

RHYBUDD O GYFARFOD / NOTICE OF MEETING



Awdurdod Parc Cenedlaethol Eryri

Emyr Williams
Prif Weithredwr
Awdurdod Parc Cenedlaethol Eryri
Penrhyndeudraeth
Gwynedd LL48 6LF
Ffôn/Phone (01766) 770274
E.bost/E.mail : parc@eryri.llyw.cymru

Snowdonia National Park Authority

Emyr Williams
Chief Executive
Snowdonia National Park Authority
Penrhyndeudraeth
Gwynedd LL48 6LF
Ffacs/Fax (01766)771211
Gwefan/Website : : www.eryri.llyw.cymru

Cyfarfod : *Pwyllgor Cynllunio a Mynediad*

Dyddiad: *Dydd Mercher 20 Ionawr 2021*

Amser *10.00 y.b.*

Anfonir cyfarwyddiadau ymuno at yr Aelodau ar wahân

Meeting: *Planning and Access Committee*

Date: *Wednesday 20 January 2021*

Time: *10.00 a.m.*

Joining instructions will be sent to Members separately

Aelodau wedi'u penodi gan Gyngor Gwynedd

Members appointed by Gwynedd Council

Y Cyngorydd / Councillor:

*Freya Hannah Bentham, Elwyn Edwards, Alwyn Gruffydd,
Annwen Hughes, Judith Mary Humphreys, Edgar Wyn Owen,
Elfed Powell Roberts, John Pughe Roberts, Gethin Glyn Williams;*

Aelodau wedi'u penodi gan Gyngor Bwrdeistref Sirol Conwy

Members appointed by Conwy County Borough Council

Y Cyngorydd / Councillor:

Philip Capper, Wyn Ellis-Jones, Ifor Glyn Lloyd;

Aelodau wedi'u penodi gan Llywodraeth Cymru

Members appointed by The Welsh Government

*Mr. Brian Angell, Ms. Tracey Evans, Mrs. Sarah Hattle,
Mr. Tim Jones, Mr. Neil Martinson, Mr Owain Wyn.*

A G E N D A

1. **Apologies for absence and Chairman's Announcements**
To receive any apologies for absence and Chairman's announcements.
2. **Declaration of Interest**
To receive any declaration of interest by any members or officers in respect of any item of business.
3. **Minutes**
The Chairman shall propose that the minutes of the meeting of this Committee held on 2nd December 2020 be signed as a true record (copy herewith) and to receive matters arising, for information.
4. **Inspection Panel Report**
To submit the report of the Northern Area Inspection Panel held on the 16th December 2020, together with a report by the Director of Planning and Land Management on the application. (Copy herewith)
5. **Reports by the Director of Planning and Land Management**
To submit the reports by the Director of Planning and Land Management on applications received. (Copies herewith)
6. **Update Reports**
To submit update reports, for information. (Copies herewith)
7. **Report by the Director of Planning and Land Management**
To submit reports by the Director of Planning and Land Management on policy matters. (Copies herewith)
 - (1) SPG3 – Planning and the Welsh Language
 - (2) Annual Monitoring Report 2020
8. **Report by the Director of Planning and Land Management**
To submit report by the Director of Planning and Land Management on conservation matters. (Copy herewith)
 - (1) TPO – Pen y Cefn, Dolgellau
9. **Delegated Decisions**
To submit the list of applications which have been determined in accordance with delegated authority, for information. (Copy herewith)

Planning and Access Committee 02.12.20

**SNOWDONIA NATIONAL PARK PLANNING AND ACCESS COMMITTEE
WEDNESDAY 2nd DECEMBER 2020**

Councillor Elwyn Edwards (Gwynedd) (Chairman)

PRESENT:

Members appointed by Gwynedd Council

Councillors Freya Bentham, Alwyn Gruffydd, Annwen Hughes, Judith Humphreys, Edgar Wyn Owen, John Pughe Roberts, Gethin Glyn Williams;

Member appointed by Conwy County Borough Council

Councillor Philip Capper;

Members appointed by the Welsh Government

Mr. Brian Angell, Ms. Tracey Evans, Mrs. Sarah Hattle, Mr. Tim Jones, Mr. Neil Martinson, Mr. Owain Wyn;

Officers

Mr. G. Iwan Jones, Mr. Jonathan Cawley, Mrs. Jane Jones, Mr. Aled Lloyd, Mrs. Iona Roberts, Mr. Richard Thomas, Ms. Alys Tatum, Mrs. Anwen Gaffey.

1. **Apologies**

Councillors Elfed Powell Roberts, Wyn Ellis Jones, Ifor Glyn Lloyd;

2. **Declarations of Interest**

No declarations of Personal Interests were made in respect of any item.

3. **Minutes**

The minutes of the Planning and Access Committee meeting held on 21st October 2020 were accepted and the Chairman signed them as a true record.

4. **Reports by the Director of Planning and Land Management**

Submitted – Reports by the Director of Planning and Land Management on planning applications and compliance matters.

Please see the Schedule of Planning Decisions attached.

5. **Update Reports**

Submitted – Update reports by the Director of Planning and Land Management on planning applications and compliance matters.

Please see the Schedule of Planning Decisions attached.

6. **Delegated Decisions**

Submitted and Received – List of applications determined in accordance with delegated authority.

RESOLVED to note the report.

7. **Court of Appeal Decision: *Hillside Parks Ltd v Snowdonia National Park Authority Submitted*** – A report by the Director of Planning and Land Management to provide Members with a summary of a recent decision taken by the Court of Appeal at Hillside, Aberdyfi.

