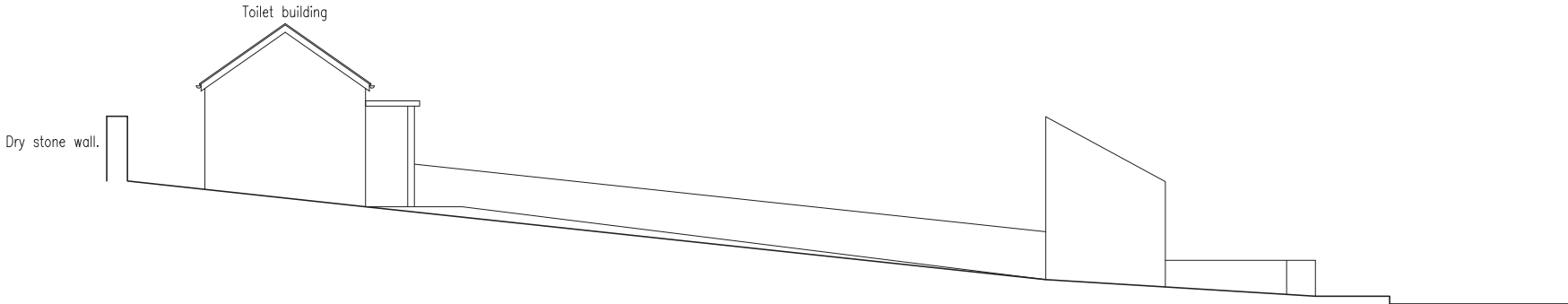
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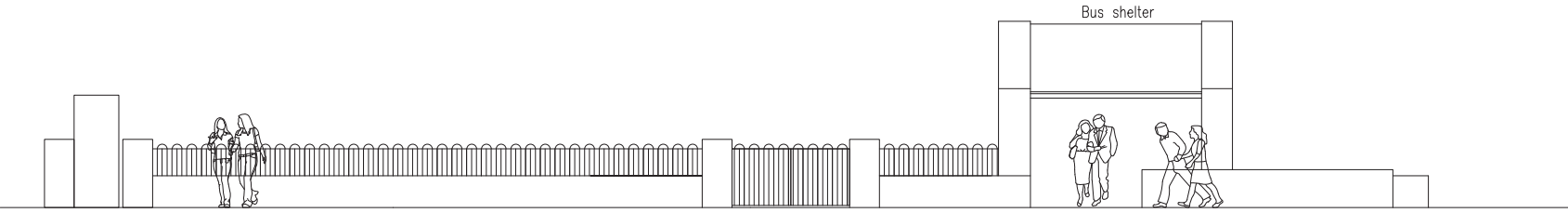
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FOR A BETTER POINT OF VIEW



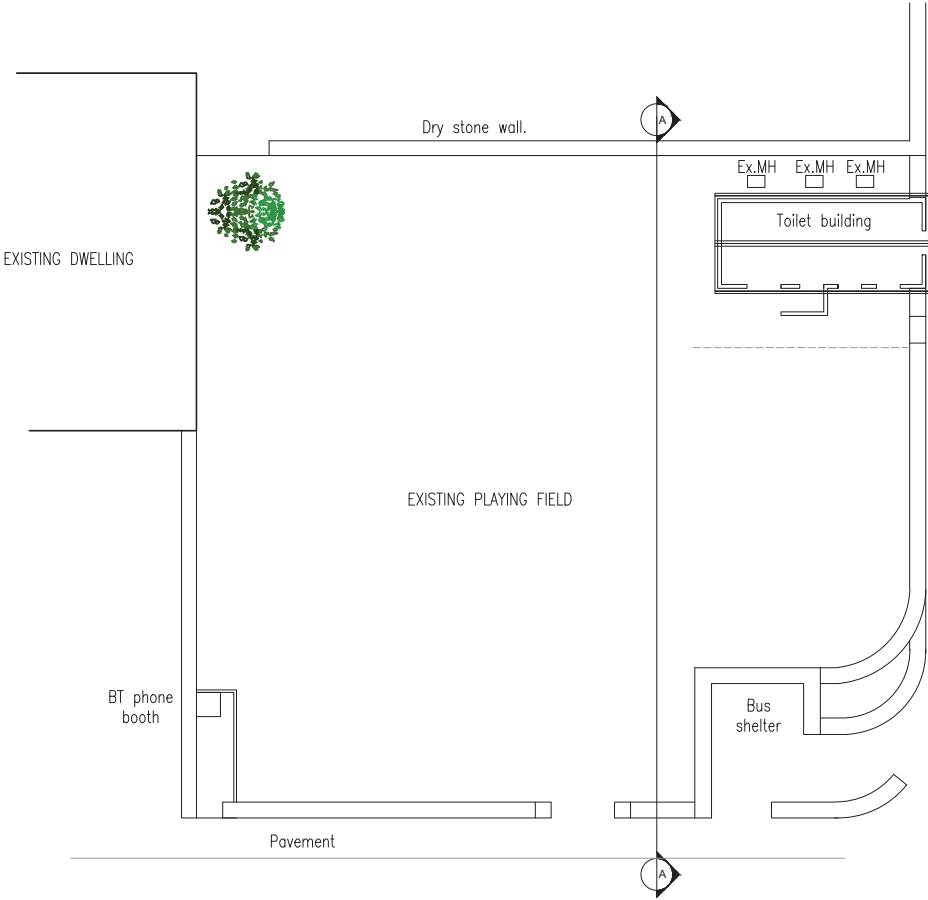
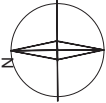
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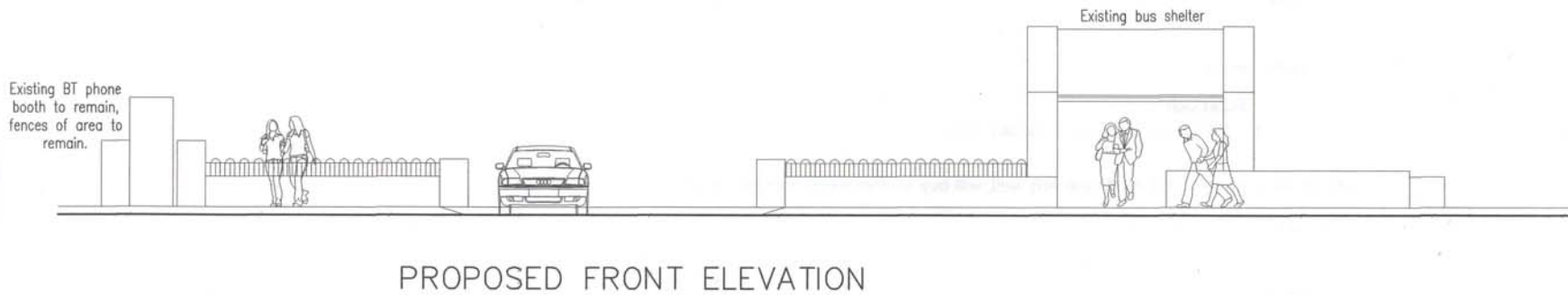
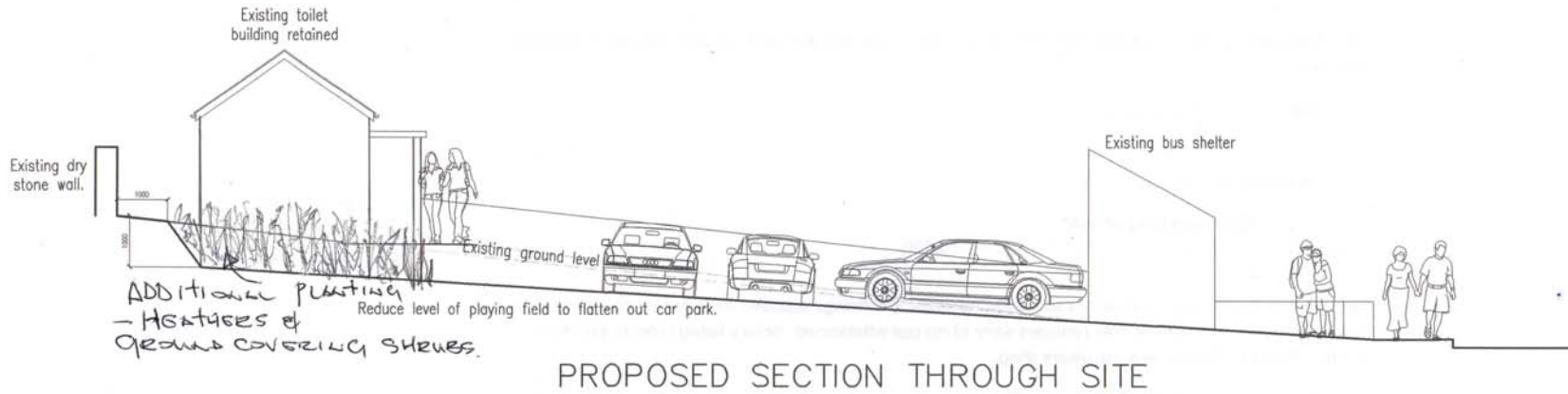
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ARCHITECTURAL DESIGNERS, PLANNING CONSULTANTS BUILDING SURVEYORS & PROJECT MANAGERS		
BRYN RHEDYN . LLANELLYD DOLGELLAU . GWYNEDD . LL40 2SU TELEPHONE : 01341 422370		



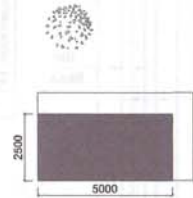
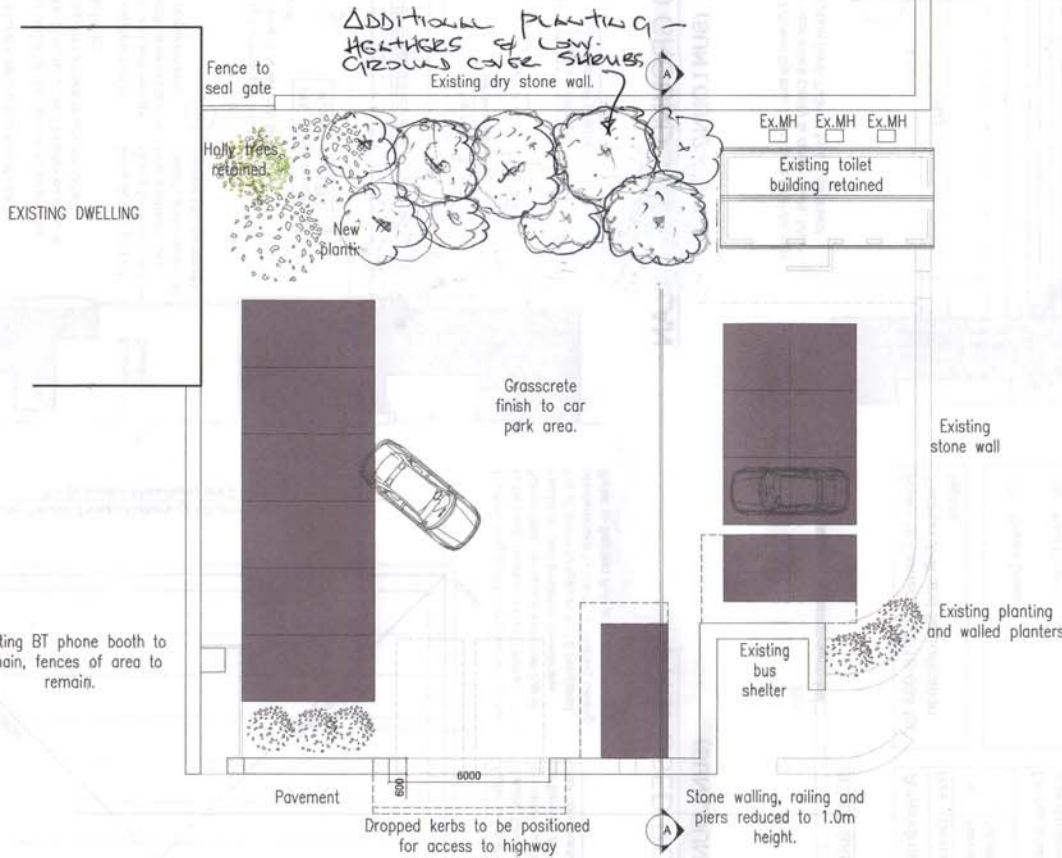
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<b>GERAINT LEWIS ASSOCIATES</b>		
ARCHITECTURAL DESIGNERS, PLANNING CONSULTANTS BUILDING SURVEYORS & PROJECT MANAGERS		
BRYN RHEDYN . LLANELLYD DOLGELLAU . GWYNEDD . LL40 2SU TELEPHONE : 01341 422370		

PROPOSED SITE PLAN



<b>MEETING</b>	Planning and Access Committee
<b>DATE</b>	September 8 2021
<b>TITLE</b>	Supplementary Planning Guidance: Telecommunications and Masts
<b>REPORT BY</b>	Sion Roberts (Planning (Policy) Officer)
<b>PURPOSE</b>	To approve the draft Supplementary Planning Guidance: (15) Telecommunications and Masts, with any necessary changes, for adoption

## **1. BACKGROUND**

The Authority adopted the Eryri Local Development Plan (ELDP) 2016-2031 on the 6th February 2019. As Members are aware, the Eryri LDP contains strategic policies and development policies as a basis for deciding planning applications. Supplementary Planning Guidance documents (SPGs) provide further detailed information, in support of the ELDP policies. To give further guidance regarding the new policies formed through the short form revision a series of new and updated SPGs are being prepared to provide further information and guidance on the implementation of policies contained in the ELDP. SPGs should expand and interpret planning policies and not in themselves, form new areas of policy.

## **2. PURPOSE**

The purpose of the Telecommunications and Masts SPG is to;

- provide detailed guidance about the manner in which the Planning Authority will deal with telecommunication and mast developments which may have an effect on the landscape and character of Eryri.
- provide guidance to assist developers submitting planning and prior approval applications, and to planning officers and Park Authority members in determining planning applications.

## **3. CURRENT POSITION**

This guidance note is one of a series of Supplementary Planning Guidance (SPG) documents which provides further detailed information on how policies contained in the Eryri Local Development Plan (ELDP) (2016-2031) will be applied in practice by the National Park Authority.



The SPG is intended to give more detail on specific issues than is possible or appropriate in the ELDP and will be a material planning consideration when decisions are made on planning applications related to telecommunications and masts.

The draft SPG was taken to the November 11 2020 working group. Following those discussions a number of changes were suggested, and the document was amended. The draft SPG was then put out for a 6 week consultation period between March 25 and May 6 2021, and all comments submitted can be found in the separate document. In terms of changes to the document following the consultation period, they are listed below.

- New text in par 1.12 (*previous text moved to 1.13*). The new text advises applicants to have early discussions with statutory consultees such as NRW and Highways
- Additional wording to par 1.16 to note that the Authority is not responsible for the content of the external website link provided
- Change the PPW 10 references to PPW 11 in chapter 2
- Under chapter 2, the 'Code of Best Practice on Mobile Phone Network Development for Wales (2021)' is included as a relevant document for consideration.
- Under chapter 2, the 'Future Wales: The National Plan 2040' is included as a relevant document for consideration.
- Par 2.21 directs the applicant/reader to Section 4 of SPG 13: Landscape Sensitivity and Capacity Assessment, which provides a generic guidance on siting and design of transmission infrastructure and the potential impacts these factors may have on local landscape character.
- Additional text to par 3.2, which clarifies the version of part 24 referred to.
- Wording amended/added to par 3.12 to clarify these are factors relevant to the Authority's perspective.
- Additional wording to the end of par 3.15 clarifying the timeframe.
- Additional wording added to the end of par 4.7 to note that a Landscape and Visual Impact Assessment should be included with the submitted planning application.
- Additional text to bullet point 2 in par 4.9. This is to clarify what is needed in regards to the potential impacts on key views.
- Par 4.13 refers the applicant/reader to the Code of Best Practice on Mobile Phone Network Development for Wales
- Additional wording added to par 4.26. The MoD wanted additional wording included in this section to note that they would like to be consulted regarding any mast development above 50m.

#### **4. NEXT STEPS**

Following any amendments agreed by the Planning and Access Committee on the updated Telecommunications and Masts SPG, it will be formally adopted and considered as a material planning consideration.



## **5. RECOMMENDATION**

For Members to approve the draft Telecommunications and Masts SPG for adoption, subject to any modifications considered appropriate.

**SNOWDONIA NATIONAL PARK AUTHORITY**



**SUPPLEMENTARY PLANNING GUIDANCE:  
TELECOMMUNICATIONS AND MASTS**

## National Park Purposes and Responsibilities

### Environment Act 1995

#### 61. Purposes of National Parks.

*The provisions of this Part of this Act shall have effect for the purpose -*

*(a) of conserving and enhancing the natural beauty, wildlife and cultural heritage of the areas specified in the next following subsection; and*

*(b) of promoting opportunities for the understanding and enjoyment of the special qualities of those areas by the public.*

### Planning Policy Wales: Edition 10 – December 2018

6.3.6 In National Parks, planning authorities should give great weight to the statutory purposes of National Parks, which are to conserve and enhance their natural beauty, wildlife and cultural heritage, and to promote opportunities for public understanding and enjoyment of their special qualities. Planning authorities should also seek to foster the social, economic and cultural well-being of their local communities.