Reported – The Director of Planning and Land Management advised that since writing the report, he had received notification that an appeal against the decision made by the Court of Appeal on the 4th November has been lodged with the Supreme Court. Consequently, as this was still an active case, the Director of Planning and Land Management did not wish to provide further details at this time.

RESOLVED to note report, for information.

The meeting ended at 11.50

SCHEDULE OF PLANNING DECISIONS – 2nd DECEMBER 2020

Item No.

4. Report by the Director of Planning and Land Management

(1) NP3/10/121 – Erection of a pair of semi-detached two storey dwellings with associated access and car parking, land at Cae'r Felin, Abergwyngregyn.

Reported – Case Officer presented the report and background in detail.

Public Speaking

Hywel Thomas, addressed the Planning and Access Committee and asked Members to consider the following objections:-

- Mr. Thomas thanked Members for the opportunity to comment on the application.
- Mr. Thomas had 35 years of experience in Development Control, and the application had raised a number of concerns. When the application was first registered, it was invalid and officers were advised of the need to ask for more information.
- there were no details of floor levels of the proposed houses in relation to existing land levels, nor a cross section showing the houses in relation to the adjoining properties, which are basic details needed to consider the application.
- Mr. Thomas had drawn officers' attention to a sewer running across the site, from Glandon to the main sewer on the east side of the site, immediately in front of the proposed houses. This was a material consideration, which had not been considered by either the Authority or Dwr Cymru.
- para. 3.13 of the report states there was justification for allowing the development contrary to National Policy on public interest grounds, and at the expense of the general presumption to preserve or enhance the character or appearance of a Conservation Area.
- there was no evidence of need for an affordable house in the village and as such, this was not valid justification to contravene Planning Policy Wales.
- the car parking spaces and turning area were also out of character with the village and would involve creating a hard tarmac area that would be urban in character.
- the impact on amenities of neighbouring properties was unacceptable.
- although the development was within the development boundary this was not reason enough to approve the application to build approximately 7 metres away from the front elevation of the nearest houses.
- this would also mean overlooking of the rear garden of Glandon and the rear gardens of the new properties would be overlooked.
- in order to assess these concerns Mr. Thomas asked the committee to consider visiting the proposed site before making a decision.

RESOLVED – Site Inspection.

Arising thereon, the Director of Land Management reminded Members of the Planning and Access Committee's decision on the 1st July 2020 that if the Planning and Access Committee required further clarification, and as an alternative to holding an Inspection Panel, the Committee should nominate 3 Members from either the Northern or Southern Area Inspection Panel, subject to the area of the application, to visit the site as individuals and report back on their findings on the specific issue which required further scrutiny. These arrangements were to remain in place during the Covid-19 pandemic and be reviewed when the rules on social distancing were relaxed.

The following three Members of the Northern Area Inspection Panel were nominated to attend:-

Councillor Alwyn Gruffydd, Mr. Owain Wyn and Ms Tracey Evans.

- (2) NP5/62/63G – Continuation of the established use of the site as a fallen stock store by the demolition of existing outbuildings and erection of new building measuring 13.5 x 9 metres (Repeat Application), Kennels, Pentre Gwynfyn, Llanbedr.

Reported – Case Officer presented the report and background in detail. Natural Resources Wales (NRW) had no objections in principle, however they had requested further information. Further information has now been received and forwarded to NRW.

Public Speaking

Sian James, addressed the Planning and Access Committee on behalf of Cyfeillion Cwm Nantcol, and asked Members to consider the following objections:-

- the application contained false information.
- it suggested the application was a development of the current usage, when in fact it represented a radical change in both scale and use.
- it did not acknowledge there were no extant permissions to store carcasses or incinerate stock on site or that the site had been closed for many years.
- to date 171 letters of objection have been submitted, including from the Snowdonia Society, the Baptist Corporation, Coed Cadw, and Save Our Rivers. The most important was the strength of feeling that had come from Cyfeillion members and the community locally, including community representatives that make up Llanbedr's Community Council who had also voted strongly against the application.
- re-presentation of the application without consultation, at a time when people were struggling to manage the demands of Covid 19, was a deeply callous act.
- it was startling that this application had come forward with no acknowledgement of the risks it presented to both human and animal health.
- Llanbedr and Pentre Gwynfryn were struggling badly with narrow roads, lack of parking and pavements, with life-changing accidents and it was bewildering that thousands of extra diesel journeys a year, going directly past the local primary school, was considered negligible. Traffic often idles for up to thirty minutes in the summer and to imagine dozens of daily journeys of stock trucks carrying decomposing carcasses sitting in those queues.
- the findings of the preliminary ecological survey were not accepted as the site was strategically placed in protected habitats and areas that should be preserved for the future and contribute directly to the health of the community. To place a potentially polluting industry in their midst was not only against the community's wishes, but also against the principle of sustainability laid down in Protecting the Health of Future Generations Act.
- a further concern was the impact of the proposal on Capel Salem, an important heritage asset. The idea that mourners might stand in its graveyard and be subject to the smell of decaying carcasses would be a failure to protect this community.
- Members were urged to accept the case officer's advice and reject the planning application.

Richard Carter, the Agent, addressed the Planning and Access Committee and asked Members to consider the following:-

- the application site was the subject of a planning application NP5/62/63C that was determined in 2005 with exactly the same topic and quantity of public opposition as at that time.
- the application was considered in detail at determination, permission was granted, and as a result, the proposal site currently benefits from extant planning permission that permits the collection, storage and incineration of fallen stock.

- the permission was granted with no highway restricting conditions.
- the application is to demolish two sheds and erect a replacement, and represents a 16% reduction in operating floor space.
- the case officer's report in para. 3.5 stated that the development represented "a much larger storage capacity" which was incorrect and all subsequent references to an increase in scale were equally flawed.
- prior to awarding planning in 2005, the Fox Hunting Act had already come into force and the site operated a commercial service. At all times, when customer supply exceeded processing capacity, delivered carcasses were stored and transported from the site.
- the application was not "introducing" commercial development The officer's report states that the site is situated within open countryside on agricultural land, and was occupied by kennel buildings and a small incinerator. This was not correct as the planning permission in 2005 granted the erection of buildings to accommodate an incinerator, hide store and meat store, and not kennel buildings.
- the land was previously developed and has not been part of an agricultural holding for decades.
- Enfys Ecology have engaged with the SNPA and provided all the information as requested. The ecological report confirms enhancement measures agreed to create biodiversity net gain within the site on completion of the works. The site was virtually invisible from the road and additional screening was proposed.
- in the previous application, the case officer stated, "Whilst the site is within close proximity to a Listed Building, the proposed development would not have an adverse impact on the setting of the Listed Building."
- the applicant volunteered a condition to limit traffic. Gwynedd Highways commented that the development would not have an adverse effect on the road network.
- in summary, the application provided a reduction in scale, ecological gain, additional landscaping, improved environmental performance, no impact on the local setting and a voluntary traffic limit. This represented an enhancement to the National Park.

RESOLVED to delegate authority to the Director of Planning and Land Management to **refuse** permission in accordance with the recommendation excluding reason 5, if this was no longer required.

- (3) NP5/69/113H - Siting of 1 pod and 2 shepherd's huts for use as holiday accommodation (re-submission), Llanfendigaid Hall, Rhoslefain.
Reported – Case Officer presented the report and confirmed that suitably worded conditions would be sufficient to secure removal of the current touring caravan site, along with the removal of permitted development rights to prevent any future caravan sites being developed.
RESOLVED to approve the application without the legal agreement subject to the recommended conditions as outlined in the Planning and Access Committee report dated 1st July 2020.

5. Update Reports

- (1) Enforcement Notices, Listed Building Enforcement Notices served under delegated powers and List of Compliance Cases – **For Information**
Arising thereon, Members discussed:-

- (i) how officers address continued breaches, possible sanctions, and enforcement processes and asked that a report be presented to a future meeting of the Members' Working Group.
- (ii) Officers were asked to urgently investigate that the proposed temporary repairs to the roof of Nannau Hall had been undertaken.
- (iii) the additional column to provide "Updates since last Committee meeting", whilst helpful, need to be kept up to date.

RESOLVED to note the report and await a report to a future meeting of the Members' Working Group.

- (2) Section 106 Agreements – **For Information**
RESOLVED to note the report.

- (3) Outstanding Applications where more than 13 weeks have elapsed – **For Information**
RESOLVED to note the report.

SNOWDONIA NATIONAL PARK AUTHORITY

NORTHERN AREA INSPECTION PANEL, 16 DECEMBER 2020

NP3/10/121 - ERECTION OF A PAIR OF SEMI-DETACHED TWO STOREY DWELLINGS WITH ASSOCIATED ACCESS AND CAR PARKING, LAND AT CAE'R FELIN, ABERGWYNGREGYN.

- PRESENT** Councillor A. Gruffydd, Ms. T. Evans, Mr. O. Wyn
- IN ATTENDANCE** Jonathan Cawley, Director of Planning and Land Management
Richard Thomas, Principal Planning Officer
- REPORTED** Authority officer was able to describe the proposed development to the Members from the adjacent road and from within the site boundary.
- The officer pointed out the proximity of the site to the Scheduled Ancient Monument, that the site was within the Conservation Area and there were listed buildings to the east.
- The areas of concern were outlined which were summarised as being the impact of the proposed development on the Historic Assets and neighbouring amenity.
- By way of assisting members the officer has requested from the applicant a section through the site to identify the relative heights between the existing dwellings and that now proposed.
- From within the site it was observed that the closest dwelling Glan Don had windows facing onto the car parking area to the front of site, one of which had obscured glazing and the other was a window into a kitchen.
- DISCUSSED** Members did not disagree with the officer on the areas of concern.
- They were able to see the views of the Pen y Mŵd Scheduled Ancient Monument from the adjacent road and from within the site.
- Comment was made as to the suitability of the design and finishes of the proposed dwellings given its location within the conservation area. Officer was able to respond stating that it was considered that given the existing dwellings either side were of a painted render finish the proposed was not considered to be out of place.

Given that the windows of Glan Don facing on to the site appeared to be a bathroom with obscured glazing and a kitchen there would be no loss of amenity and as the proposed new dwellings did not have any windows other than a bathroom window overlooking the dwellings of Cae'r Felin, again there would be no loss of amenity.

Members commented that the surfacing of the car parking area could be looked at to provide a porous surface and reduce its visual impact. The use of a grasscrete or similar surfacing could be considered.

In addition, it was commented that the boundary to the front of the site adjacent to the road could be improved through the introduction of a stone wall replacing the existing post and wire fence.

The need for housing was discussed. It was commented that there is a general need for new open market and for affordable dwellings within the Park. A section 106 agreement would be required to secure affordability and restrict occupancy.

CONCLUSION

To discuss this application further at the next Planning and Access Committee.

PREVIOUS REPORT

Snowdonia National Park Authority Date: 02/12/2020
– Planning & Access Committee

Application Number: NP3/10/121

Date Application Registered: 30/01/20

Community: Aber

Grid Reference: 265766.9 372616.7

Case Officer: Mr Richard Thomas

Location:

Land at Cae'r Felin, Abergwyngregyn.