6.3.9 The special qualities of designated areas should be given weight in the development planning and the development management process. Proposals in National Parks and AONBs must be carefully assessed to ensure that their effects on those features which the designation is intended to protect are acceptable. The contribution that development makes to the sustainable management of the designated area must be considered.

### **Well-being of Future Generations (Wales) Act 2015**

*The Well-being of Future Generations Act is about improving the social, economic, environmental and cultural Well-being of Wales. It establishes a 'sustainable development principle' which means that a defined public body must act in a manner which seeks to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs. The Act puts in place seven well-being goals:*

- *A globally responsible Wales*
- *A prosperous Wales*
- *A resilient Wales*
- *A healthier Wales*
- *A more equal Wales*
- *A Wales of cohesive communities*
- *A Wales of vibrant culture and thriving Welsh Language*

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## 1. Introduction

- 1.1 This guidance note is one of a series of Supplementary Planning Guidance (SPG) documents which provides further detailed information on how policies contained in the Eryri Local Development Plan (ELDP) (2016-2031) will be applied in practice by the National Park Authority. The Supplementary Planning Guidance is intended to give more detail on specific issues than is possible or appropriate in the ELDP

### Purpose

- 1.2 The purpose of this Supplementary Planning Guidance is:
- To provide detailed guidance about the manner in which the Planning Authority will deal with telecommunication and mast developments which may have an effect on the landscape and character of Eryri.
  - To provide guidance to assist developers submitting planning and prior approval applications, and to planning officers and Park Authority members in determining planning applications.

**Status**

- 1.3 This Supplementary Planning Guidance (SPG) will be a material planning consideration when decisions are made on planning applications.
- 1.4 This SPG has been produced to support the policies within the ELDP.
- 1.5 In accordance with good practice, applicants are encouraged to discuss applications with officers, beforehand, in order to decide what kind of assessments need to be prepared. More detail on this is included on the following page.
- 1.6 The most relevant policies in the ELDP are:

- **Development Policy 26: Telecommunication (26)**
- **Development Policy 1: General Development Principles (1)**
- **Development Policy 2: Development and the Landscape (2)**
- **Strategic Policy A: National Park Purposes and Sustainable Development (A)**
- **Strategic Policy D: Natural Environment (D)**

- 1.7 Additional documents relevant to this SPG are:

- **SPG 7: Landscapes and Seascapes of Eryri**
- **SPG 13: Landscape Sensitivity and Capacity Assessment**

## Pre application advice

- 1.8 Prior to submitting a full application, applicants and developers may wish to contact the Planning Service at the National Park Authority, and to work with officers at the pre-application stage, where planning advice is given prior to the submission of a formal planning and/or prior approval application.
- 1.9 Pre application advice has many advantages with telecommunications developments, and micro-siting issues are easily addressed prior to the formal submission of an application.
- 1.10 To access the service applicants will need to complete and submit a pre-application enquiry form (found on the Authority's website) and provide information such as:
- A description of the proposal and what kind of planning permission is being sought
  - A location plan and any other drawings/plans or sketch details you have available
  - The current use of the site or building
  - Photographs of the site or building and of the surrounding area
  - Assessment of potential alternative sites – which will give officers opportunities to assess the landscape and visual impact on different sites
  - Preliminary landscape and visual impacts assessments taking into account the relevant SPG's
  - Any other relevant information (e.g. ecological surveys)
- 1.11 A charge is payable for the pre-application service. The fee varies depending on the type and scale of the proposed development. The following is a link to the relevant page on the Snowdonia National Park website which details this service - <https://www.snowdonia.gov.wales/planning/planning-permission/pre-application-enquiry>
- 1.12 It is also advised that applicants have early discussions with statutory consultees such as NRW and Highways Departments. These discussions between applicant and statutory consultees may assist with the pre-application submission.
- 1.13 Following the submission of this form the applicant will receive a written response from the Authority (normally within 21 days).

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## General Context

[4.131.14](#) There are pressures relating to telecommunications infrastructure within Snowdonia National Park for new and replacement mobile telephone masts, due to the lack of mobile telephone coverage and the topography of the National Park. This results in the need for more masts to provide coverage. Included within SPG 13: Landscape Sensitivity and Capacity Assessment,

*“In more remote areas, telecommunications infrastructure is one of the few developments which by necessity has to be prominently sited. Such developments inevitably affect the perceived wildness of the landscape, by introducing an overt man-made structure into an area perceived as relatively natural and remote from human influence. There can also be an impact on landscapes when there is an increase of structures along established infrastructure corridors. This results in increased visual clutter and development often in highly visible locations. In addition, the visual effects of masts can increase through cumulative visual impact, as prominent sites often contain several, disparately designed developments”*

[4.141.15](#) Planning Policy Wales Edition ~~40-11~~ notes that planning authorities should not question the need for telecommunication systems, and the Authority is fully aware of the need for modern communications in order to fully exploit the social and economic development potential of the area. However the Authority will not support the provision of telecommunications infrastructure if the landscape character and visual amenity of the park are seriously compromised through the inappropriate design or location of installations, or where there is significant detrimental effect upon the amenity of those living nearby. In assessing any planning applications, the Authority will carefully consider the landscape evidence and conclusions contained in SPG7 (Landscapes and Seascapes of Eryri) and SPG 13 (Landscape Sensitivity and Capacity Assessment). This SPG seeks to guide applicants and developers about what is acceptable in terms of siting telecommunications infrastructure in the National Park.

[4.151.16](#) A map displaying the current coverage of mobile networks (EE, O2, Three and Vodafone UK) can be viewed by following this [link](#)<sup>1</sup>. (this is a link to an external website and the Authority is not responsible for the information provided)

<sup>1</sup> [RootMetrics Coverage Map](https://webcoveragemap.rootmetrics.com/en-GB) (<https://webcoveragemap.rootmetrics.com/en-GB>)

## Eryri Local Development Plan (2016-2031) Telecommunications Policy

[4.161.17](#) The following policy, from the Eryri LDP, seeks to ensure that the social and economic benefits of better communication infrastructure are met without negatively impacting the surrounding area.

### Development Policy 26: Telecommunication (26)

Telecommunications developments will be permitted provided that they do not significantly harm the visual amenity and landscape character of the area or adversely affect the amenity of people living close to the site.

Proposals should therefore satisfy all the following criteria:

- i. It can be demonstrated that an acceptable level of service cannot be provided by:
  - a) the use of a more environmentally acceptable site either within or outside the Park,
  - b) sharing an existing site, mast, tower or other structures.
  - c) sharing an existing or planned underground channel with another utility.
- ii. The cumulative effect of the development in conjunction with similar installations, does not significantly harm the visual character or the landscape character of the National Park.
- iii. The mast, antennae and any ancillary structures are expected to be well designed and represent the best practicable environmental option.
- iv. The radio frequency emissions from mobile base stations and apparatus conform to nationally agreed precautionary principles.
- v. Where there is a risk of significant radio interference, it can be demonstrated that this can be overcome by appropriate measures.

It will be a requirement that redundant or obsolete equipment and buildings are removed and the site is restored within six months of the facility ceasing to operate.

## 2. National & Local Policies and Context

### Planning Policy Wales Edition ~~40~~11

- 2.1 Planning Policy Wales (PPW) Edition ~~10~~1 sets out Welsh Government's land use policies and establishes their objectives for conserving and improving natural heritage, landscapes with statutory designations, native habitats, trees and woodlands. PPW ~~40-11~~ notes that planning authorities should provide for the conservation and, where appropriate, enhancement of local landscapes. This may include policies for landscape features, characteristics and qualities of local significance and the designation of Special Landscape Areas (SLA's). In light of this, the SNPA's adopted supplementary planning guidance of 'Landscape Sensitivity and Capacity Assessment' and 'Landscapes and Seascapes of Eryri' are discussed and highlighted within this document.
- 2.2 PPW ~~40-11~~ also states that planning authorities should state which features, characteristics or qualities require extra protection, and explain how the policy or designation will achieve this protection. This is noted within SPG 7 the 'Landscapes and Seascapes of Eryri'.
- 2.3 LANDMAP<sup>2</sup> and any associated landscape character assessments (including the register of historic landscapes in Wales) should be used to inform local landscape policies, planning applications and SPG's. LANDMAP can be accessed via the Natural Resources Wales website.
- 2.4 Regarding Mobile Telecommunications (*which incorporates both mobile phone and mobile broadband technology and services*), PPW ~~40-11~~ notes that the planning system should help support telecommunications infrastructure where it is required, whilst taking in to account the status of protected land and buildings as well as amenity considerations to protect what is valued most in communities and environment. PPW ~~40-11~~ notes that the impact from new mobile telecommunications infrastructure will be the greatest in sensitive landscapes and other designated areas and should be carefully planned. However it is these areas, which are mostly rural in nature which are affected economically and socially by limited coverage. Proactive but considered planning is therefore essential to ensure greatest coverage whilst maintaining the character of these special areas.

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<sup>2</sup> LANDMAP is an all-Wales landscape resource where landscape characteristics, qualities and influences on the landscape are recorded and evaluated. It is a tool to help sustainable decision-making and natural resource planning at a range of levels, from local to national. It can be found on the NRW website.

2.5 PPW ~~40-11~~ states, the sharing of masts and sites is strongly encouraged where that represents the optimum environmental solution in a particular case, for example in designated or sensitive landscape areas. The design of masts will be an important consideration where sharing is likely to be the preferred approach and efforts to disguise apparatus should be pursued where necessary. Wherever possible, use should be made of existing buildings and other structures to site new equipment and developers should engage with planning authorities and the community to identify possible locations that could bring additional benefits. Siting should allow for the greatest possible coverage while, so far as is practicable, minimising the impact on amenity and the external appearance of a building. Conditions should also be used to ensure that equipment that is no longer required or in use is removed promptly.

**Code of Best Practice on Mobile Phone Network Development for Wales (2021)**

2.6 The purpose of this document is to:

- support the roll out of mobile phone infrastructure and to provide guidance with regards to the complex requirements associated with network deployment
- set out an engagement framework for mobile network operators and planning authorities when considering applications for prior approval and/or full planning permission for the improvement of mobile networks
- seek to avoid areas of conflict and to minimise any perceived adverse impacts with the provision of telecommunications equipment
- and support a more collaborative approach to the deployment and improvement of digital connectivity throughout Wales.

2.7 The document also gives advice to applicants on topics such as siting, design, ICNIRP compliance and network deployment considerations.  
~~2.5~~

**Technical Advice Note (TAN) 19: Telecommunications (2002)**

2.8 This Technical Advice Note should be taken into account by local planning authorities in the preparation of development plans. It may also be material to decisions on individual planning applications and would be taken into account in any called-in planning applications and appeals. Further details from TAN 19 are presented in section 4 of this SPG from page 19.

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**Future Wales: The National Plan 2040**

2.9 Future Wales – The National Plan 2040 is Welsh Government’s national development framework, setting the direction for development in Wales to 2040. It is a development plan with a strategy for addressing key national priorities through the planning system.

2.10 In terms of its ‘Economic Action Plan’, the document supports infrastructure development which includes digital communications, and notes that digital communications can have a positive effect on well-being. The document emphasises that in sensitive locations, and other designated areas, digital telecommunications infrastructure will be carefully located to minimise visual impact.

2.62.11 Policy 13 – ‘Supporting Digital Communications’, within the document notes that planning authorities must engage with digital infrastructure providers to identify the future needs of their area and set out policies in Strategic and Local Development Plans to help deliver this.

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**Other National Publications**

2.72.12 Other national documents relative to telecommunications developments ~~are documents such as the ‘Emergency services mobile communication programme’ and ‘Mobile phone network development: code of practice’.~~ These documents, and others, can be found on the Welsh Government’s website by following this link; <https://gov.wales/planning-policy-and-guidance-telecommunications> .

**Well-being of Future Generations (Wales) Act (2015)**

2.82.13 Welsh Government note that the Well-being of Future Generations Act gives the ambition, permission and legal obligation to improve social, cultural, environmental and economic well-being.

2.14 The careful planning and development of telecommunications masts can potentially make a significant contribution to the 7 Well-being goals identified in the Act. It is considered that if the ‘5 ways of working’ identified in Act are implemented in the development of masts (from siting, design, consultation through to the submission of a planning application), then this should lead to a more considered and well-designed development.

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## **SPG 7: Landscapes and Seascapes of Eryri (2014)**

[2.102.15](#) This SNPA adopted SPG identifies the key characteristics of individual Landscape Character Areas (LCAs) and Seascape Character Areas (SCA's) and sets out information on how to manage change within them. Although almost all of the landscapes and seascapes in Snowdonia are of outstanding quality, reflected in its designation as a National Park, it is necessary to define landscape and seascape character areas and to appreciate individual characteristic qualities as well as influences which may lead to changes in character. The main purpose of the guidance is to;

- Define the boundaries and name individual Landscape Character Areas (LCAs) and Seascape Character Areas (SCAs) in Snowdonia National Park
- Identify their key characteristics and valued attributes
- Identify forces for change which are likely to influence changes in the landscape – both for the individual LCAs and SCAs and the National Park more generally – mobile/telecommunication masts are not identified as a force for change generally within this document
- Identify landscape strategies for each LCA, setting out how they should be managed and protected in the future
- Identify the sensitive factors for each SCA

[2.112.16](#) As the document identifies the key features of Landscape Character Areas within the National Park and how they may be adversely affected by certain developments (for example mobile masts developments), it is a crucial document to consider alongside others, when assessing telecommunication planning proposals.

[2.122.17](#) As with the Landscape Sensitivity and Capacity Assessment SPG, the Landscapes and Seascapes of Eryri SPG is a material planning consideration when decisions are made on planning applications.

## SPG 13: Landscape Sensitivity and Capacity Assessment

[2.132.18](#) This assessment of landscape sensitivity and capacity aims to provide a robust evidence base for determining planning applications, helping to protect sensitive and distinctive landscapes from inappropriate development and encouraging a positive approach to development in the right location and at an appropriate scale. The study, as it relates to Snowdonia, specifically considers the following three development types; renewable energy developments, mobile masts (telecommunications transmission infrastructure) and static caravan/chalet parks and extensions, within the landscape character areas identified in SPG 7.

[2.19](#) The acceptability of any development in the rural landscape can be difficult to assess in a rational manner. Whilst it is generally acknowledged that the most valued landscapes should be protected, there are some areas where development can be accommodated, albeit in a controlled way to minimise adverse effects. However, this SPG provides broad strategic guidance on location and impact issues and siting guidance notes to minimise adverse effects for each character areas. Developers should familiarise themselves with each character area and critically analyse, in a more rational manner, the impact of their proposal against identified sensitivity criteria.

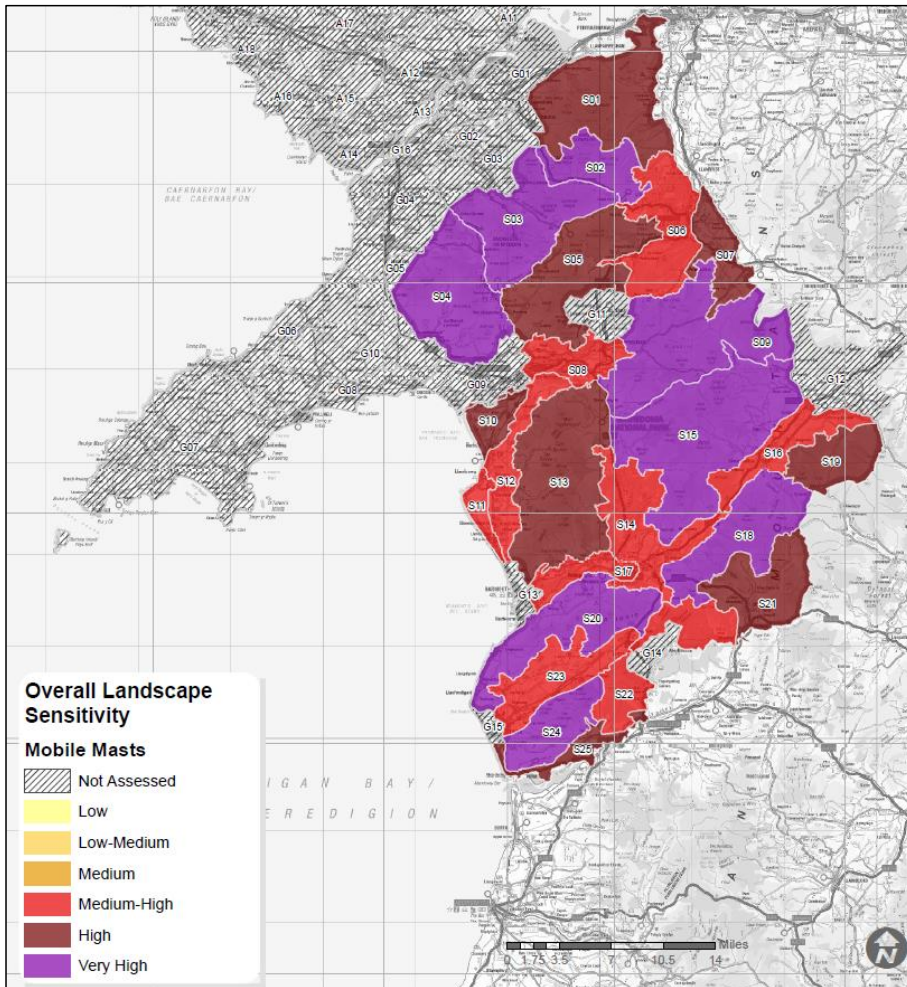
[2.142.20](#) As telecommunication/mobile masts by necessity have to be prominently sited, it is important that they are carefully sited and assessed as to avoid the most sensitive areas. The image below shows the general sensitivity of Eryri's Landscape Character Areas to mobile masts developments. (This study was done on a general LCA level and areas within an LCA may have higher or lower sensitivities compared to the LCA as a whole).