Applicant:

Mr. Huw Roberts
1 Tre'r Ddol
Rhyd-y-clafdy
Pwllheli
Gwynedd
LL53 7YN

Description:

Erection of a pair of semi-detached two storey dwellings with associated access and car parking.

Summary of the Recommendation:

To **APPROVE** subject to a Section 106 agreement and to the following summarised conditions:

- Start work within 5 years
- Develop in accordance with approved plans
- Removal of Permitted Development Rights
- Appropriate slate roof
- Approval of Landscaping/Biodiversity Enhancement Plan
- Implementation and compliance of Landscaping/Biodiversity Enhancement Plan
- Archaeology watching brief
- Car parking in accordance with approved plan

Reason Application Reported to Committee: Scheme of Delegation

Concerns raised by Community Council

Land Designations / Constraints:

- Within housing development boundary
- Within conservation area
- Close proximity to Scheduled Ancient Monument (SAM)

Site Description:

This site, which falls within the housing development boundary for Abergwyngregyn, is a generally flat area of land. It forms a part of a larger field currently utilise for agricultural/grazing purposes.

It has existing dwellings immediately adjacent to the east and west boundaries and a narrow residential access road and other dwellings to the south. Existing stone and fencing define its southern, eastern and western boundaries.

The site currently has a gated agricultural/vehicular access to the adjacent residential road to the south.

This area of land falls within the Abergwyngregyn conservation area and is within very close proximity of the Pen y Mŵd (80m) and Pen y Bryn scheduled ancient monuments (120m) and three Listed Buildings (140m – 200m).

Proposed Development:

This Application proposes the erection two dwellings of two of storey semi-detached construction with associated vehicular access and off street parking and landscaping. In line with ELDP policy the applicant has indicated willingness to enter into a Section 106 Agreement to secure affordability of one of the proposed dwellings.

Relevant Planning Policies:

Eryri Local Development Plan 2016-2031

- SPC: Spatial Development Strategy
- SPFf: Historic Environment
- SPG: Housing
- DP1: General Development Principles
- DP2: Development and the Landscape
- DP6: Sustainable Design and Materials
- DP8: Protection of Non-Designated Sites
- DP30: Affordable Housing

Supplementary Planning Guidance

- SPG4: Affordable Housing
- SPG5: Planning Obligations

National Policy/Guidance

- Planning Policy Wales (PPW), Edition 10
- TAN 24: The Historic Environment, May 2017

Consultations:

Aber Community Council	Concerns raised
CADW	No objections
Heneb	No objections (archaeology), No notable impact (conservation area)
Highways Authority	No objections, subject to conditions
Natural Resources Wales	No objections
Dwr Cymru/Welsh Water	No objections, advice provided
SAB	Advice provided

Response to Publicity:

The application has been publicised by way of a site notices, neighbour notification letters and press notice.

Letters of objection have been received from 7 nearby residents and the Snowdonia society were received; their comments are summarised as:

- No need
- Loss of amenity to neighbouring residential dwellings – overlooking, noise, light
- Lack of details on boundary treatment
- Adverse effect on Scheduled Ancient Monument - setting should be protected
- Adverse effect on conservation area
- Adverse effect on Archaeology – investigations are required
- Adverse effect on wildlife and habitats
- Design is incongruous and out of character
- Inadequate access

The Community Council have commented raising concerns over:

- Overlooking
- Unsafe access
- Harm views of the Mŵd (SAM)
- Proximity to river
- Harm to Biodiversity
- Inappropriate materials

Assessment:

1. Background

1.1 There is no planning history for this site.

2. Principle of Development

- 2.1 Based on the policy context of Strategic Policy C and Development Policy 30, the principle of constructing a pair of semi-detached dwellings (one open market, one affordable/local occupancy) dwelling within the housing development boundary of a secondary settlement is considered to be in conformity with policy.

3. Planning Assessment

- 3.1 Abergwyngregyn is defined in the ELDP as a secondary settlement and has a housing development boundary within which new affordable and open market housing development can be regarded as acceptable.
- 3.2 Within secondary settlements the ELDP policy 30 states that proposed housing development sites of 2 or more dwellings should provide 50% affordable housing. In this case where one of the two proposed dwellings is to be affordable conformity with ELDP policy 30 is achieved.
- 3.3 As this site falls within a conservation area and is in close proximity to scheduled ancient monuments (SAM) greater care must be afforded to ensure no harm to the heritage assets and their setting.
- 3.4 In response to this sensitive site the applicants have produced a Heritage Impact Assessment (HIA) and undertaken an archaeological investigation of the site.

Heritage Assets

- 3.5 The HIA has been carried out on the basis of a four-stage assessment in accordance with the guidance as set out in Cadw's 'Setting of Historic Assets in Wales' and TAN 24. The HIA identified six historic assets that may be affected by this proposed development, these being:
- The Abergwyngregyn conservation area
 - The Pen y Mŵd SAM
 - The Enclosure and Associated Structures at Pen y Bryn SAM
 - The Pen y Bryn house Grade II* Listed Building
 - The Pen y Bryn Gatehouse/Barn Grade II Listed Building
 - Pen y Bryn Cottage Grade II Listed Building
- 3.6 At table 3.3 to the submitted HIA it has been concluded that the proposed development would have a negative but minor impact on the conservation area and Pen y Mŵd SAM, a negative but negligible impact on the Pen y Bryn SAM and Pen y Bryn Listed Building and neutral impact on the Pen y Bryn gatehouse/barn and cottage Listed Buildings.