[2.152.21](#) Section 4 of SPG 13 (found here) provides a generic guidance on siting and design of transmission infrastructure, and the potential impacts these factors may have on local Landscape Character. As telecommunication/mobile masts by necessity have to be prominently sited, it is important that they are carefully sited and assessed as to avoid the most sensitive areas. The image below shows the general sensitivity of Eryri's Landscape Character Areas to mobile masts developments. (This study was done on a general LCA level and areas within an LCA may have higher or lower sensitivities compared to the LCA as a whole).

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Figure 1





### 3. Planning Process

#### Masts – Prior Approval (20 metres and under)

- 3.1 Larger telecommunication developments requires developers to apply to the local planning authority either for prior approval or to submit a full planning application.
- 3.2 The prior approval process is legislated under the Part 24 of the Town and Country Planning (General Permitted Development) (Amendment) (Wales) Order 2019 *(the main changes occurred in 2019, with minor amendments supplemented in December 2020)* (GPDO) and can be viewed by following this [link](#).
- 3.3 Most forms of telecommunications development which are permitted under Part 24 of the GPDO are subject to a 56 day prior approval procedure. This is due to the fact the development is situated within a National Park.
- 3.4 This process requires the developer to apply to the local planning authority for its determination as to whether prior approval will be required to the siting and appearance of the proposed development.
- 3.5 The local planning authority have 56 days, beginning with the date on which it receives the application, in which to make and notify its determination on whether prior approval is required for the siting and appearance and to notify the applicant of its decision to give or refuse such approval. There is no power to extend the 56 day period.
- 3.6 If no decision is made, or the local planning authority fails to notify the developer of its decision within the 56 days, permission is deemed to have been granted.
- 3.7 Part 24 of the GPDO requires that an application to the local planning authority must be accompanied by:
  - The developer's contact address, and the developer's email address if the developer has one
  - A written description of the proposed development
  - A plan indicating its proposed location
  - Evidence that the owner or agricultural tenant of the land to which the application relates has been notified of the proposed development

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- Where the proposed development consists of the installation of a mast within 3 kilometres of the perimeter of an aerodrome (see page 22 & 23), evidence that the CAA, the Secretary of State for Defence or the aerodrome operator (as appropriate) has been notified of the proposal
- The appropriate fee
- For development involving the construction or installation of one or more antennas (unless they are all small cell antenna), the application must also be accompanied by a declaration that the equipment and installation, when constructed or installed, will operate in full compliance with the International Commission on Non-Ionising Radiation Protection (ICNIRP) guidelines.

3.8 It is considered good practice that the following is also submitted:

- Evidence that the possible use of an existing mast, building or structure has been considered before submitting an application to erect a new mast
- Information about the purpose and need for the particular development
- Where the proposed development consists of the installation, alteration or replacement of a mobile phone base station on or near a school or college, evidence that the relevant body of the school or college has been consulted about the proposal
- A statement indicating the height of the proposed antenna, the frequency and modulation characteristics and details of power output.

3.9 The National Park Authority should begin the consultations and notification as set out in the regulations as early as possible on receipt of the application in order to allow sufficient time in which to consider the application in light of any representations received.

3.10 The National Park Authority should take into account representations received in determining whether to give or refuse approval for a proposed development. The Authority may wish to discuss with the developers possible modifications to the proposed development to mitigate the concerns raised by particular consultees.

3.11 Factors to be considered concerning the appearance of the mast and ancillary apparatus include materials, colour and design. The use of appropriate materials and coloration may allow a mast to blend more easily into its surroundings. Features of design which may be considered include dimensions; overall shape; and whether construction is solid or forms an open framework. The Authority should also consider with the developer the availability of alternative designs which might be more suited to the local environment.

3.12 Factors concerning siting, from the Authority's perspective, may involve:

- The height of the site in relation to surrounding land

17

- The existence of topographical features and natural vegetation
- The effect on the skyline or horizon
- The site when observed from any side, including from outside the authority's own area
- The site in relation to areas designated for their scenic or conservation value
- The site in relation to existing masts, structures or buildings, including buildings of a historical or traditional character
- The site in relation to residential property
- Any other relevant considerations

3.13 In considering the siting and appearance of a mast together with its associated development, the scope of landscaping and screening to reduce the impact of the development on its surroundings will be an important consideration.

#### **Determination not to require Prior Approval**

3.14 If the Park Authority determines that prior approval is not required, the development may proceed (a) when the operator receives written notice of such a determination or (b) after the 56-day period expired. The authority should give notice of any determination as soon as possible, rather than allowing the 56-day period to expire without notifying the applicant. The development must be carried out in accordance with the details submitted with the application for the determination or as otherwise agreed in writing by the authority.

#### **Determining to require Prior Approval**

3.15 If the authority decides that prior approval is required for the siting and/or appearance of the development, it should give the operator/developer prompt written notice of that determination within the statutory timeframe.

#### **Minor Telecommunications Development**

3.16 Some small scale telecommunication developments and operations do not require planning permission, for example television aerials, small satellite dishes on residential properties. In terms of satellite dishes in some cases planning permission and listed building consent may be required. For further information see;

- [Planning and guide for householders \(link\)](#)

- Planning Portal Wales – Interactive Household ([link](#))

### **Fixed Line Broadband**

3.17 In respect to the provision of fixed-line broadband, such developments can rely on permitted development rights provided relevant conditions are adhered to. Within the National Park these are as follows;

- One month's notice in writing must be given to Natural Resources Wales (NRW) and the Local Planning Authority
- The notice must state the developers' intention to install electronic communications apparatus, describe the apparatus and identify the location where they propose to install it
- Cabinet colour must be; green, black (except matt black), or a colour which has the written approval of the local planning authority prior to the commencement of the development
- Any telegraph pole must have the same appearance and be made of the same material as the nearest existing telegraph pole to it which has planning permission, unless an alternative appearance or material has been approved in writing by the local planning authority prior to the commencement of the development.

#### 4. Material Planning Considerations

- 4.1 Snowdonia National Park Authority will consider any development proposal in accordance with the ELDP (2016-2031) as well as its Supplementary Planning Guidance documents which have been discussed above.
- 4.2 Development Policy 26: Telecommunications is shown on page 9, and notes that any proposal put forward should demonstrate that an acceptable level of service cannot be provided by;
- The use of a more environmentally acceptable site (evidence must be presented that other sites have been considered and why they aren't suitable for development e.g. that the alternative sites would have a larger impact, that there would be technical issues etc)
  - Sharing an existing site, mast, tower or other structures
  - Sharing an existing or planned underground channel with another utility
  - The use of a relay mast/antenna
- 4.3 The policy also states that the proposed development should not have a cumulative effect in conjunction with similar installations and that it does not harm the visual character or landscape character of the National Park.
- 4.4 Strategic Policy D: Natural Environment notes that the natural resources, biodiversity, geodiversity and 'Special Qualities' of Snowdonia National Park will be protected from inappropriate development. Proposals should not adversely affect the National Park's biodiversity resources including designated sites from an international through to a local level, as well as wider biodiversity resources e.g. habitats and species outside designated sites. The National Park will advise developers that they must comply with any statutory species protection requirement as referred to in Planning Policy Wales (PPW) and the Technical Advice Note (TAN) 5: Nature Conservation and Planning.
- 4.5 The initial stages in planning any development involve the identification of an appropriate type/scale of development and the consideration and selection of a suitable site in order to minimise landscape and visual effects. For example, choosing an appropriate site may help mitigate the visual impact of a development even before the detailed design stage. As a starting point, the sensitivity assessment of the relevant LCA should be consulted for each potential development to gain an understanding of the baseline landscape character and key sensitivities to that particular type of development.

- 4.6 Developments located within or near to the following will be critically assessed and mitigation measures will need to be provided as well as assessments of potential alternative sites, in line with the policy. These include;
- Areas of high landscape value and sensitive to change (*Guidance will be taken from SPG 7, SPG 13 and LANDMAP*)
  - Areas of high visual sensitivity (*Guidance will be taken from the Landscape Sensitivity and Capacity Assessment – note that this is a strategic study and not prescriptive at an individual site level*)
  - Protected natural designations where there would be an identifiable impact
  - Historic Landscapes, Scheduled Ancient Monuments, World Heritage Sites, Candidate World Heritage Sites and Listed buildings
  - Eryri Dark Sky Reserve core areas – depending on lighting proposals
- 4.7 SPG 7 and SPG 13 are material planning considerations when decisions are made on planning applications. Developers are advised to assess the landscape and visual impact of any proposal on the character of LCAs and consider mitigation measures if there are adverse impacts. A record of this analysis should be included within supplementary information accompanying planning applications. [A Landscape and Visual Impact Assessment should be included with the submitted planning application.](#)
- 4.8 The specific siting and design guidelines produced for each LCA may also assist in the selection of a suitable site and type/scale of development.
- 4.9 It is important to note that there are often local variations in the character and sensitivity of each LCA, therefore a site specific analysis should be undertaken to identify any potential landscape and/or visual issues at any given location. As part of this it will be important to consider potential impact on the following;
- Landscape character (particularly key characteristics)
  - Key views ([this includes annotated photos of key views, photomontage images and ZTV \(zones of theoretical visibility\) maps](#))
  - Special qualities (of landscape designations/remoteness/tranquillity etc)
- 4.10 Impacts on landscape character are likely to be related to the following;
- Landform – whether landform is complex or simple and how the nature of the proposed development relates to this or conflicts with it.

- Development can dominate small scale or intricate landforms if not carefully sited
- Landcover – how the proposed development fits in or conflicts with the pattern of the land cover and what sensitive features may be at risk
- Man-made influences – does the proposed development introduce an uncharacteristic man-made influence into a landscape

4.11 Proposals will also need to take into account any impact that the development may have on neighbouring LCA's.

### Mast and site sharing

[4.12](#) TAN 19 notes that local planning authorities may reasonably expect applications for new masts to show evidence that they have explored the possibility of erecting antennas on an existing building, mast or other structure such as an electricity pylon. Conditions in code operators' licences require applications to explore the possibility of sharing an existing radio site. This evidence should accompany any application made to the local planning authority, whether for prior approval or planning permission.

[4.124.13](#) [Guidance in relation to site sharing is also contained within the Code of Best Practice on Mobile Phone Network Development for Wales.](#)

[4.134.14](#) If the evidence regarding the consideration of such alternative sites is not considered satisfactory, the planning authority may be justified in refusing planning permission for the development. In such circumstances, the authority should give clear reasons why it considers the evidence before it to be unsatisfactory. It is for the local planning authority in the first instance to satisfy itself as to whether the information which has been provided in this respect is satisfactory and to bear in mind the technical constraints upon network development in reaching any decision.

[4.144.15](#) In considering alternative sites, the authority will be mindful of the potential impact on the local environment of development on those sites. This will be particularly important where an alternative site would involve the redevelopment of an existing mast for shared use. In certain circumstances the shared use of an existing mast might necessitate an increase in the height or structural capacity, and therefore the visibility, of that mast. Depending upon the characteristics of the location, site sharing as opposed to mast sharing may be more appropriate. A second installation located alongside or behind the principle installation may, for example, provide a more beneficial solution in environmental and planning terms.

[4.154.16](#) The SNPA will take account of all the advice contained in TAN 19 including the cumulative impact upon the environment of additional antennas

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sharing a mast or masts sharing a site or a possible more favourable option of locating a new site.

## Design

[4.164.17](#) Masts, antennae and any ancillary structures are expected to be well designed and represent the best practical environmental option. The Authority will consider the suitability of the proposed design, including ancillary development and landscaping. Design options will be affected by site conditions, technical constraints, landscape features and capacity requirements. Its height, ancillary development and the scope for landscaping and screening will also be important considerations.

[4.174.18](#) The applicant/developers should use sympathetic design and camouflage to minimise any impact that the development might have on the surrounding environment. The telecommunication industry is encouraged to continue its development of innovative design solutions. This is not only in terms of the masts and antennas themselves, but of the materials and colouring as well. This also includes masts designed to look like street furniture, and the redevelopment or restoration of existing properties to incorporate telecommunications apparatus. Authorities may wish to discuss with operators, different design options in connection with a particular development proposal. It should be borne in mind that some designs may not be suitable for future sharing. Where it is agreed that a site is suitable for future mast sharing, it may be appropriate to install a mast specifically designed to facilitate its redevelopment for sharing.

[4.184.19](#) Applicants are encouraged to provide the National Park Authority with different examples of design solutions and are also encouraged to explore possible alternative approaches, for example site and mast sharing (as mentioned previously), location and alternative designs for the apparatus. When considering the design of an individual development, in particular mast developments, careful consideration should be given to screening and plantings. The boundaries of the site should be drawn large enough to accommodate the necessary landscaping.

[4.194.20](#) The Authority should ensure that they understand the constraints the operator faces, whether due to the nature of the technology or the legal requirement to provide a service. Operators should be prepared to explain technology and legal limitations, and to discuss the feasibility of alternative sites. Pre-application discussions should help to identify and resolve issues at an early stage, and to facilitate the formal application process.



[4.204.21](#) Furthermore, applicants/developers will be asked to demonstrate and justify that they are using the best design possible based on recognised design guide lines.

### Radio Interference

[4.214.22](#) TAN 19 notes that there are two types of interference. The first type is electrical interference, caused by a radio transmitter or by unwanted signals emitted by other electrical equipment. Only if there is clear evidence that significant electrical interference will arise, and that no practicable remedy is available, will there generally be any justification for taking it into account in determining a planning application. The second type is physical interference. Large prominent structures such as tower blocks, cranes, warehouses or windfarms can cause widespread disruption to television and other telecommunications services due to the physical obstruction or reflection of the wanted signals. Although unlikely to be an issue within the National Park the Authority will need to be satisfied that the potential for interference has been fully taken into account in the siting and design of such developments.

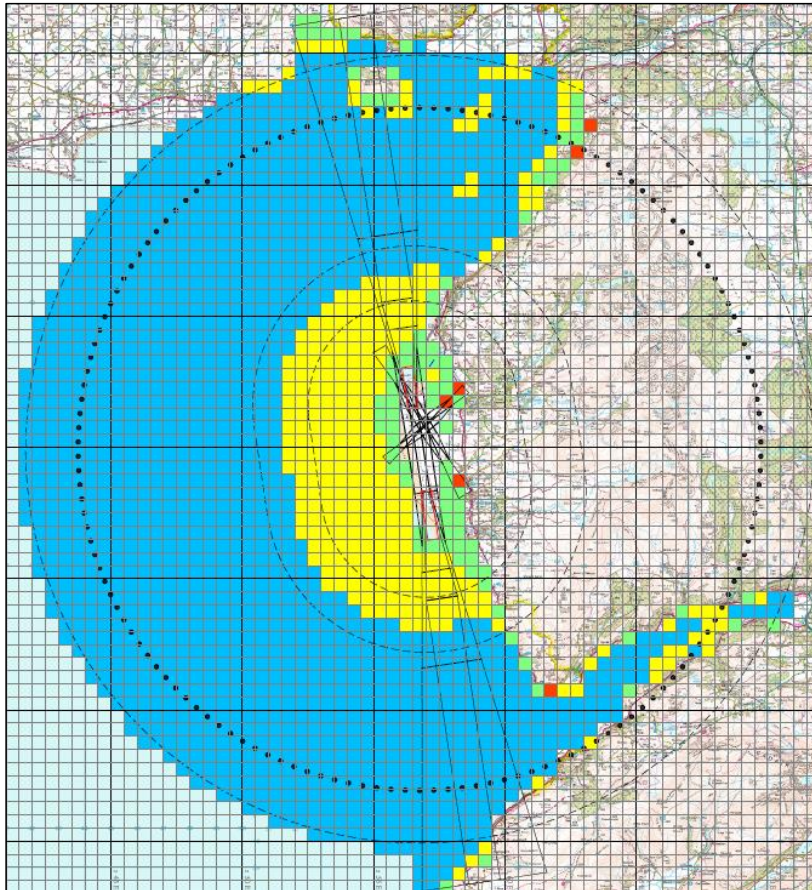
[4.224.23](#) Where the potential for electrical interference to telecommunication or broadcast signals are expected, co-ordination with Ofcom (*formerly would have been contact with the Radiocommunication Agency*) would be required to ascertain whether an engineering solution to the problem is feasible. In such instances, they should be contacted at the earliest stage in the planning process and their advice taken into account. Where such problems are likely, local planning authorities may grant planning permission subject to a condition that, before development commences, the developer will ensure that the quality of any reception affected by the development will be restored.

[4.234.24](#) Where there is a risk of significant radio interference, it should be demonstrated by the applicant that this can be overcome by appropriate measures.

### Airspace

[4.244.25](#) Llanbedr Enterprise Zone has been designated within the Eryri LDP, and any proposal for telecommunication development in this area would need to consider any potential radio interference as well as the safeguarded airspace within the area.

Figure 2



**TOWN AND COUNTRY PLANNING ACT 1990  
TOWN AND COUNTRY PLANNING (AERODROMES AND TECHNICAL SITES) DIRECTION 1992**

1. For the purposes of the above named Direction, this chart, prepared by SLC Associates, is certified as being the safeguarding chart for the aerodrome known as:

**LLANBEDR AIRFIELD**

- All development within the outer safeguarding area.
- All buildings, structures, erections and works exceeding 10 metres in height (32.8 feet).
- All buildings, structures, erections and works exceeding 15 metres in height (49.2 feet).
- All buildings, structures, erections and works exceeding 45 metres in height (147.6 feet).
- All buildings, structures, erections and works exceeding 90 metres in height (295.3 feet).
- All applications involving major tree planting schemes, mineral extraction or quarrying, a refuse tip, a reservoir, a sewage disposal works, a nature reserve or a bird sanctuary and all applications connected with an aviation use.

3. The appropriate office for the purpose of consultation is the Airport Manager, Llanbedr Airfield Estates LLP, Llanbedr Airfield, Gwynedd, LL45 2PX, to the extent specified in the key above of any land within.

[4.254.26](#) With regards to safeguarded airspaces, the map shown previously in figure 2 shows the areas where developments of specific heights are prohibited. The legend attached to the image details the height restrictions for each relevant area, for example areas displayed in red note that no buildings or works exceeding 10m (32.8 feet) should be built there. [The Ministry of Defence notes that military fixed wing aircraft may engage in low flying training activities at heights of 76.2m above terrain features within the National Park. For most applications over 50m of height, it is requested that the Ministry of Defence are consulted in order to ensure that there is no conflict of use in the proposed area.](#)

### Health impact considerations

[4.264.27](#) Providing that the development meets the new International Commission on Non-Ionising Radiation Protection (ICNIRP 2020 – [link here to website highlighting the differences between the 2020 guidelines and previous versions](#)) guidelines, planning authorities should not consider the health aspects of mobile telecommunication equipment. All new base stations are expected to meet the ICNIRP guidelines.

### Need

[4.274.28](#) As advised in Planning Policy Wales Edition 10, Local Planning Authorities should not question the need for proposed developments. The need for masts is affected by customer usage, their size and the terrain.

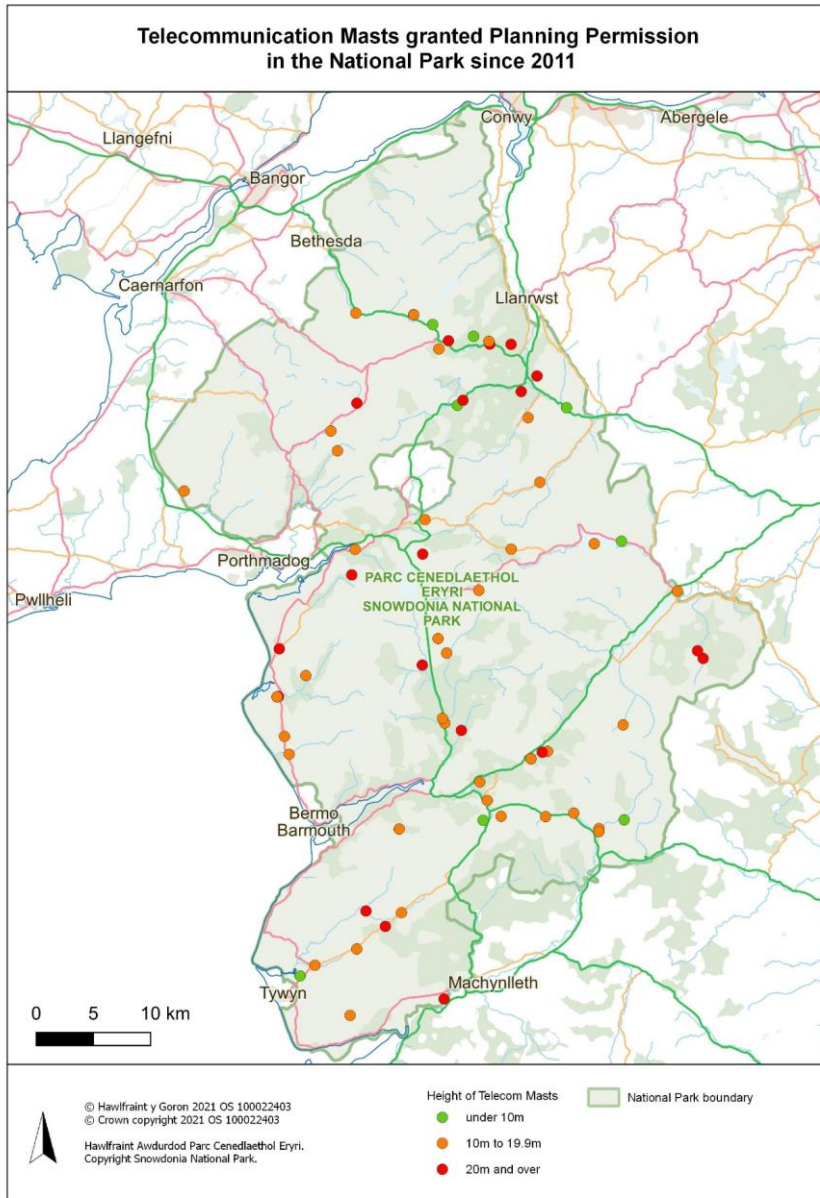
### Devaluation of property

[4.284.29](#) Potential devaluation of property arising from telecommunication development is not a planning consideration.

### Loss of view

[4.294.30](#) As mentioned throughout this SPG, telecommunication developments can be very prominent. Loss of view for individual householders is not a material consideration, however if a proposed development is likely to have an adverse effect on visual amenity, then this would be a planning concern. The Authority may seek to mitigate the impact through screening or landscaping, but if it cannot be made acceptable then the application may be refused.

Appendix 1



Resp ID	First Name	Surname	Organisation	Chapter	Paragraph number/ Page	Representation	Officer Response	Changes Proposed
1	Jon	Wilson	Ministry of Defence		Section around par 4.24	Having reviewed the draft supplementary planning guidance it is noted that section 4.24 addresses safeguarding of airspace and identifies the need to take account of aerodrome safeguarding criteria designated for the Llanbedr Enterprise Zone. However, the relevance of military low flying training in relation to the consideration of proposals to develop new masts is not identified. Accordingly the MOD considers that this section should be amended to identify the need for the MOD to be consulted upon any new mast developments proposed within the National Park that will be 50m or greater in height. In conjunction with this, provision should be made to take into account national defence requirements in the determination of new mast development proposals.	Will add the following wording to the section - "The Ministry of Defence notes that military fixed wing aircraft may engage in low flying training activities at heights of 76.2m above terrain features within the National Park. For mast applications over 50m of height, it is requested that the Ministry of Defence are consulted in order to ensure that there is no conflict of use in the proposed area."	Added wording to par 4.26 which notes "The Ministry of Defence notes that military fixed wing aircraft may engage in low flying training activities at heights of 76.2m above terrain features within the National Park. For mast applications over 50m of height, it is requested that the Ministry of Defence are consulted in order to ensure that there is no conflict of use in the proposed area."
2	Evan	Owen				Your document doesn't mention the duty to foster the social and economic wellbeing of the residents, why?  Is there a maximum height restriction now, does this SPG not have such a restriction?	Noted	
3			NRW			We would welcome particular emphasis given to the following; Getting the site choice right in the first place, based upon an understanding of landscape fit and how the scheme would be seen within available views, is important to achieving the conservation and enhancement of natural beauty and special quality. Landscaping will not be able to do this	We believe that the section highlighting the pre-application advice process will aid in this purpose.	
4			NRW			Landscape and visual analysis should be applied at all key stages in the planning process - from strategic site choice and consideration of alternatives, local siting in response to the landscape and visual context, the design and layout of site components, colour, boundaries and any planting for integration. This will require the applicant to make full use of a landscape professional in making decisions leading up to the preferred scheme to be submitted for planning approval	Agreed	
5			NRW		1.8	The Landscape and Visual Appraisal then becomes the document demonstrating how the development and its planning supports the conservation and enhancement of natural beauty and special qualities. This approach needs to run through the SPG and could be first introduced in section 1.8 Pre-application advice	We believe that the SPG does this but additional wording has been added in the document to reflect it, for example in par 4.7.	
6			NRW			We would also recommend that the SPG provides further clarity on the following items:		



7			NRW	1.11	With regards to section 1.11 of the SPG, it would be useful to clarify how the planning authority will provide landscape advice at the pre-app consultation stage	The new text put in under '1.12' (see in point 8 below) advises that applicants undertake early discussions with statutory consultees such as NRW, Highways etc which will mean that landscape advice is potentially given prior, or during the pre-application advice stage	New text in par 1.12. The previous par 1.12 is now 1.13
8			NRW		It would help to explain in the SPG that the developer may need to also discuss the scheme with statutory consultees at this stage	Will add text to the 'Pre-application advice' section note that "It is also advised that applicants have early discussions with statutory consultees such as NRW, Highways etc. These discussions between applicant and statutory consultees may assist with the pre-application submission."	To put this new text at 1.12 and then 1.13 is the current 1.12
9			NRW		At the pre-app stage, it would be helpful to advise that the applicant submits site options and preliminary landscape/environmental / built heritage site assessments for meaningful planning discussion.	Noted	
10			NRW		The planning submission will need to demonstrate that landscape professional advice has informed strategic site choice, local siting, site layout, colour, boundaries and any planting. This is more than the production of a Landscape and Visual Appraisal in support of the scheme	Agreed	
11			NRW		Colour for landscape integration can be applied to the mast, antenna, the rear of dishes, the base units and weld mesh fencing (where this type of boundary is appropriate). The principles of environmental colour analysis will need to be applied in specifying colour proposals (provide BS/ RAL reference codes)	Details on colouring are displayed in par 3.11, 3.17 and 4.17.	
12			NRW		We recommend that a Landscape and Visual Appraisal is submitted with each full planning application and accord with the Guidelines for Landscape and Visual Impact Assessment. This is to confirm that the planned scheme is the best option for conserving natural beauty and special qualities. Annotated photos of key views are a standard requirement. Photomontage images may also be required. This may be clarified at the Pre-App consultation stage	This is asked within the pre-application section, however additional text added to par 4.7 "A Landscape and Visual Impact Assessment should be included with the submitted planning application". Additional text will be added to par 4.9 on the 'Key Views' bullet point.	Addition of text to par 4.7 which notes "A Landscape and Visual Impact Assessment should be included with the submitted planning application" Addition of bullet point 2 in the text to par 4.9 which notes "(this includes annotated photos of key views, photomontage images and ZTV (zones of theoretical visibility) maps)"
13			NRW		Where the scheme does not accord with SPG13: Landscape Sensitivity and Capacity Assessment, the Landscape and Visual Appraisal will need to explain why the scheme is acceptable in its local context	This will be required as part of the application.	
14			NRW		Reference to SPG 13 Section 4: Generic guidance on siting and design would be useful	A new par under the SPG 13 section referring applicants to Section 4 of SPG 13.	An additional par added to the section for SPG 13. Par 2.21 directs the applicant to Section 4 of SPG 13 which provides a generic guidance on siting and design of transmission infrastructure (as well as renewable energy and tourism developments)

15			NRW		Where forestry/ woodland/ stands of trees are being used to provide visual integration to the development, the Landscape and Visual Appraisal will need to explain the likely changes to the landscape baseline over the lifetime of the development. Reference to forestry management plans, the potential to windthrow, age and condition of trees, and the presence of tree species known to be susceptible to disease or die back (currently larch and ash) will need to be considered. this could make a site unviable for landscape and visual reasons or may require offsite planting to be negotiated and planned for	At pre-application stage we will advise applicants to consult with NRW and/or any relevant private woodland management organisations.	
16			NRW		We note that the intention of the SPG is to provide detailed guidance on the assessment of effects on the landscape and character of Eryri. We recommend that you seek the advice of your internal ecologist with regard to the implications of telecoms masts affecting bat roosting and feeding patterns by locating telecoms masts next to trees. The SPG should reflect any issues as this could affect site planning	Noted	
17	Sean	McHenry	Cornerstone		I feel it is relevant to point of the new Welsh Code of Best Practice for Telecommunications Infrastructure, published March 2021. This document provide up-to-date and fit for purpose planning guidance, including consideration of the various technical elements associated with modern infrastructure deployment, that should be used to guide development and consultation for telecommunications infrastructure and should form the basis for this SPG 15 document	The draft SPG document was written prior to this publication therefore references to the Code of Best Practice for Telecommunications Infrastructure have now been added to the document.	Additional heading under section 2 which notes 'Code of Best Practice for Telecommunications Infrastructure'. Par 2.6 and 2.7 gives an introduction to the document's purposes and its relevance to the SPG.
18	Sean	McHenry	Cornerstone		It is significant to note that at various parts of the draft there is reference to Planning Policy Wales 10 – this has been updated and Edition 11 has now been adopted. This is particularly relevant at paras 1.14 and 2.1-2.5.	Noted - will change all PPW10 references to PPW 11	Will change PPW10 references to PPW 11
19	Sean	McHenry	Cornerstone		It is also significant to note that the new National Planning Framework document - Future Wales: The National Plan 2040 is not referenced at all within this document. This national Framework document discusses the significance of digital connectivity throughout and is certainly relevant to this SPG document.	The draft SPG document was written prior to this publication therefore references to the Future Wales: The National Plan 2040 have now been added to the document.	Additional heading under section 2 which notes 'Future Wales: The National Plan 2040'. Par 2.9. 2.10 and 2.11 give an introduction to the document's purposes and its relevance to the SPG.

20	Sean	McHenry	Cornerstone		Finally, I feel it significant to reference the Welsh Government 'Mobile Action Plan' (update 2019) for telecommunications service and the Welsh Infrastructure Commission (2019) advice – these documents are nationally important and have numerous aspects related to planning. I feel it is appropriate that all these documents are referred to within this SPG document for context. I would suggest that this is embedded within the 'National Park Purposes and Responsibilities' section and Chapter 2	Noted	
21	Sean	McHenry	Cornerstone	1.15	I feel that para 1.15 should acknowledge that the map embedded within the link is unlikely to be fully up-to-date and that is subject to change that is unlikely to be captured within the map.	Agreed. Added wording	Wording added to par 1.16 which notes "this is a link to an external website and the Authority is not responsible for the information provided"
22	Sean	McHenry	Cornerstone	2.6	At para 2.6 I feel that reference to TAN 19 is not appropriate given the extremely outdated nature of this document. This document is almost 20 years old and it is likely that this will be removed by Welsh Government relatively imminently, potentially being amalgamated with the new Code of Best Practice or updated in its own right, given it is not fit for purpose to guide modern development. I feel it would be much more appropriate to refer to the new Welsh Code of Best Practice document as it includes all of the relevant information to guide develop significantly more fit for purpose.	Disagree. The TAN19 is still relevant/operational. Additional documents/guidance have been added to this SPG document.	
23	Sean	McHenry	Cornerstone	3.2	At para 3.2 there is a reference to Part 24 2019 but it is noteworthy that this was updated in December 2020. It is acknowledged that the alterations were minimal and focused on small cell PD rights.	Wording will be amended.	Add "The main changes occurred in 2019, with minor amendments supplemented in December 2020" to par 3.2
24	Sean	McHenry	Cornerstone	3.4	At para 3.4 it is appropriate to acknowledge that under the 'prior approval' procedure the proposal benefits from permitted development and therefore the principle of the development is established in law under the General Permitted Development Order.	Noted	
25	Sean	McHenry	Cornerstone	3.12	At para 3.12 I feel it would be appropriate to add a 'technical constraints' bullet that included reference to other elements that dictate siting necessity. If these elements cannot be overcome then a base station is not deliverable. This should include:- <ul style="list-style-type: none"> <li>•Landowner agreement</li> <li>•Power delivery</li> <li>•Buildability</li> <li>•Coverage footprint (influenced by topography etc)</li> <li>•Backhaul <ul style="list-style-type: none"> <li>oProximity to fibre, or</li> <li>oLine of sight for microwave dish link</li> </ul> </li> </ul>	Somewhat disagree - From the Authority's perspective these would be developer concerns rather than planning authority concerns but wording has been amended to 3.12	Have changed wording in 3.12 to "Factors concerning siting from the Authority's perspective...."