3.7 The impacts are summarised as:

Historic Asset	Impact	Magnitude
Conservation Area	Negative	Minor
Pen y Mwd SAM	Negative	Minor
Pen y Bryn SAM	Negative	Negligible
Pen y Bryn LB	Negative	Negligible
Gatehouse/Barn LB	Neutral	Negligible
Pen y Bryn Cottage LB	Neutral	Negligible

3.8 In consideration of these likely impacts on the historic assets ELDP policy Ff states that:

'...historic assets...will be conserved and enhanced, due to their contribution to the character and 'special qualities' of the National Park'

'Development will not be permitted that will adversely affect in any way the following Heritage Assets, or where appropriate their setting and significant views:

i. Conservation Areas

iv. Scheduled Monuments and other sites of archaeological importance

vi. Listed Buildings'

3.9 As the HIA demonstrates that if approved this proposed development would result in a negative impact on the setting of the conservation area and SAM's and would therefore place it in conflict with Policy Ff. However, Cadw have at section 4.4 of their 2017 document *'Setting of Historic Assets in Wales'* provided guidance whereby 'depending on the level of impact, mitigation measures to reduce the negative impact of the proposal should be considered'. Mitigation measures have been included in the application through appropriate design, form and materials to the proposed dwellings and landscaping within the site and to the northwest boundary.

3.10 Cadw have assessed the HIA, the proposed development and the mitigation measures and have raised no objections to the proposal in terms of the potential impact on the SAM's. They have concluded that the HIA has been compiled in accordance with best practice and have concurred with the impact assessment applied to the Pen y Bryn SAM but consider that the impact on the Pen y Mwd SAM is slightly greater than assessed. They do conclude by stating that they do agree that in both cases the impact is not significant.

3.11 Cadw do not comment on potential impacts on conservation areas, this matter is for this Authority to assess.

- 3.12 This Authority's advisor on conservation area's has commented that the proposed buildings will not have a notable impact on the conservation area and that the proposed design is fairly in keeping with surrounding buildings.
- 3.13 Planning Policy Wales (PPW) provides more guidance on assessing potential impact of development on a conservation area at paragraph 6.1.14 – 6.1.16. At these paragraphs PPW states that:

'there should be a general presumption in favour of the preservation or enhancement of the character or appearance of conservation area or their settings.'

And that:

'The presumption may be overridden in favour of development considered desirable on public interest grounds.'

- 3.14 It can be argued that this proposed development is desirable on public interest grounds in that it will provide one affordable dwelling for local person occupation in need of housing.
- 3.15 However, at paragraph 6.1.16 PPW states that:

'Preservation or enhancement of a conservation area can be achieved by a development which makes a positive contribution to an area's character or appearance or leaves them unharmed. Mitigation measures can also be considered which could result in an overall neutral or positive impact....'

- 3.16 The proposed landscaping will mitigate this proposed development against the perceived negative impacts and thereby bringing it in conformity with the guidance provided in PPW and with ELDP policy Ff.

Archaeology

- 3.17 The applicants were requested to produce a written scheme of investigation for an archaeological evaluation and to undertake a geophysical survey of the proposed site to ascertain the potential for archaeological remains and further investigation. This has satisfactorily been carried out with the conclusions being that there were a series of high responses typical of modern fences and buildings and of buried iron objects. Linear features were also detected which could be indicative of former boundaries and recent dumping of soil.
- 3.18 Six targeted responses were selected for further investigation. Five of which produced modern material and one produced a response from an unknown source.

- 3.19 This archaeology study concluded that this area *'gives the impression of having been extensively disturbed possibly at the time of the construction of the houses to the north east'*.
- 3.20 The study recommends that further evaluation is required through trial trenching or targeted excavation. This can be ensured through planning condition attached to any approval that may be issued in response to this application.

Housing need

- 3.21 Development opportunities have been identified within the ELDP 2016-2031 to provide a target of 375 new affordable homes to meet local needs. It is anticipated that these units will be delivered as affordable intermediate or social rented housing for local people in need who cannot afford open market housing. The figure of 375 units represents 25 units per annum. The number of affordable units granted consent has been well below the target in recent years. Secondary Settlements are identified by Policy 30 as areas that require a 50% affordable contribution towards the National Parks need for affordable/local needs, in order to provide for the social and economic well-being of Snowdonia's communities.

Design, scale and form of the proposed dwellings

- 3.22 I am of the opinion that the design, scale, form and use of materials proposed with this application are acceptable when compared with the general character of dwellings in this area of Abergwyngregyn and would not be considered as being out of place or harming the character of this part of the conservation area.
- 3.23 The proposed dwellings are of two storey semidetached construction shown with 3 bedrooms, set back from the access road. With a floor area of around 100sqm the size of the dwellings conform to the affordable sizes as defined in the Supplementary Planning Guidance Note 4: Affordable Housing, Para 8.8.
- 3.24 The dwellings have been so designed and orientated to avoid any loss of amenity through overlooking or loss of light to neighbouring residential dwellings. Other than a single first floor bathroom window inserted in the gables, which can be conditioned to be obscured, there are no windows directly overlooking any habitable rooms in neighbouring dwellings.
- 3.25 The nearest dwellings are Glan y Don at 4.5m, 4 Cae'r Felin at 11.5m and 5 Cae'r Felin at 7.5m.

- 3.26 The proposed dwellings are shown to be finished as painted render walls under a natural mineral slate roof. This reflects the predominant finish to the existing dwellings in close proximity to this site and are considered to be appropriate.
- 3.27 Given the above it is considered that the proposed dwellings are appropriate for their setting in terms of scale, design, orientation and finishing materials.
- 3.28 In order to ensure that the dwellings remain within the parameters of affordable dwellings in terms of size, permitted development rights should be removed. Consequently, if permission is granted for this development it is proposed to attach a condition to any such decision notice as may be issued which removes the right of future home owners to alter or extend the dwelling without first applying to this Authority for permission. The imposition of this condition does not necessarily prevent the dwelling being extended but will provide this Authority the opportunity to control any alteration or extension and ensure that it is justified and the dwelling remains affordable. Further guidance on this is contained in Supplementary Planning Guidance note 4: Affordable Housing.

Landscaping and Biodiversity Enhancement

- 3.29 The applicants have indicated that they propose to a scheme of landscaping in terms of tree planting but have not as yet shown this in detail in plan form. A condition is proposed, should permission be granted, for the applicants to submit a detailed landscaping plan, prior to any development commencing, to show how boundaries will be treated and provide for Biodiversity Enhancement. This should also address any concerns over boundary treatments raised by neighbouring residents.

4. **Conclusions**

- 4.1 There is no doubt that this application presents a fine balance between the protection of Historic Assets and the provision of an appropriately located, designed and finished affordable/local occupancy dwelling.
- 4.2 It has been shown that this proposal is in conformity with ELDP policies C and G in that it is located within a housing development boundary and can be regarded as a infill plot which does not harm the amenity existing dwellings and forms only a very small part of the overall conservation area.
- 4.3 Any recorded harm to the Historic Assets can be mitigated against through appropriate landscaping and through the provision of an affordable/local occupancy dwelling.
- 4.4 PPW provides the guidance which would permit such an application provided that appropriate mitigation is provided and is desirable on the grounds of public interest gain.

- 4.5 It is therefore considered that this application can be approved and that it does conform to ELDP policies C, G 1, 6 and 8 and does reflect the guidance presented in PPW.

Background Papers in Document Bundle No.1: Yes

RECOMMENDATION: To **GRANT** permission subject to a **Section 106 Agreement** to secure affordability and restrict occupancy of one of the dwellings and to the following conditions:

1. The development hereby permitted shall be commenced before the expiration of FIVE years from the date of this decision.
2. The development hereby permitted shall be carried out in accordance with the following approved plans:
JP/CFA-PE-PL200: Proposed Site Plan
JP/CFA-PE-PL01: Proposed Floor Plans
JP/CFA-PE-PL02: Proposed Elevations
3. Notwithstanding the provision of the Town and Country Planning (General Permitted Development) Order 1995 (as amended by the Town and Country Planning (General Permitted Development) (Amendment) (Wales) Order 2013 (or any Order revoking or re-enacting or amending that Order with or without modification) nothing shall operate so as to permit (within the area subject to this permission) any development referred to in the Parts and Classes of Schedule 2 to the Order, summarised below:
PART 1: DEVELOPMENT WITHIN THE CURTILAGE OF A DWELLINGHOUSE
Class A: The enlargement, improvement or other alteration of a dwellinghouse.
Class B: The enlargement of a dwellinghouse consisting of an addition or alteration to its roof.
Class C: Any other alteration to the roof of a dwellinghouse.
Class D: The erection or construction of a porch outside any external door of a dwellinghouse.
Class E: The provision within the curtilage of the dwellinghouse, of any building or enclosure, raised platform, swimming or other pool required for a purpose incidental to the enjoyment of the dwellinghouse as such, or the maintenance, improvement or other alteration of such a building, enclosure, platform or pool; or a container used for domestic heating purposes for the storage of oil or liquid petroleum gas.
Class F: The provision within the curtilage of a dwellinghouse of a hard surface for any purpose incidental to the enjoyment of the dwellinghouse as such; or the replacement in whole or in part of such a surface.
Class G: The installation, alteration or replacement of a chimney on a dwellinghouse

PART 2: MINOR OPERATIONS

Class A: Gates, fences, walls and other means of enclosures.

Class B: The formation, laying out and construction of a means of access to a highway which is not a trunk road or a classified road, where that access is required in connection with development permitted by any Class in this Schedule (other than by Class A of this Part).

PART 40: INSTALLATION OF DOMESTIC MICROGENERATION EQUIPMENT

No such developments shall be carried out at any time within these Parts and Classes without the express grant of permission by the Local Planning Authority.

4. The roof of the dwellinghouses shall be covered with heather blue slates from the Bethesda area, or slates with equivalent colour, texture and weathering characteristics details of which shall be approved in writing by the Local Planning Authority.
5. No development or site clearance shall take place until there has been submitted to and approved by the local planning authority a scheme of landscaping by means of a formal application. The scheme shall include indications of all existing trees (including spread and species) and hedgerows on the land, identify those to be retained and set out measures for their protection throughout the course of development.
6. All planting, seeding or turfing comprised in the approved details of landscaping shall be carried out in the first planting and seeding seasons following the occupation of the buildings or the completion of the development, whichever is sooner; and any trees or plants which within the period of 5 years from the completion of the development die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species.
7. The developer shall afford access at all reasonable times to any archaeologist nominated by the local planning authority, and shall allow him/her to observe the excavations and record items of interest and finds.
8. The car parking accommodation shall be completed in full accordance with the details as submitted before the dwellings are occupied.

Reason(s) for Condition(s):

1. To Comply with Section 91 (as amended) of the Town and Country Planning Act 1990.
2. To define the permission and for the avoidance of doubt.
3. The local planning authority considers that such development should be subject to formal control in order to safeguard the amenities of the area.
4. To ensure a satisfactory standard of appearance of the development and the use of appropriate local building materials, in accordance with Eryri Local Development Plan Policies 2016-2031 and in particular policies 1, 6 and A.