26	Sean	McHenry	Cornerstone		3.15	At para 3.15 it is important for both developer and decision maker to acknowledge the '2 stage process' that comes with prior approval. Legislation and test case precedent is clear that where prior approval is required the LPA must also confirm if this is refused or approved. Failure to complete both stages would result in a deemed consent.	Agreed. Wording amended to 3.15	"...within the statutory timeframe" added to the end of 3.15
27	Sean	McHenry	Cornerstone	3		Chapter 3 should include a section of design necessity for functionality. This should discuss why height is needed ie. To get required backhaul via dish link or to maximise coverage footprint over topography/'clutter' (trees or buildings etc). This section should provide guidance on width/design necessity ie. Pole or lattice deployment is dependant upon site specific and local constraints – ground type, wind loading, amount of equipment/sharing – all related to structural necessity which dictates design type/width.	Disagree - we believe this is more relevant for developers/applicants rather than the Authority	
28	Sean	McHenry	Cornerstone		4.2	At para 4.2 there should be an acknowledgement that it is appreciated that while sharing is supported and advocated, sharing is highly likely going to dictate the requirement for a bigger more structurally capable mast/design.	Somewhat disagree - in such instances it will be for the developers to demonstrate design suitability	
29	Sean	McHenry	Cornerstone		4.3	At para 4.3 site sharing is often advocated but it is agreed that proliferation should be minimised where practicable.	Noted	
30	Sean	McHenry	Cornerstone		4.5, 4.6	At para 4.5 and 4.6 there should be an acknowledgement that even the most sensitive landscapes, and communities/business within, require service provision in modern society for their overall sustainability. Service provision has significant material socio-economic benefit to all parts of the National Park and should be balanced against the landscape sensitivity and technical constraints that dictate infrastructure functionality.	In accordance with the Sandford Principle, if there is any conflict between the purposes of the National Park, and the duty, then protecting, conserving and enhancing natural beauty and the environment will always take precedence.	
31	Sean	McHenry	Cornerstone		4.12	At para 4.12, again, TAN 19 is referenced and is wholly outdated and not fit for purpose. The new Code of Best Practice provides much better guidance and should be referred. Agree with principle but wording should discuss the sequential approach to site selection and tested discounted options and explanations of why an alternative is not viable	Disagree. The TAN19 is still relevant/operational, however additional wording will be added to par 4.13	Added new paragraph (4.13) which notes "Guidance in relation to site sharing is also contained within the Code of Best Practice on Mobile Phone Network Development for Wales."
32	Sean	McHenry	Cornerstone		4.17	At para 4.17 it should be acknowledged that practical functionality of structures should also be considered/balanced.	Noted	
33	Sean	McHenry	Cornerstone		4.21	At para 4.21 TAN 19 referenced again. Code of Best Practice is a more fit for purpose guidance document. Interference is not a planning consideration when we comply with our licence. Ofcom issue licence as industry regulators on behalf of UK Government.	Disagree. The TAN19 is still relevant/operational and we believe the wording in par 4.21 makes it clear that it is unlikely to be taken into account other than in exceptional circumstances.	

34	Sean	McHenry	Cornerstone		4.24	At para 4.24 it is significant to note that Cornerstone are working directly with Llanbedr Airfield to site a new 5G mast on the grounds and are testing 5G enabled drones here, such are the benefits this service will provide to the Enterprise Zone.	Noted	
35	Sean	McHenry	Cornerstone		4.24	It is perhaps most significant and disappointing to note that the draft SPG 15 document at no stage refers to the material socio-economic benefits that come from improved digital connectivity. The SPG should be clear that, while the landscape is sensitive and should be protected, there is also a necessity for planning balance – the service from this infrastructure provides material benefit to tourism, agriculture, rural communities/business and this must be balanced/weighed against the perceived visual impact of a proposal and the technical constraints that dictate siting/design.	The purpose of the Supplementary Planning Guidance is to build upon and provide more advice and/or guidance on policies in an adopted local plan, therefore are not documents principally to promote specific types of developments. National Park have specific purposes, which are to "conserve and enhance the natural beauty, wildlife and cultural heritage of the National Parks" and to "promote opportunities for the public understanding and enjoyment of the special qualities of the Parks". National Parks also have an additional duty to "foster the economic and social well-being of local communities within the National Parks". However in accordance with the Sandford Principle, if there is any conflict between the purposes and duty then protecting, conserving and enhancing natural beauty and the environment will always take precedence.	



## **PLANNING AND ACCESS COMMITTEE**

**8 SEPTEMBER 2021**

# **ENFORCEMENT NOTICES, LISTED BUILDING ENFORCEMENT NOTICES SERVED UNDER DELEGATED POWERS AND LIST OF COMPLIANCE CASES**

**SNOWDONIA NATIONAL PARK AUTHORITY**

**PLANNING AND ACCESS COMMITTEE, 8TH SEPTEMBER 2021**

**LIST OF COMPLIANCE CASES**

**New cases**

	<b>Reference</b>	<b>Date of initial complaint or Date observed by Compliance Officer</b>	<b>Location of Site</b>	<b>Details of Alleged Planning Breach</b>	<b>Current Position</b>
1	NP3/12/ENF191	June 2021	Castell Cidwm, Betws Garmon	Untidy condition of land.	Contact currently being made with the owner.
2	NP5/58/ENF641	August 2021	Plas Bennar, Dyffryn Ardudwy	Possible change of use of dwelling to large scale holiday accomodation.	Contact made with the owner and site meeting arranged for the beginning of September 2021.
3	NP5/62/ENF422	June 2021	Ty'r Graig, Llanbedr	New dormer window and erection of outbuilding.	Contact made with the owner and discussions are taking place.

**Awaiting Retrospective Application/Listed Building Consent Application/CLEUD Application**

	<b>Reference</b>	<b>Date of initial complaint or Date observed by Compliance Officers</b>	<b>Location of Site</b>	<b>Details of Alleged Planning Breach</b>	<b>Position at time of last committee meeting</b>	<b>Updates since last committee meeting</b>
4	NP2/11/ENF709A	February 2021	Gelli'r Ynn Uchaf, Nantmor	Engineering works to create new access and driveway including removal of trees.	Contact made with the owner to advise that planning permission is required.	
5	NP4/16/ENF227C	July 2020	Gwalia Stores, Dolwyddelan	Change of use from retail to dwelling	Application not received. Contact made with the owner to seek an update. Further discussions held with the owner. Awaiting application.	No application received. A planning agent has now been appointed to submit an application.
6	NP4/26/ENF195C	April 2021	Llwynau, Capel Garmon	Siting of Pod	Letter sent to landowner.	Awaiting submission of application.
7	NP4/26/ENF266W	January 2020	Zip World Fforest, Betws y Coed	Erection of building & creation of footpaths	Site meeting carried out. Awaiting application. Further contact made with landowner's agent.	

8	NP5/51/ENF446E	April 2019	Cae Gwian Forestry, Bontddu	Works to Forestry Tracks	Site meeting has been held with the forestry manager. To submit a retrospective planning application to try and regularise the unauthorised works. Further contact made and an application is due to be submitted in January 2021. No application received. Awaiting update.	
9	NP5/58/ENF58G	November 2019	Bryn y Bwyd, Talybont	Engineering Works and Possible Siting of Caravan/Chalet	<p>Contact made with the owner and a site meeting has taken place. Currently assessing the works that have taken place and whether any of these benefit from permitted development rights. Requested an update on the 6th May. Awaiting a response.</p> <p>The owner has been contacted to advise planning permission is required for the creation of a bund and also the shower/toilet facility. Awaiting planning application.</p>	A retrospective planning application has been received but currently invalid. Awaiting submission of plans.

10	NP5/58/ENF144K	December 2018	Land at Tan y Coed, Talybont	Siting of Static Caravan used for Residential Purposes	Contact made with the owner of the land. Site meeting taken place where the siting and use of the caravan was discussed. Owner currently considering their options to regularise the situation. A Planning Contravention Notice has been served to ascertain further details about the use of the caravan. Replies have been received and currently being assessed.	Further contact made with the owner – May 2021. Owner has advised a Certificate of Lawful Use application is currently being prepared.
11	NP5/62/ENF107B	October 2020	Bron Meini, Llanbedr LL45 2HL	Decking in rear garden	Contact made with the owners who have been advised that planning permission is required. Owner has suggested that he will amend the proposal and will apply for pre-application advice. Site visit carried out. Awaiting application	Application received but invalid. Matter has been discussed with the owner. Awaiting further information and plans.
12	NP5/69/ENF301F	June 2021	Llwyn Du Caravan Park	Erection of children's climbing frame	Letter sent to the owner.	Awaiting submission of application.
13	NP5/77/ENF345	February 2021	Bryn Mair, 21 High Street, Talsarnau	Chimney removed	Contact made with the owner to advise that planning permission is required. Response received, application to be submitted. Awaiting submission of application.	

## Retrospective Applications Received

	Reference	Date of initial complaint or Date observed by Compliance Officers	Location of Site	Details of Alleged Planning Breach	Position at time of last committee meeting	Updates since last committee meeting
14	NP4/26/ENF97J	December 2020	Maes Madog, Capel Garmon	Erection of hot tub structure, outbuilding and alterations to drive entrance.	Contact made with the owner who has been informed that planning permission is required. Application received. Pending consideration	Application refused. Currently liaising with the owner/agent to progress the matter.
15	NP5/50/ENF562P	July 2020	62 Plas Panteidal, Aberdyfi	Extension to decking Area	Letter sent to the owner. No response received to date. Contact made with the owner.. Site visit to be arranged following lockdown. The matter is being discuss further with the owner.	A retropsective planning application has been received and currently being processed.
16	NP5/58/ENF44E	October 2020	12 Glan Ysgethin, Talybont LL43 2BB	LPG tank to front of dwelling	Contact made with the owner who has advised that an application will be submitted to retain the tank. Application received, invalid. Awaiting plan. Application valid. Pending decision.	Case closed – application approved.



17	NP5/58/ENF592B	January 2021	Ael y Bryn Hotel, Dyffryn Ardudwy	Unauthorised works to building	Contact made with the owner who has been informed that planning permission is required. Application received.	Case closed – application approved.
18	NP5/69/ENF16C	August 2020	Land near Castell Mawr, Llanegryn	Development not built in accordance with the approved plans	Contact made with the owner and a site meeting held. Further discussions with agent. Awaiting application. Update received from the agent. Application due to be submitted mid February.	Application received. Pending consideration.
19	NP5/71/ENF473	June 2017	Bronant Stores, 1 Pen y Banc, Llanuwchllyn	Untidy Condition of the Building	<p>According to land registry, there has been a recent change in ownership. To make contact with the new owner in respect to the poor condition of the building.</p> <p>A planning application has been received for the conversion and change of use of the former shop to form an extension to the adjoining dwelling.</p> <p>Planning permission refused on design grounds and inappropriate materials. Appears the property is currently for sale on the open market.</p> <p>A further planning application has been submitted in relation to this property but it is currently invalid.</p>	The owner has improved the condition of the building by re-painting it. The planning application has now been approved – case closed.

**Awaiting further information or awaiting replies to a Planning Contravention Notice or a Section 330 Notice**

	<b>Reference</b>	<b>Date of initial complaint or Date observed by Compliance Officers</b>	<b>Location of Site</b>	<b>Details of Alleged Planning Breach</b>	<b>Position at time of last committee meeting</b>	<b>Updates since last committee meeting</b>
20	NP3/21/ENF46D	January 2020	2 Tai'r Cae, Carneddi, Bethesda	Dumping of Silt & Soil	Contact made with the owner of the land. Site meeting was arranged but did not take place due to lockdown. Letter sent to the owner/occupier to re-arrange site visit. No response received.	
21	NP4/11/ENF100F	March 2021	Tan y Bryn, Pentre Felin, Betws y Coed	Development not built in accordance with approved plans (NP4/11/100F)	Site visit carried out. Contact made with the owner to advise that planning permission is required for the changes.	Owner has confirmed that the works will be amended to comply with the approved plans. Have requested a timescale for the works.

22	NP4/11/ENF112B	May 2019	Ty'n y Merddyn, Ffordd Gethin, Betws y Coed	Erection of a Building within the Garden	Site visit undertaken and owner advised planning permission is required for the building. The owner has intimated a retrospective planning application will be submitted in due course. The owner has contacted to advise they have instructed a planning agent to submit an application. Awaiting contact/application from the agent.	Planning application approved – file closed.
23	NP4/11/ENF397	April 2021	Land to West of A470(T) junction with A5 near Waterloo Cottage, Betws y Coed	Use of land for camping with associated structures	Letter sent to the owner.	Owner has contacted and provided some details as to how the land is being used. Awaiting further details to determine whether there is any breach of planning control.
24	NP4/13/ENF247	February 2020	Land Near Deunant, Capel Curig	Engineering Works, Retaining Walls and Possible Encampment	Land registry search undertaken. Letter sent to the owner and currently await a response. No response has been provided. Site visit carried out. No further works taken place. Monitoring.	Apparent works have recommenced. Contact currently being made with the owner.

25	NP4/16/ENF405	March 2018	Land Opposite Tan y Castell, Dolwyddelan	Dumping of Building Material and Waste	<p>Owner advised to clear the land of building materials and restoring the land back to its original state. Also advised to remove the touring caravan. Site visit undertaken in January 2019 where it was noted the building material and waste was still on the land. Enforcement Notice served on the 26th September 2019 and took effect on the 1st November. The Notice is due to be complied with by the 1st May 2020. A visit is due to take place during August/September.</p> <p>A site visit has been undertaken where it was noted only part of the Enforcement Notice had been complied with. Currently corresponding with the owner to ensure full compliance with the requirements of the Notice.</p>	Contact made with the owner. A time period of 28 days was given to fully comply with the requirements of the Enforcement Notice. A site visit is due to take place in June 2021.
26	NP4/26/ENF261B	January 2020	Y Felin, Plas yn Rhos, Rhydlanfair	New Structure	Contact made with the owner and a site meeting is currently being arranged. Site meeting arranged.	
27	NP4/26/ENF338A	February 2021	Bron Heulog, Capel Garmon	Poor condition of site	Site visit carried out. Consider expediency of taking formal action.	Case closed – not expedient to initiate any action.

28	NP5/50/ENF607A	August 2019	Garth, Aberdyfi	Extended Decking	<p>Site meeting held with the owner of the property. Appears planning permission is required for what is currently being erected. The owner has been advised of this and the Authority continue to liaise with them. Requested an update January 2021.</p> <p>Owner has contacted to advise they are currently considering their options, including the submission of a retrospective application. The pandemic has delayed progress in taking this forward. Still discussing options with the owner as to how this can be resolved.</p>	
29	NP5/56/ENF165	October 2020	Land to west of A487, Pantperthog, SY20 9AT	Engineering works	Contact made with the owner to advise them that planning permission was required and to cease work. Site visit undertaken. Expediency of taking formal action is being considered.	It is understood the land has been sold. Trying to make contact with the new owners.
30	NP5/57/ENF1071E	March 2021	Bryn y Gwin Farm, Dolgellau	Engineering works	Contact made with the owner and the matter is being discussed.	Site visit carried out. Appears planning permission is required for the works which have taken place. Owner advised and awaiting a response.

31	NP5/58/ENF19L	April 2021	Sarnfaen Farm Campsite, Talybont	Stationing of pods without planning permission	Contact made with the owner. Site visit carried out.	
32	NP5/58/ENF434D	February 2021	Ty'n y Pant, Dyffryn Ardudwy	Stationing of touring caravans and untidy condition of land	Letter sent to the owner.	No response received to the letter. Site visit to be carried out.
33	NP5/58/ENF616	December 2018	Land adjacent Coed y Bachau, Dyffryn Ardudwy	Siting of Static Caravan used for Residential Purposes	Contact made with the owner and a site meeting has taken place. Planning Contravention Notice served and replies received. Advised to re-locate the caravan within the garden curtilage of the property. To progress this matter, a further site meeting is currently being arranged.	A recent site meeting has taken place with the owner where the matter was discussed. It is not possible to re-locate the caravan. Therefore formal action will be initiated to seek its removal.
34	NP5/60/ENF19B	March 2021	Hen Gelligemlyn, Ganllwyd	Excavation works	Contact made with the owner. The matter is being discussed.	Case closed – not expedient to undertake any action.
35	NP5/61/ENF532D	March 2021	Swimming Pool, Harlech	Use of car park for overnight stay of motorhomes.	Email sent to the centre. No response received to date.	Response received. The matter is being discussed.
36	NP5/62/ENF426	April 2021	Land near Plas Gwynfryn, Llanbedr	Stationing of static caravan	Contact made with the owner to advise that planning permission is required. The matter is being discussed further.	Awaiting further information.

37	NP5/65/ENF115A	October 2019	Land at Hengwrt, Llanelltyd	Dumping/Storage of Mattresses and Carpets	<p>Requested an update from NRW on the current situation of this case. It is understood the waste material is currently being removed but only at one lorry load a week. Anticipated the waste will be removed Sept/October time. NRW have instigated prosecution proceedings.</p> <p>NRW have advised a hearing has taken place where a not guilty plea was given. A two week trial at Cardiff Crown Court has been scheduled for the beginning of August 2021.</p>	<p>Contact is being made with the owner. Awaiting a response.</p> <p>The trial at Cardiff Crown Court has now been postponed until the end of October 2021.</p>
38	NP5/65/ENF328C	June 2021	Heulfryn, Llanelltyd	Stationing of static caravan	Letter sent to the owner.	Case closed – no breach.
39	NP5/67/ENF335	September 2020	Tarren Y Gesail, Pantperthog	New mountain bike tracks	Contact made with the owner who has confirmed that the track is being removed and the land re instated. Awaiting further information. Site visit to be arranged following lockdown.	Site meeting currently being arranged.
40	NP5/68/ENFT118A	January 2021	Hen Bryn y Gelynen, Croesor	Pod	Email sent to the centre. No response received to date.	The pod has been removed – file closed.

41	NP5/74/ENF79B	April 2021	Tyn y Pwll Carafan Park, Dinas Mawddwy	Engineering works	Contact made with the owner. Site visit carried out. The matter is being discussed.	Contact made with Gwynedd Council and NRW to discuss the works that have taken place.
42	NP5/74/ENF492	April 2021	Ty Nant, Dinas Mawddwy	Unauthorised structure in garden	Contact made with the owner. The matter is being discussed.	Structures removed – file closed.

**Cases where formal action is being considered/has been taken.**

	<b>Reference</b>	<b>Date of initial complaint or Date observed by Compliance Officers</b>	<b>Location of Site</b>	<b>Details of Alleged Planning Breach</b>	<b>Position at time of last committee meeting</b>	<b>Updates since last committee meeting</b>
43	NP2/16/ENF448	May 2017	Hendre Ddu Quarry, Cwm Pennant	Unauthorised Quarrying and Track Creation	Site visit undertaken on the 12th April. Unauthorised works carried out, enforcement proceedings commenced and a Temporary Stop Notice has been served in respect to the extraction of mineral waste from slate tips and the construction of new tracks.  The Notice ceases to have effect on the 3rd July 2019. An Enforcement Notice is currently being drafted.	



					No further works have been carried out. Expediency report being undertaken in relation to the works carried out.	
44	NP4/11/ENF337	May 2020	Hendre Rhys Gethin, Pentre Du, Betws y Coed	Permanent Residential Use of Touring Caravan	A valid Enforcement Notice is currently in place for this alleged breach, whereby it requires cessation of the residential use of the caravan and for the caravan to be removed. It appears that the landowner has not complied with the requirements of the Enforcement Notice. Legal action being initiated. Further communication with landowner. No response from landowner, matter referred to legal. Instructions sent to legal to commence Prosecution proceedings.	Instructions sent to legal.  Court hearing scheduled for September 2021.
45	NP5/55/ENFL142A	June 2017	3 Glandwr, Brynchrug	Untidy Condition of Property	Section 215 Notice served on the 18 <sup>th</sup> February 2019. No appeal has been forthcoming, therefore the Notice has taken effect. The Notice must be fully complied with by the 22 <sup>nd</sup> January 2020.	Currently trying to locate an address for the owner to progress proceedings.

					<p>A recent site visit has taken place where it was noted the Notice had not been complied with. A letter has been written to the owner advising that to avoid further proceedings they must comply with the requirements of the Notice imminently.</p> <p>No remedial works have taken place and prosecution proceedings are now being considered.</p> <p>A further site visit has taken place where it was noted the requirements of the Section 215 Notice have not been complied with.</p> <p>Prosecution proceedings to be initiated and instructions sent to the Authority's Solicitor.</p>	
46	NP5/69/ENF41D	October 2020	Land opposite Quaker's burial ground, Llwyngwriil	Stationing of touring caravan	Owner has confirmed that an application will be submitted for the retention of the caravan. Application valid. Pending consideration.	Application refused. Enforcement action now being considered.

## Listed Building Cases

	Reference	Date of initial complaint or Date observed by Compliance Officers	Location of Site	Details of Alleged Planning Breach	Position at time of last committee meeting	Updates since last committee meeting
47	NP5/54/ENFLB33M	January 2020	Nannau Hall, Llanfachreth	Poor Condition of Building	<p>It has been brought to the Authority's attention that the lead from the roof of the building has been removed and that the overall condition of the building is deteriorating rapidly.</p> <p>A site visit has confirmed this.</p> <p>Contact has been made with the owner who is aware of the condition of the building. They propose to undertake a temporary repair to the roof until at such time they can visit the property and ascertain the damage for themselves.</p> <p>To date no temporary repairs have been undertaken. The owner has been contacted again to emphasise the urgency of the situation. They propose to undertake temporary repair work until they are able to visit and assess the extent of the work required to the building.</p>	<p>The external conditions survey has now been completed and it is evident any temporary or permanent repairs will be costly. Confidential discussions are now ongoing in relation to how the Authority can progress the safeguarding of the building.</p> <p>Meetings have been arranged for September to progress the above and it is anticipated a more comprehensive report will be presented to Members in October.</p>

					<p>A meeting has been arranged with CADW to discuss possible options to safeguard Nannau Hall.</p> <p>A meeting has taken place with CADW and arrangements are being made to undertake a condition survey of the building. It was anticipated this survey would take place at the beginning of February but this has been delayed.</p> <p>An external condition survey has been arranged for the week commencing the 5th April 2021.</p> <p>Currently in discussion with the owner in relation to undertaking an internal inspection at the same time. Failure to agree for the Authority to undertake an internal inspection, will result in an application to the courts for a warrant to gain entry.</p>	
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48	NP5/66/ENFLB32D	November 2020	Ty Mawr, Llanfair	Internal works being undertaken.	Letter sent to the property. Response received and works discussed with the owner. Site visit to be carried out. Site visit carried out. Application submitted but invalid.	
49	NP5/69/ENFLB326A	September 2018	Ty Gwyn, Llwyngwrlil	External and internal Alterations to a Listed Building	A site meeting has taken place. Advised to submit a listed building consent application in respect to the unauthorised works that have taken place.	



**PLANNING AND ACCESS COMMITTEE**  
**8 SEPTEMBER 2021**

**SECTION 106 AGREEMENTS**

**SNOWDONIA NATIONAL PARK AUTHORITY  
PLANNING AND ACCESS COMMITTEE, 08 SEPTEMBER 2021**

**SECTION 106 AGREEMENTS**

<b>Rhif</b>	<b>Application No.</b>	<b>Date application was received</b>	<b>Location</b>	<b>Development</b>	<b>Present Position</b>
1.	NP3/10/121	30/01/20	Land at Cae'r Felin, Abergwyngregyn.	Erection of a pair of semi-detached two storey dwellings with associated access and car parking	Draft being prepared by Authority Solicitor
2.	NP4/19/47P	05/02/2021	Gwern Borter Manor, Rowen. LL32 8YL	Change use of garage to dwelling	Draft sent to Applicants.
3.	NP5/72/194E	15/02/2021	Pant y March, Llangower. LL23 7BY	Relocate tents	Draft sent to Applicants.
4.	NP5/77/265B	23/11/2020	Bryn Derw, Cilfor, Talsarnau. LL47 6YG	Change of use of part of agricultural building to re-locate guns and ammunition sales business granted under reference NP5/77/265A	Draft being prepared by Authority Solicitor

Number of applications on committee list 30 June 2021 = 1

**APPLICATIONS SUBJECT TO A SECTION 106 AGREEMENT AND WHICH HAVE BEEN COMPLETED SINCE  
PLANNING & ACCESS COMMITTEE  
30 JUNE 2021**

<b>Application No.</b>	<b>Location</b>	<b>Development</b>

**APPLICATIONS SUBJECT TO A SECTION 106 AGREEMENT WHICH HAVE BEEN REFUSED, WITHDRAWN, OR  
DISPOSED, OR WHERE AN AGREEMENT IS NO LONGER NECESSARY SINCE PLANNING & ACCESS  
COMMITTEE 30 JUNE 2021**

Application No.	Location	Development





## **PLANNING AND ACCESS COMMITTEE**

**8 SEPTEMBER 2021**

# **OUTSTANDING APPLICATIONS WHERE MORE THAN 13 WEEKS HAVE ELAPSED**

**SNOWDONIA NATIONAL PARK AUTHORITY**

**PLANNING AND ACCESS COMMITTEE 08 SEPTEMBER 2021  
OUTSTANDING APPLICATIONS WHERE MORE THAN 13 WEEKS HAVE ELAPSED**

**Awaiting Welsh Government Highways**

NP5/73/26B	24/05/19	Utica Buildings, Trawsfynydd.	Change of use of land to external Storage yard.
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**Awaiting revised Flood Consequence Assessment**

NP5/57/1058B	15/03/21	Unit 1, Marian Mawr Enterprise Park, Dolgellau. LL40 1UU	Erection of extension to provide additional workshop and classroom space, and additional car parking,
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**Awaiting Further Ecology / Reports Information**

NP5/64/80D	22/03/21	Land adjacent to St. Mary & St. Egryn Church, Llanegryn.	Change of use of land to form Garden of Remembrance.
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**Awaiting Ecology**

NP2/16/159D	30/04/21	Ty Mawr, Prenteg. LL49 9TE	Change of use of land to domestic curtilage and conversion and change of use of outbuilding to domestic annex incidental to the use of Ty Mawr as dwelling and conversion of woodstore to bat roost,
NP5/65/2B	04/03/21	Beudy Uchaf Hirgwm, Maes y Clawdd, Bontddu. LL40 2UR	Conversion of barn to affordable dwelling and associated works including installation of septic tank and diversion of public footpath,
NP5/65/L302D	25/08/20	Wern y Pistyll, Bontddu. LL40 2UP	Conversion and extension of barn into affordable dwelling and installation of septic tank,
NP5/69/392B	09/12/21	Llwyn Du, Llwyngwriil. LL37 2JP	Erection of two storey dwelling.
NP5/75/73D	21/10/19	Ynys, Cwrt, Pennal.	Conversion and alterations to existing BCF Hut to form holiday let accommodation and installation of septic tank (Re-submission),

**Awaiting Amended Plans**

NP5/73/424A	28/09/20	Cilderi, Tan y Bwlch. Maentwrog. LL41 3YU	Erection of double garage, retrospective application for extension to curtilage, retention of stone terracing and engineering works.
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### Awaiting Details form Agent / Applicant

NP5/58/629	29/01/20	Land between Plas Meini & Swyn y Mor, Dyffryn Ardudwy. LL42 2BH	Outline permission for the erection of 2 open market and 2 affordable dwellings. integral garages and formation of new vehicular access on to the A496,
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### Awaiting consultation response from Natural Resources Wales on further information submitted by applicant.

NP5/71/39Z	03/03/21	Gwersyll Yr Urdd, Glanllyn, Llanuwchllyn. LL23 7ST	Erection of two storey building to provide training/sleeping accommodation. Erection of 2 single storey ancillary buildings for bag storage and maintenance facilities. Alterations to existing Cwt Lerpwl & Cwt Hwyllo. Erection of raised training deck to Cwt Lerpwl. Associated external works to provide parking and outside storage areas formed with permeable grid system.
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### Re-Consultation required

NP5/69/16J		Land near Castell Mawr, Llanegryn. LL36 9NH.	Amendments to plans approved under NP5/69/16C & NP5/69/16E including, positioning and design of fan and vents, inclusion of the manure belt, pop holes only on the South side, amendments to doors and fenestration on west gable, access track, tree and hedgerow planting, additional and reduced hard standing around the building and resiting of feed bins to the northern elevation and increase in height of 0.45m.
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### Awaiting Technical Details of Biomass Boiler

NP5/57/1065H	12/03/21	Bryn y Gwin Farm, Dolgellau. LL40 1TF	Retrospective application for erection of woodstore, oil tank and biomass boiler including concrete bases and footpath
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### Awaiting submission of an assessment of the impact of the proposed development on the setting of the scheduled monument.

NP5/69/15H		Brynllyn, Rhoslefain. LL36 9NH	Erection of an agricultural building
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Total applications on list = 14

Total applications on list Committee 30 June 2021 = 19

**DEDDF LLYWODRAETH LEOL (HAWL I WYBODAETH) 1985****RHESTR O BAPURAU CEFNDIR**

Ystyrir y dogfennau canlynol fel papurau cefndir ar gyfer adroddiadau ar geisiadau ac eitemau gorfodaeth a wnaed dan Ddeddfau Cynllunio 1990.

Ffurflen gais, gan gynnwys unrhyw Dystysgrif.

Cynlluniau a dogfennau eraill i gefnogi'r cynigiad.

Sylwadau cyrff cyhoeddus a hysbyswyd neu yr ymgynghorwyd a hwy, gan gynnwys swyddogion eraill yr Awdurdod, Cynghorau Cymuned, Cynghorau Unedol, Ymgwymerwyr Statudol, Adrannau neu asiantau'r Llywodraeth (ac eithrio cyngor cyfreithiol, a llythyrau yn gofyn am gyngor cyfreithiol).

Llythyrau a dderbyniwyd o ffynonellau eraill, yn cynnwys aelodau o'r cyhoedd. (Ac eithrio gohebiaeth gydag hysbyswydd gwarchoddedig).

Lluniau o'r safle ac o ddatblygiadau tebyg mewn mannau eraill.

Deddfau Cynllunio 1990 ac unrhyw deddfwriaeth ychwanegol.

Deddf Cynllunio ac Iawndal, 1991.

Deddf yr Amgylchedd, 1995.

Deddf Cynllunio a Phrynu Gorfodol, 2004.

Deddf Iawnderau Dynol, 1998.

Cyngor cyhoeddedig y Llywodraeth (lle cyfeirir ato mewn adroddiadau ac eitemu unigol).

Y Cynllun Fframwaith ynghyd ac unrhyw gynigion i'w ddiwygio a gyhoeddwyd.

Cynlluniau Lleol, ynghyd ac unrhyw gynigion i'w diwygio a gyhoeddwyd (lle cyfeirir atynt mewn adroddiadau ar eitemau unigol).

Ffeiliau ar geisiadau cynllunio blaenorol ar safleoedd y cynigion presennol.

Unrhyw ddogfen arall y cyfeirir ati mewn adroddiadau ar eitemau unigol.

**LOCAL GOVERNMENT (ACCESS TO INFORMATION) ACT 1985****LIST OF BACKGROUND PAPERS**

The following documents are considered background papers for reports on applications and enforcement items made under the Planning Acts 1990.

Application form, including any Certificates.

Plans and other documents in support of the proposal.

Comments of public bodies notified or consulted, including other Officers of the Authority, Community Councils, Unitary Councils, Statutory Undertakers, Government Departments or agencies, (excluding legal advice and requests for legal advice).

Letters received from other sources, including members of the public. (Excluding correspondence with a protected informant).

Photographs of the site or of similar developments elsewhere.

The Planning Acts 1990 and subsidiary legislation.

The Planning and Compensation Act, 1991.

The Environment Act, 1995.

The Planning and Compulsory Purchase Act, 2004.

The Human Rights Act, 1998.

Published Government advice (where referred to in reports on individual items).

The Structure Plan together with any published proposals for amendments.

Local Plans, together with any published proposals for amendments (where referred to in reports on individual items).

Files for previous planning applications on sites of current proposals.

Any other document which may be referred to in reports on individual items.



**PLANNING AND ACCESS COMMITTEE**  
**8 SEPTEMBER 2021**

**DELEGATED DECISIONS**

**SNOWDONIA NATIONAL PARK AUTHORITY**

**PLANNING AND ACCESS COMMITTEE 08 SEPTEMBER 2021**

**DELEGATED DECISIONS**

**Applications Approved**

	<b>Application No.</b>	<b>Proposed</b>	<b>Location</b>	<b>Decision Date</b>	<b>Case Officer</b>
1.	NP3/15/75F	Non-material amendment (Relocate external door) to rear extension approved under planning reference NP3/15/75C dated 31/07/2017	Ynys Ettws, Nant Peris. LL55 4UL	16/06/21	Mr Richard Thomas
2.	NP3/21/46E	Extension to agricultural shed	2 Tai'r Cae, Carneddi, Bethesda. LL57 3UF	03/08/21	Mr Richard Thomas
3.	NP3/21/T76B	Single storey side extension	Llwyn Penddu Isaf, Llanllechid. LL57 3LL	21/06/21	Mr Richard Thomas
4.	NP3/22/98	Demolition of single storey outbuilding and erection of two storey side extension	Blaen y Garth, Nantlle. LL54 6BS	23/06/21	Mr Richard Thomas
5.	NP4/11/112B	Retrospective application for the refurbishment and extension of garage and creation of garden room	Ty'n y Merddyn, Pentre Du, Betws y Coed. LL24 0BP	16/06/21	Mr Richard Thomas
6.	NP4/19/98A	Engineering works to create 40m x 20m Manège for the exercising of horses	Clynnog, Llechwedd. LL32 8DZ	19/07/21	Mr Richard Thomas
7.	NP4/29/44E	Re-routing of penstock to previously approved hydro-electric scheme	Afon y Foel, Hafod y Rhedwydd, Cwm Penmachno. LL24 0RF	29/06/21	Mr Richard Thomas
8.	NP4/32/191B	Erection of car port to side gable	Llys Bach, Crafnant Road, Trefriw. LL27 0JZ	06/07/21	Mr Richard Thomas
9.	NP4/32/220E	Demolition of existing porch and erection of replacement porch and two bay windows to front elevation	Tu Hwnt i'r Afon, Dolgarrog. LL32 8JX	19/07/21	Mr Richard Thomas