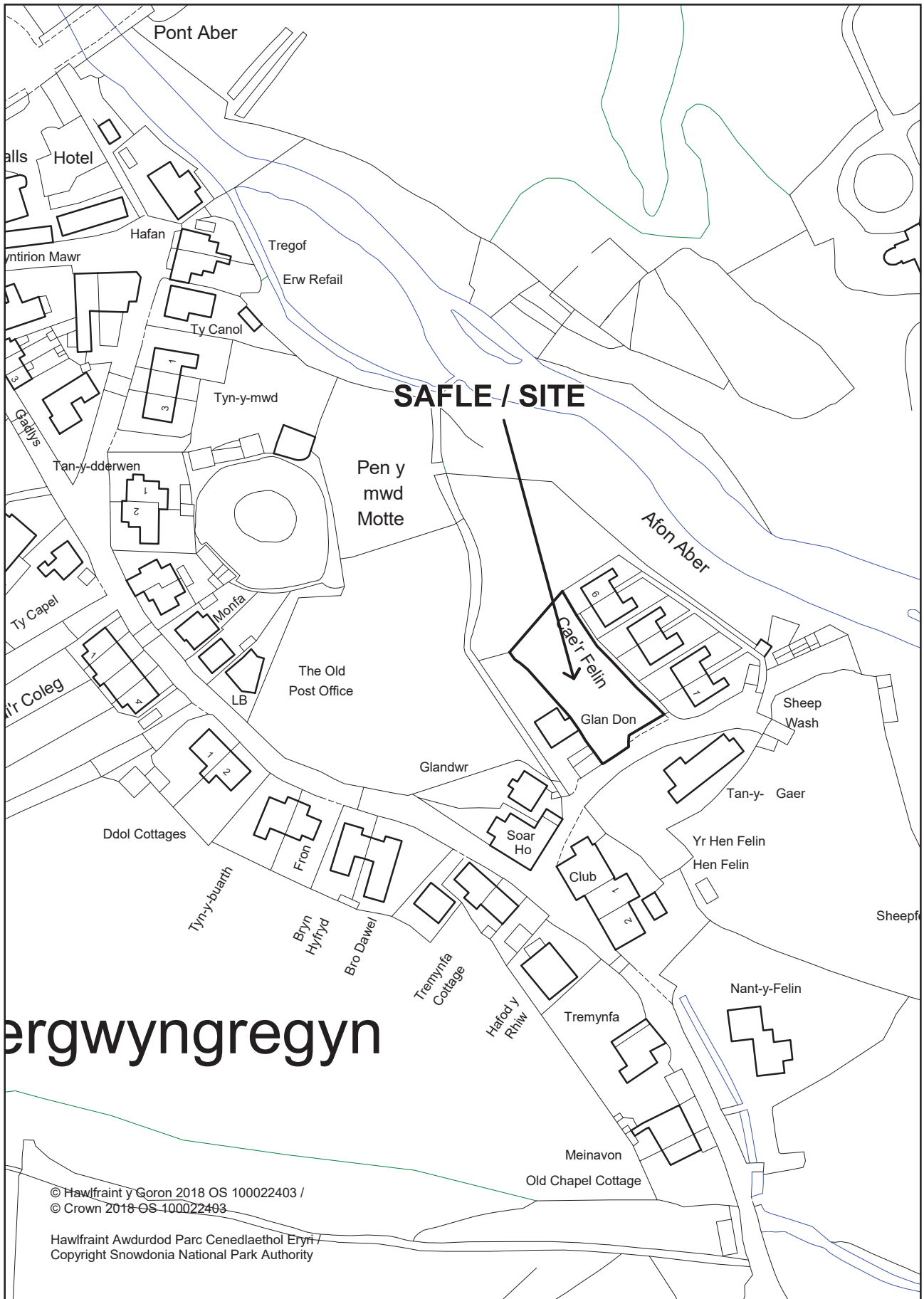
5. To preserve and enhance the visual amenities of the area, in accordance with Eryri Local Development Plan Policies 2016-2031 and in particular Policy 1.
6. To preserve and enhance the visual amenities of the area, in accordance with Eryri Local Development Plan Policies 2016-2031 and in particular Policy 1.
7. In order that any remains of archaeological importance can be adequately investigated and recorded before any development takes place on site.
8. In the interest of the free flow of traffic on the adjacent highway and to prevent any on street parking.

ADVISORY NOTE

1. FLOOD AND WATER MANAGEMENT ACT (FWMA) 2010
THE SUSTAINABLE DRAINAGE (APPROVAL AND ADOPTION
PROCEDURE)(WALES) REGULATIONS 2018
Following the introduction of the above legislation on 7th January 2019, sustainable drainage systems have become a mandatory requirement on new development of more than 1 dwelling house or where the construction area is 100m² or more. It is considered that this development, as it appears, exceeds the above identified threshold and may require Sustainable Drainage Systems (SuDS) consent from the relevant Sustainable Drainage Systems Approval Body (SAB). Consequently, you are advised to contact the relevant Sustainable Drainage Systems Approval Body (SAB) at Gwynedd Council at <https://www.gwynedd.llyw.cymru/en/Residents/Planning-and-building-control/Planning/Sustainable-Drainage-Systems.aspx> for advice and guidance on this matter.
PLEASE NOTE: If SUDS consent is required this will need approval from the SAB prior to the commencement of any works on site.