10.	NP4/32/284A	Extension, alterations and conversion of rural outbuilding into visitor accommodation unit, alterations to vehicular access, creation of parking area and installation of sewage treatment plant.	Maes Mawr, Crafnant Road, Trefriw. LL27 0JZ	29/06/21	Mr Richard Thomas
11.	NP4/32/338A	Single storey side extension	Llwyn Celyn, Trefriw. LL27 0JX	03/08/21	Mr Richard Thomas
12.	NP4/32/369	Installation of external insulation with timber cladding (Cedar) finish to rear elevation	Ty Newydd, Llanrhychwyn, Trefriw. LL27 0YJ	06/07/21	Mr Richard Thomas
13.	NP5/50/589A	Extension to existing patio at the front	Ael-y-Don, Gwelfor Road, Aberdyfi. LL35 0NY	20/07/21	Mrs. Iona Roberts
14.	NP5/50/L262A	Change of use from a mix of A1/A3 (Gift shop and Café) to A3 (Bar), replacement windows and two new external doors	8 Sea View Terrace, Aberdyfi. LL35 0EF	08/06/21	Mrs. Iona Roberts
15.	NP5/50/LB179C	Listed Building Consent for internal alterations including excavating ground floor and construction of modern insulated floor with underfloor heating, damp-proofing to ground level walls and rear wall 'tanking', 'new drainage and svp connection to internal manhole, reposition gas meter/supply left of chimney breasting, fitting of kitchen units and mechanical ventilation through front wall elevation, removal of existing shower alterations to first floor partition, installation of shower facilities off first floor stairs landing area and all associated fire safety measures including 4 fire doors on upper floors, re-wiring and renovating and replacement where necessary 6No. traditional sash windows with timber traditional windows to match existing pattern	Isfryn, 8 New Street, Aberdyfi. LL35 0EH	13/07/21	Mr. Arwel LI Thomas

16.	NP5/50/T482G	Removal of chimney and extractor flue	Hafod, 13a Glandyfi Terrace, Aberdyfi. LL35 0EB	10/06/21	Mrs. Iona Roberts
17.	NP5/52/E387B	Consultation under Section 37 of the Electricity Act 1989 to install overhead electricity line	Abergwynant, Penmaenpool.	29/07/21	Mrs. Iona Roberts
18.	NP5/53/182A	Installation of electric vehicle charge point, feeder pillar and associated work	Car park adjoining The Green, Bala.	13/07/21	Mrs. Sara Thomas
19.	NP5/53/521A	Single storey extension to front of dwelling	Llygad y Llyn, 6 Maes Treflyn, Bala. LL23 7YZ	12/07/21	Mrs. Sara Thomas
20.	NP5/53/580A	Discharge of Condition 4 (Submission of Species Conservation Plan for Bats) of Planning Consent NP5/53/580 dated 25/05/2021	Llyn Tegid, Bala.	28/06/21	Mrs. Sara Thomas
21.	NP5/53/581	Construction of two storey rear extension	32 Bro Eryl, Bala. LL23 7AS	28/07/21	Mrs. Sara Thomas
22.	NP5/53/LB212	Listed Building Consent for repairs work resulting from substantial fire damage to the building introducing using materials with concrete padstones to support structural steel B1, B2=203x102UB, B3=203x133UB for first floor support including their fire protection. Structural work for roof support introducing timber panels SW1 50x100C16 with 9mm OSB boards as purlins positioned at change in roof pitch either side and similar structural panel SW2 supporting 2x100x250C24 East side and 2x75x150C24 West side of partition (SW2). Fixing 200x100C16 timber beam anchored with M12 supporting the barrel vaulted roof above barrel vaulted dormer one piece fabricated structure 80x80x4SHS sides and 80x40x4RHS bottom rails fixed to floor joist and similar top rail supporting 50x150C16 roof timbers and lead roof covering	Islyn, 5 Arenig Street, Bala. LL23 7AH	17/06/21	Mr. Arwel LI Thomas



23.	NP5/53/LB53M	Listed Building Consent for minor alterations to shop front by removal of existing tile finish either side and part central and cover with timber horizontal cladding central and pilasters either end. Redecorated shop door and window, scrolls and area surrounding ATM in slate grey paint finish with new shop fascia and cornice in slate grey painted finish and new shop logo and signage	Spar, 39 High Street, Bala. LL23 7AF	15/07/21	Mr. Arwel LI Thomas
24.	NP5/54/98D	Construction of agricultural building and roof over dry manure store (Re-submission)	Esgairgawr, Rhydymain. LL40 2BH	21/06/21	Mrs. Sara Thomas
25.	NP5/57/104B	Erection of conservatory on front elevation	1 Nant y Gader, Dolgellau. LL40 1LB	10/06/21	Mrs. Iona Roberts
26.	NP5/57/885J	Siting of 2 camping pods as holiday accommodation, together with associated parking and landscaping	Cefn Naw Clawdd, Dolgellau. LL40 2SG	30/06/21	Mrs. Iona Roberts
27.	NP5/58/119D	Replacement of pebble-dash cladding with coloured render	Ty Lafant, Dyffryn Ardudwy. LL44 2BL	29/06/21	Mr Aled Lloyd
28.	NP5/58/38E	Change of use from part of garage to kitchen and breakfast room associated with the use of Tyddyn Du as a Bed & Breakfast business, together with external alterations	The Old Farmhouse, Tyddyn Du, Dyffryn Ardudwy. LL44 2DW	14/07/21	Mr Aled Lloyd
29.	NP5/58/44E	Retrospective application for the stationing of a LPG tank in front garden	Bryn Afon, 12 Glan Ysgethin, Talybont. LL43 2BB	22/06/21	Mrs. Alys Tatum
30.	NP5/58/592A	Change of use of hotel into a self catering holiday unit to accommodate in excess of 18 residents	Ael y Bryn, Dyffryn Ardudwy. LL44 2BE	29/06/21	Mr Aled Lloyd
31.	NP5/58/609C	Installation of electric access gates and fence on existing wall	Crafnant, Dyffryn Ardudwy. LL44 2EH	30/06/21	Mr Aled Lloyd
32.	NP5/58/631A	Increase height of the rear wall by addition of fence to 1.8 metres high	Min-y-Wern, Dyffryn Ardudwy. LL44 2RX	30/06/21	Mr Aled Lloyd
33.	NP5/59/792A	Extension to residential curtilage	Land adjoining 3 Saron Houses, Ffestiniog. LL41 4LY	09/06/21	Mr Aled Lloyd

34.	NP5/61/642	Erection of infill front and rear extension, partial re-cladding, installation of new dormer and rooflights, garden building and alterations to terrace	Tri Deg Tri, Old Llanfair Road, Harlech. LL46 2SS	11/06/21	Mr Aled Lloyd
35.	NP5/61/646	Single storey side extension	Nantmor, 33 Ty Canol, Harlech. LL46 2NZ	01/07/21	Mr Aled Lloyd
36.	NP5/62/425	Erection of two storey rear extension incorporating 2 dormer windows and installation of two dormers on the side elevation,	Tyddyn Sian, Llanbedr. LL45 2LG	08/07/21	Mr Aled Lloyd
37.	NP5/62/60G	Re-siting of the approved dwelling together with amendments to the design	Cyplau, Llanbedr. LL45 2ND	14/07/21	Mr Aled Lloyd
38.	NP5/64/LB90A	Listed Building Consent to protect the agriculture range to the West of the farmhouse by fixing a temporary zinc corrugated roof structure, provide boarding to all window and door openings and all associated works in relation to safeguard the building from further deterioration	Fron Newydd, Llanegryn. LL36 9LN	17/06/21	Mr. Arwel LI Thomas
39.	NP5/64/LB91A	Listed Building Consent to protect the farmhouse by fixing a temporary zinc corrugated roof structure, provide boarding to all window and door openings and all associated works in relation to safeguard the building from further deterioration	Agricultural Building, Fron Newydd, Llanegryn. LL36 9LN	17/06/21	Mr. Arwel LI Thomas
40.	NP5/65/272A	Construction of rear extension and balcony	Llety Wyn, Bontddu. LL40 2UE	14/07/21	Mrs. Sara Thomas
41.	NP5/66/266C	Erection of two storey rear extension	Rhiwgoch, Harlech. LL46 2TN	29/06/21	Mr Aled Lloyd
42.	NP5/67/AD59A	Advertisement consent for display of a slate memorial sign	Land adjoining car park, Abergynolwyn. LL36 9UU	08/07/21	Mrs. Iona Roberts
43.	NP5/69/113J	Discharge of Condition 5 (Parking arrangements), 6 (Provision of services to shepherd's huts), 7 (Landscaping plan) & 9 (Biodiversity Enhancement Scheme) of Planning Consent NP5/69/113H dated 02/12/2020	Llanfendigaid Hall, Rhoslefain. LL36 9LS	14/07/21	Mrs. Iona Roberts

44.	NP5/69/392B	Erection of two storey dwelling	Llwyn Du, Llwyngwrl. LL37 2JP	16/06/21	Mrs. Iona Roberts
45.	NP5/69/410	Construction of workshop/store	Pentre Bach, Llwyngwrl. LL37 2JU	08/06/21	Mrs. Iona Roberts
46.	NP5/70/LB102G	Listed Building Consent for installation of glazed door internally behind barn door and reinstate existing opening in shower room	Rhyd Fudr, Llanuwchllyn. LL23 7DD	28/06/21	Mrs. Sara Thomas
47.	NP5/71/473B	Conversion and change of use of former shop to from extension to adjoining dwelling together with rear extension to connect with existing outbuilding (Re-submisison)	Bronant Stores / Garn, Llanuwchllyn. LL23 7TP	21/07/21	Mrs. Sara Thomas
48.	NP5/71/78B	Construction of side extension to be used as annexe	Cefn yr Odyn, Llanuwchllyn. LL23 7TL	26/07/21	Mrs. Sara Thomas
49.	NP5/74/333J	Installation of takeaway café hut in place of existing café	Camlan Garden Centre, Dinas Mawddwy. SY20 9JB	15/07/21	Mrs. Sara Thomas
50.	NP5/74/478A	Installation of 12.5m high telecommunications mast together with associated equipment and compound	Land at Coed Cae Farm, Llanymawddwy. SY20 9AQ	28/07/21	Mrs. Iona Roberts
51.	NP5/74/486A	Installation of access track and bridge in relation to forest management including harvesting (resubmission)	Nant yr Onog Woodland, Dinas Mawddwy.	08/07/21	Mrs. Sara Thomas
52.	NP5/74/94E	Construction of single storey side extension to dwelling not yet completed	Maes Tirion, Dinas Mawddwy. SY20 9LL	14/07/21	Mrs. Sara Thomas
53.	NP5/75/156H	Erection of two agricultural buildings	Gwerniago, Pennal.	15/07/21	Mrs. Iona Roberts
54.	NP5/77/27G	Erection of first floor extension above existing car showroom to provide living accommodation	R.J. Williams, The Garage, Talsarnau. LL47 6UB	29/07/21	Mr Aled Lloyd

55.	NP5/77/LB59J	Listed Building Consent for the removal of the 70's dining room fireplace and re-fixing a copy of a 1760's character fireplace and all associated works within the fire reveal and plastering over the 70's fireplace within the reception and the entire wall re-plastered with natural lime, installation of a wood burning stove on existing hearth, removal of a pair doors to the cupboard on the left side revealing an open shelf arrangement	Glyn Cywarch, Talsarnau. LL47 6TE	17/06/21	Mr. Arwel LI Thomas
56.	NP5/79/356A	Change of use of annexe to accommodate sports massage business	Hafod y Bryn, Tywyn. LL36 9HN	08/06/21	Mrs. Iona Roberts
57.	NP5/71/LU481	The siting of a single static caravan on the land for use as a residential annexe to the main dwelling (Deildre Isaf) and use of associated land as extended domestic curtilage.	The land edged in red on the attached plan Deildre Isaf, Llanuwchllyn. LL23 7TB	20/07/21	Mrs. Sara Thomas

#### Applications Refused

	<b>App No.</b>	<b>Proposed</b>	<b>Location</b>	<b>Reason for Refusal</b>	<b>Case Officer</b>
1.	NP3/16/L3F	Conversion, change of use, demolition of lean-to and extension of storage building to create visitor accommodation annex	Tai Newyddion, Nant Ffrancon. LL57 3DQ	05/07/21  By reason of this proposal showing unsympathetic, incongruous design features and proposes inappropriate, non-traditional materials this application, if approved would be in conflict with EDLP policies 1, 6, 7, and 9 that are aimed at preserving the principles of traditional form, design and use of materials within the National Park.  By reason of this application failing to show that the disposal of foul effluent from the proposed package treatment plant would be effective at this location this application fails to provide sufficient information upon which a fully informed decision can be made.	Mr Richard Thomas

2.	NP4/26/97K	Retrospective application for the siting of two pagodas and electric cabinet	Maes Madog, Capel Garmon. LL26 0RG	29/06/21 By reason of the gazebos/canopies presenting an unwarranted intrusion in the rural landscape this application is contrary to ELDP policy 29 and SPG 8 and 14.	Mr Richard Thomas
3.	NP5/58/227C	Demolition of an existing stone outbuilding and erection of 1 affordable dwelling and of 2no. detached open market and associated vehicular access	Land adjoining Tan-y-Foel, Dyffryn Ardudwy. LL44 2DQ	08/06/21 The proposal for the erection of 1 affordable dwelling and of 2no. detached open market dwellings and associated vehicular access, is in direct conflict with Development Policy 30 and Strategic Policy G: Housing. Under this policy, part of the proposal site is allocated for 5 residential units (50% open market and 50% affordable housing to meet local need). This policy also seeks a density of 30 dwellings per hectare for residential development which this proposal clearly fails to deliver. On this basis the proposal is contrary to Strategic Policy G: Housing of the adopted Eryri Local Development Plan (2016-2031).  Furthermore, no compelling evidence has been put forward to support a reduced density. Therefore, the proposal goes against advice contained in section 3.5 of Supplementary Planning Guidance 4: Affordable Housing of the adopted Eryri Local Development Plan (2016-2031).  By reason, this proposal fails to meet the criteria ii of Development Policy 11: Affordable Housing on Exception Sites in that that there is a suitable site within the development boundary for affordable housing, namely the adjacent allocated for affordable housing, together with another site in the village allocated for 10 affordable homes.	Mr Aled Lloyd

4.	NP5/58/569A	Erection of single storey rear extension	Bwlch Cae, Dyffryn Ardudwy. LL44 2HX	<p>02/07/21</p> <p>The building subject to the application appears not to be an established dwelling as defined in the Town and Country Planning Act Use Classes Order 1987. By reason of this application proposing a new house extension on a building in the open countryside this application conflicts with Eryri Local Development Plan Policies C, G and 30.</p> <p>Furthermore, the proposal fails to comply with Development Policy 15: Extensions. This policy supports the extension of dwellings, as it is seen as a sustainable form of development, as it prolongs the life of older housing. As the building proposed to be extended appears not to be a dwelling house, there is no justified reason for a house extension.</p>	Mr Aled Lloyd
5.	NP5/65/246A	Change of use of land to extend domestic curtilage and construction of garage and new vehicular access	Pen y Dalar, Llanelltyd. LL40 2HB	<p>05/07/21</p> <p>In the absence of mitigation measures to compensate for the loss of a large area (approximately 25m) of mature hedgerow/clawdd which is identified as a priority habitat under Section 7 of the Environment (Wales) Act 2016, the proposed development would be considered to have an adverse effect on the characteristic biodiversity of Eryri and result in the loss of an important landscape feature. The proposal would therefore be considered in conflict with both Strategic Policy D and Development Policy 1 of the Eryri Local Development Plan which aims to protect and enhance the natural environment and biodiversity of the National Park.</p>	Mrs. Sara Thomas

				<p>Insufficient information has been submitted in relation to the design, appearance and use of materials (in particular in relation to the proposed retaining wall and levels for the new access and track) to allow a fully informed decision to be made. The proposal is therefore considered in conflict with Development Policy 1 of the Eryri Local Development Plan.</p> <p>No biodiversity enhancement has been included which is required under Strategic Policy D of the adopted Eryri Local Development Plan and paragraph 6.4.5 of Planning Policy Wales.</p>	
6.	NP5/65/274F	Construction of agricultural building	Maes Hyfryd, Llanelltyd. LL40 2HF	<p>07/06/21</p> <p>By reason of lack of justification being provided in relation to the agricultural need for a building of the size proposed, this proposal would represent an unwarranted intrusion presenting a visually excessive and discordant feature to the detriment of the special qualities of this part of the National Park. Therefore, this application is in conflict with Eryri Local Development Plan Strategic Policies A, C, and Development Policies 1, 2 and 6.</p> <p>By reason of insufficient information being provided in relation to information required by the Welsh Government Highways Authority to determine if the proposal would have any adverse impact on their assets or on highway safety.</p> <p>By reason of if insufficient information being provided to allow this Authority to undertake an assessment of likely significant effect under Regulation 63 of the Conservation of Habitats and Species Regulations 2017.</p>	Mrs. Sara Thomas

7.	NP5/73/423	Conversion of outbuilding to short-term self-catering holiday accommodation	Y Felin Lifo, Tan y Bwlch, Maentwrog. LL41 3YU	<p>08/06/21</p> <p>The proposed use as holiday let accommodation would not form part of any rural enterprise scheme and is therefore in conflict with the requirements of Development Policy 9 of the adopted Eryri Local Development Plan 2016-2031.</p> <p>The proposal would result in significant rebuilding of the original building which would harm its existing character. The proposal is therefore in conflict with the requirements of Development Policy 9 of the adopted Eryri Local Development Plan 2016-2031.</p> <p>Insufficient information has been submitted to identify/address all likely ecological issues associated with the development so that a fully informed decision can be made on this application. In the absence of this information, the proposal fails to satisfy Strategic Policy D of the adopted Eryri Local Development Plan, which seeks to protect local sites of nature conservation and biodiversity importance.</p> <p>Insufficient information has been submitted to address all likely Highway issues associated with the development so that a fully informed decision can be made on this application. In the absence of this information, the proposal fails to satisfy criteria viii of Development Policy 1 of the adopted Eryri Local Development Plan, which seeks to ensure that adequate provision of car parking and on-site turning areas are provided.</p>	Mr Aled Lloyd
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8.	NP5/78/207B	Construction of agricultural / storage shed	Cae Coch, Trawsfynydd. LL41 4UG	<p>15/06/21</p> <p>By reason of lack of justification being provided in relation to the agricultural need for a building of the size proposed, together with the siting of the building, this proposal would represent an unwarranted intrusion presenting a visually excessive and discordant feature to the detriment of the special qualities of this part of the National Park. Therefore, this application is in conflict with Eryri Local Development Plan Strategic Policies A, C, and Development Policies 1 and 2.</p> <p>No biodiversity enhancement measures have been included with the proposal. The proposal is therefore in conflict with Strategic Policy D of the adopted Eryri Local Development Plan and paragraph 6.4.5 of Planning Policy Wales (Edition 11, February 2021).</p>	Mrs. Sara Thomas
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## Penderfyniad ar yr Apêl

Ymweliad â safle a wnaed ar 24/05/21

gan **P J Davies, BSc (Hons) MA MRTPI**

**Arolygydd a benodir gan Weinidogion Cymru**

Dyddiad: 28/6/21

## Appeal Decision

Site visit made on 24/05/21

by **P J Davies, BSc (Hons) MA MRTPI**

**an Inspector appointed by the Welsh Ministers**

Date: 28/6/21

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**Appeal Ref: APP/H9504/A/21/3270953**

**Site address: Nantcol Kennels, Pentre Gwynfryn, Llanbedr, LL45 2PB**

**The Welsh Ministers have transferred the authority to decide this appeal to me as the appointed Inspector.**

- The appeal is made under section 78 of the Town and Country Planning Act 1990 against a refusal to grant planning permission.
  - The appeal is made by Mr Christopher Bennett against the decision of Snowdonia National Park Authority.
  - The application Ref: NP5/62/63G dated 24 August 2020, was refused by notice dated 2 December 2020.
  - The development proposed is described as demolition of a number of existing outbuildings and replacement with a new single unit.
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### Decision

1. The appeal is allowed and planning permission is granted for continuation of the established use of the site as a fallen stock store by the demolition of existing outbuildings and erection of new building measuring 13.5 x 9 metres at Nantcol Kennels, Pentre Gwynfryn, Llanbedr, LL45 2PB in accordance with the terms of the application, Ref: NP5/62/63G dated 24 August 2020, subject to the conditions set out in the attached schedule.

### Procedural Matter

2. The appeal form amends the description of the development from that given on the application form to 'Continuation of the established use of the site as a fallen stock store by the demolition of existing outbuildings and erection of new building measuring 13.5 x 9 metres (repeat application)'. This is also the description used on the decision notice. I have considered the appeal on this basis.

### Main Issues

3. These are:
  - i) whether the site is a suitable location for the development having regard to planning policies that seek to protect the countryside and the National Park,
  - ii) the effect of the proposal on the setting of a listed building, and
  - iii) the effect on highway safety.

## Reasons

### *Countryside / National Park*

4. Strategic Policy C (SPC) of the Eryri Local Development Plan (LDP) supports new small-scale employment and training development in accordance with Development Policy 19 (DP19) which lists more specific criteria. Nonetheless, the appeal site is not a new employment site and the Authority accept that the proposal is for a continuation of the established use. Formerly the land was used for the collection, storage, and incineration of fallen stock which were then used for feeding foxhounds and involved the sale of hide. The proposal is for the collection and storage of fallen stock only. There might be some differences in the way the two operations work but the principle is the same and there would be no fundamental change to the established use of the site. I also note that the site is vacant and falling into disrepair, but the access and buildings are very much evident and easily capable of being brought back into use. Thus, I would not regard the site as abandoned. In the circumstances, LDP Policies SPC and DP19 are not relevant. Similarly, in the context of the Authority's second reason for refusal the proposal would not introduce a new commercial use to the countryside
5. On this issue therefore, the main policy considerations are LDP Development Policies (DP) 1 and 2. Policy DP1 aims to conserve and enhance the special qualities of the National Park. Amongst other things development will only be permitted where the nature, location, siting, height, form and scale of the development is compatible with the character of the site and its location. LDP Policy DP2 seeks to ensure the scale and design of new development respects and conserves the character, qualities and views of the landscape.
6. The existing buildings are arranged in an ad hoc and cluttered fashion. They present as an untidy mix of metal sheet and blockwork buildings. Most would be demolished to accommodate the new building, save for a small building near the southern boundary. The proposal would therefore consolidate the existing extent of built form and improve the appearance of the site. The appellant argues that the proposed building would result in a 16% reduction in operating floor space compared to the buildings to be demolished. No substantive evidence to the contrary has been provided by the Authority. Whilst I recognise that the proposed building would be taller and bulkier in overall mass and volume, it would be set back from the road on an existing level plateau against a backdrop of trees and rising topography. These factors would mitigate any impact arising from the increased mass of built form. The proposed building would be constructed in the style and form of a typical agricultural building and accordingly it would not appear as an unusual building in this rural location. Subject to a condition to control the detailed specification of external finishes, the proposal would be compatible with its setting.
7. The appeal site is within a landscape that incorporates the Afon Cwm Nantcol and the upland areas of the Rhingos. These are classed as having a high and outstanding value according to the LANDMAP assessment. Nonetheless, although the site is crossed by a public footpath, views of the development would be very localised, confined largely to short term views to those using the site and the footpath. The site is screened by trees and further landscaping is proposed. It is not easily visible from nearby roads or dwellings. Given that the site is already developed, and that the scale, siting and form of the building is acceptable in any event, the proposal would not materially change the appearance and character of the site or have any significant visual impact on the wider landscape.

8. I conclude that the site is a suitable location for the proposed development which would comply with LDP Policies DP1 and DP2.

#### *Listed Building*

9. The appeal site is close to Capel Salem and an attached caretaker's cottage which is a Grade II listed building. Nonetheless, the two sites have their own distinct setting and do not correlate in any shared views or vistas. In addition, the site already has an established commercial use, the nature of which would not be fundamentally changed by the proposal. In these circumstances, there would be no adverse effects on the setting of the listed building which would be preserved. The proposal thus complies with LDP Strategic Policy Ff which seeks to conserve and enhance the historic landscape, heritage assets and cultural heritage of Snowdonia National Park.

#### *Highway Safety*

10. The surrounding road network is winding and narrow in places, but this is already the case for the established use of the site. The appellant has indicated that the site would be used by transit sized vans with around 10 movements a day. I note that Gwynedd Highways have no objection to the proposal but have recommended a condition to control the number of heavy vehicle movements to 10 during the weekdays and 5 on Saturday mornings. This would be onerous for the Authority to monitor and therefore difficult to enforce. In any event, given the existing established use of the site, and in the absence of any tangible evidence to indicate that the proposal would result in a material increase in traffic to and from the site, the condition would be unnecessary. On the available information, I find that the proposal would not cause any material harm to highway safety interests or conflict with criterion ix of LDP Policy DP1.

#### **Other Matters**

11. I have had regard to local amenity concerns, including the effects of transport and odour. I am also mindful of other concerns relating to impacts on tourism. However, there is limited evidence before me to suggest that the proposal would be unacceptable for any of these reasons.

#### **Conditions**

12. The Authority has suggested several conditions. I have considered these in the light of the advice in Welsh Government Circular 016/2014 'The Use of Planning Conditions for Development Management' (the Circular).
13. The Circular advises that save in exceptional circumstances, conditions should not be imposed which restrict future changes of use which the Use Classes Order would otherwise allow. The Authority has provided little evidence that there are any such circumstances and I find nothing that suggests that a condition in this regard is necessary. A condition relating to the removal of any fuel tank is not necessary as any water contamination issues would be addressed by the contamination condition considered below. Similarly, a condition to require details of a septic tank would be duplicated by a general drainage condition and is not necessary.
14. Given the former use of the site, there is a possibility that the site may be contaminated by substances that could pose hazards to the environment or to health. A fuel tank is also likely to be present on the site which might be underground and pose a risk to water quality. An investigation of these hazards is therefore required, and I have imposed a condition accordingly. In the interests of general amenity, it is

necessary to ensure that any waste is stored inside the building. A condition to ensure the implementation of landscaping is necessary in the interests of visual amenity. In the absence of any specific details in the application, I have also attached a condition to require approval of external finishes to ensure the building is in keeping with its surroundings. A condition relating to the implementation of mitigation measures for protected species is necessary to safeguard ecological interests. A condition controlling hours of demolition and construction is necessary to protect the living conditions of nearby residents.

15. In the interests of preciseness and enforceability I have amended the wording of some of the Authority's suggested conditions without changing their overall aim.

### **Conclusions**

16. In reaching my decision, I have taken account of the requirements of sections 3 and 5 of the Well Being of Future Generations (Wales) Act 2015. I consider that this decision is in accordance with the Act's sustainable development principle through its contribution towards one or more of the Welsh Ministers well-being objectives as required by section 8 of the WCFG Act.

17. For the above reasons, and having regard to all matters raised, the appeal is allowed.

*P J Davies*

INSPECTOR

## Schedule of Conditions

- 1) The development shall begin not later than five years from the date of this decision.  
*Reason: To comply with Section 91 of the Town & Country Planning Act 1990.*
- 2) The development shall be carried out in accordance with the following approved plans and documents: Location Plan; Drawing No 2633:18:3 - Proposed Site Plan; Drawing No 2633:18:5 - Proposed Shed.  
*Reason: To define the planning permission.*
- 3) Prior to the commencement of the development, full details of foul and surface water drainage shall be submitted to and approved in writing by the local planning authority. The development shall be carried out in accordance with the approved details.  
*Reason: In the interests of public and environmental health and to comply with LDP Policy DP1.*
- 4) No development shall take place until a desk-based study is undertaken to assess the potential contamination risks, including the risks to water quality. The results of the study shall be made available to the local planning authority before any development begins. If the desk study recommends further investigation is necessary in respect to contamination, then an intrusive investigation and remediation strategy must be submitted and approved by means of a formal application to the Local Planning Authority. The approved strategy must be implemented in accordance with the recommended details.  
*Reason: In order to safeguard the environment and health and to comply with LDP Policy DP1.*
- 5) There shall be no external storage of collection skips or waste material.  
*Reason: In the interests of local amenity and public health and to comply with LDP Policy DP1.*
- 6) The landscaping works shall be carried out in accordance with the approved details during the first planting season immediately following completion / occupation of the development. If within a period of 5 years from the date of the planting any tree or plant is removed, uprooted or destroyed or dies or becomes, in the opinion of the local planning authority, seriously damaged or defective, another tree or plant of the same species and size as that originally planted shall be planted at the same place during the next planting season immediately following the death/removal/destruction of that tree.  
*Reason: To safeguard the character and appearance of the area and to comply with LDP Policy DP1.*
- 7) The development shall be carried out in accordance with the recommendations for mitigation as set out in the Preliminary Ecological Appraisal including bat surveys report (Enfys Ecology 25<sup>th</sup> November 2020).  
*Reason: To safeguard protected species and to comply with LDP Strategic Policy D.*
- 8) Prior to the construction of the building hereby approved details of the colour and finishes to be used in the construction of the external surfaces of the building shall be submitted to and approved in writing by the local planning

authority. Development shall be carried out in accordance with the approved details.

*Reason: To ensure the development is in keeping with its surroundings and to comply with LDP Policy DP1.*

- 9) Demolition or construction works shall not take place outside the hours of 09:00 to 18:00 Mondays to Fridays and 09:00 to 13:00 on Saturdays and at no time on Sundays or Public Holidays.

*Reason: To safeguard residents' living conditions and to comply with LDP Policy DP1.*



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## Penderfyniad ar yr Apêl

Ymweliad â safle a wnaed ar 24/05/21

gan **P J Davies, BSc (Hons) MA MRTPI**

**Arolygydd a benodir gan Weinidogion Cymru**

Dyddiad: 5/7/21

## Appeal Decision

Site visit made on 24/05/21

by **P J Davies, BSc (Hons) MA MRTPI**

**an Inspector appointed by the Welsh Ministers**

Date: 5/7/21

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**Appeal Ref: APP/H9504/A/21/3272536**

**Site address: Land adj Brig-Y-Don, Aberdyfi, LL35 0NH**

**The Welsh Ministers have transferred the authority to decide this appeal to me as the appointed Inspector.**

- The appeal is made under section 78 of the Town and Country Planning Act 1990 against a refusal to grant planning permission.
  - The appeal is made by Mr Willis against the decision of Snowdonia National Park Authority.
  - The application Ref: NP5/50/679D dated 24 November 2020, was refused by notice dated 21 January 2021.
  - The development proposed is new dwelling on existing land associated with Brig Y Don, Aberdyfi.
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### Decision

1. The appeal is dismissed.

### Main Issues

2. These are a) the effect of the proposal on the character and appearance of the surrounding area having regard to its location in the Aberdyfi Conservation Area, and b) the effect on residents' living conditions.

### Reasons

#### *Character and appearance*

3. The appeal site is located above the village centre overlooking the estuary and lies firmly within the Aberdyfi Conservation Area. It comprises a steeply sloping irregular shaped site, narrower at the front and wider at the rear. It has an open frontage to the road but is otherwise enclosed, and slopes down towards the boundaries with properties to the south which are at a significantly lower level again. The surrounding area is predominantly residential with houses built into the hillside facing the estuary. When approaching the site from the lower village there is a tight feel to the development pattern derived from the small terraced cottages, narrow access streets and buildings sited up close to the road. However, beyond the quaint charm of the village centre, the development pattern becomes more spacious. On Hopeland Road, near the appeal site, the housing layout and character is generally typified by substantial early 20<sup>th</sup> century dwellings set in spacious landscaped plots, giving the area pleasant verdant qualities. This is an important attribute of this part of the Conservation Area which contributes to its overall interest and character.
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4. There have been amendments to the proposal which reduced the height of the proposed dwelling and set it further off the boundary. Nonetheless, the dwelling would have little space around most boundaries. From the Hopeland Road frontage it would be particularly close to the side boundaries, almost filling the width of the narrower section of the plot. In addition, although the dwelling would be set back, the parking area would cover most of the frontage, and its layout and size would result in vehicles hemmed up close to the front elevation. The proximity of the two-storey elevation to the rear boundary would also result in a close relationship with the dwellings below which, combined with the steep ground level difference, would further exacerbate the constrained nature of the development. In this elevated position, these unacceptable effects would be prominent in views within the Conservation Area, from Balkan Hill, Hopeland Road and Church Street.
5. I find that the proposal would result in a cramped and over-developed plot that would fail to be compatible with the capacity and character of its context. This would cause harm to the character and appearance of the area and would fail to preserve the character or appearance of the Conservation Area. The proposal therefore conflicts with Development Policy 1 (DP1) and Strategic Policy Ff of the Eryri Local Development Plan (LDP).

#### *Living Conditions*

6. The rear southern boundary of the site is shared with the gardens of Bryneglwys, a building on Church Street which has been divided into flats. The side western and eastern boundaries also adjoin residential gardens. In terms of privacy, a condition to ensure the implementation and retention of boundary treatments would ensure no unacceptable loss of privacy from the lower ground window and door openings. The proposed dwelling would have a large upper level window facing south over the rooftops of Bryneglwys. Given the angle of vision, and the oblique relationship with adjacent gardens I am satisfied that there would be no serious infringement of privacy.
7. Nonetheless, owing to the siting of the proposed dwelling close to the rear southern boundary with Bryneglwys, and having regard to its elevated position, the development would tower above the neighbouring gardens. I consider that its siting, proximity and height is such that the outlook from the adjacent gardens would be overwhelmed and dominated by built form. This would result in an overbearing form of development that would severely curtail the existing standards of outlook and significantly harm the living conditions of the occupants of the flats at Bryneglwys. The proposal would therefore conflict with LDP Policy DP1 which amongst other things seeks to safeguard the amenity of neighbouring property.

#### **Other Matters**

8. One of the Authority's reasons for refusal relates to the failure of the proposal to provide biodiversity enhancement measures. However, as I have found the proposal unacceptable for other reasons, I do not seek to address this matter any further.
9. The appellant has drawn my attention to other developments in the locality. Nonetheless, the context and circumstances of individual sites will rarely be the same, and I have determined this appeal on its own merits. In any event, as the appellant observes, these other developments are dominant in stature, and I consider that they are not necessarily good examples to follow. They do not therefore justify the harm that I have identified.

10. In reaching my decision, I have taken account of the requirements of sections 3 and 5 of the Well Being of Future Generations (Wales) Act 2015. The appellant considers that the Authority's decision runs counter to the goal of achieving a more equal Wales. This is made on the basis that they are being discriminated against because of the size of the plot and for not having the luxury of a generous garden. However, I have determined the appeal on its own merits having regard to material planning considerations and the development plan. The proposal would not contribute to a sustainable place because it would harm the character and appearance of the area and fail to preserve a distinctive and special historic environment. Consequently, it would be at odds with the goals of achieving a Wales that is distinctive and natural, globally responsible, and resilient. I consider therefore that this decision is in accordance with the Act's sustainable development principle through its contribution towards one or more of the Welsh Ministers well-being objectives as required by section 8 of the WBFG Act.
11. For the above reasons, and having regard to all matters raised, the appeal is dismissed.

*P J Davies*

INSPECTOR