Cais Rhif / Application No. NP3/10/121



© Hawlfraint y Goron 2018 OS 100022403 /
© Crown 2018 OS 100022493

Hawlfraint Awdurdod Parc Cenedlaethol Eryri /
Copyright Snowdonia National Park Authority



Legend

Symbol	Description
[Line]	Boundary
[Line]	Wall
[Symbol]	Spot Height
[Symbol]	Line Level
[Symbol]	Bearing
[Symbol]	Building Footprint
[Symbol]	Overhead Cable
[Symbol]	Overhead Power Line
[Symbol]	Water
[Symbol]	Drainage
[Symbol]	Survey Station
[Symbol]	Reference Point
[Symbol]	North Arrow

Scale 1:500

Symbol	Description
[Line]	Boundary
[Line]	Wall
[Symbol]	Spot Height
[Symbol]	Line Level
[Symbol]	Bearing
[Symbol]	Building Footprint
[Symbol]	Overhead Cable
[Symbol]	Overhead Power Line
[Symbol]	Water
[Symbol]	Drainage
[Symbol]	Survey Station
[Symbol]	Reference Point
[Symbol]	North Arrow

Scale 1:1000

Symbol	Description
[Line]	Boundary
[Line]	Wall
[Symbol]	Spot Height
[Symbol]	Line Level
[Symbol]	Bearing
[Symbol]	Building Footprint
[Symbol]	Overhead Cable
[Symbol]	Overhead Power Line
[Symbol]	Water
[Symbol]	Drainage
[Symbol]	Survey Station
[Symbol]	Reference Point
[Symbol]	North Arrow

Scale 1:2000

Symbol	Description
[Line]	Boundary
[Line]	Wall
[Symbol]	Spot Height
[Symbol]	Line Level
[Symbol]	Bearing
[Symbol]	Building Footprint
[Symbol]	Overhead Cable
[Symbol]	Overhead Power Line
[Symbol]	Water
[Symbol]	Drainage
[Symbol]	Survey Station
[Symbol]	Reference Point
[Symbol]	North Arrow

Title: TOPOGRAPHIC SURVEY LAND AT CAER FELIN ABERGWYNGREGYN GWYNEDD

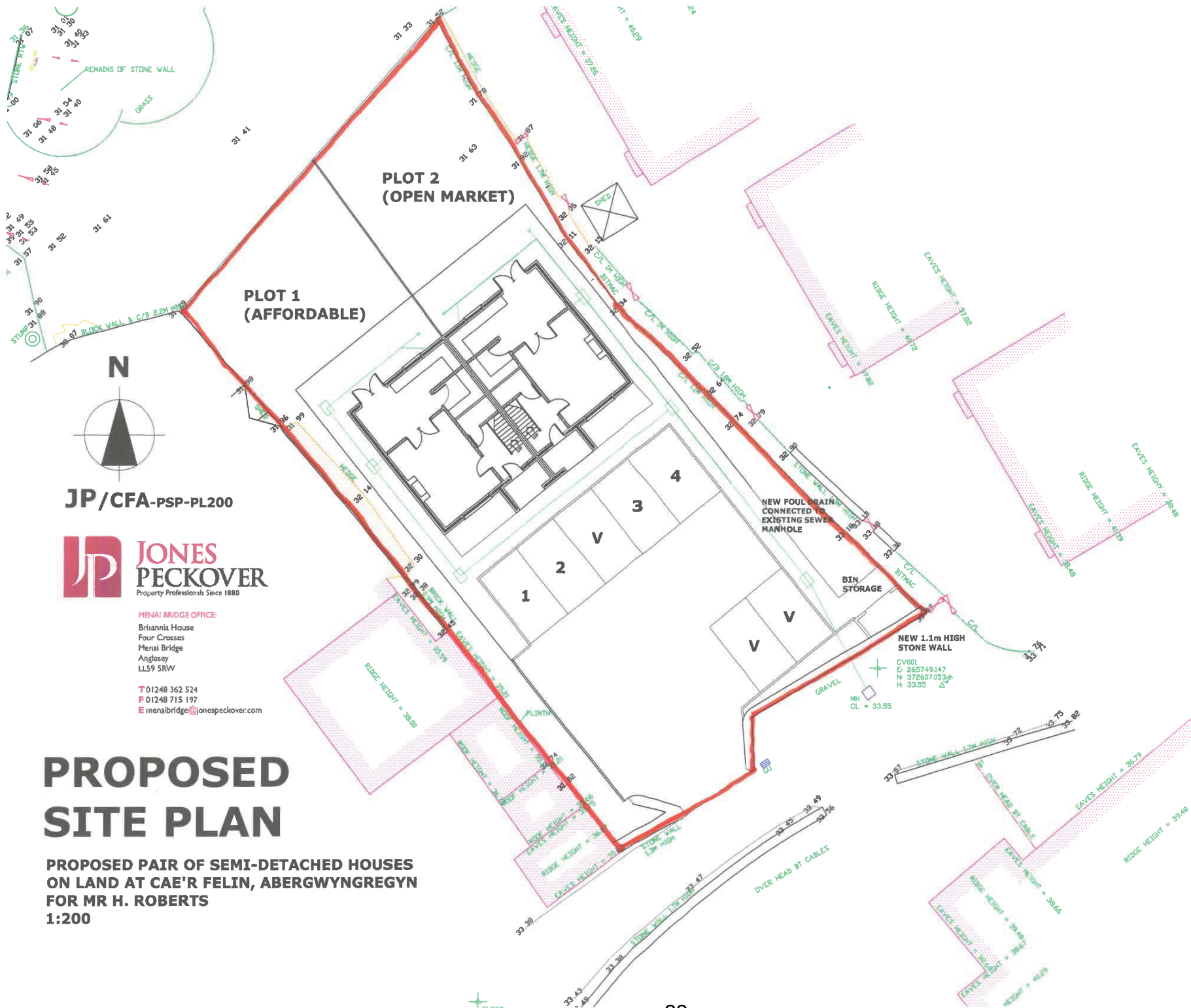
Client: Mr H. Roberts
1 Tŷr Ddwl
Rhydyclafdy
Pwllheli

- 1. Obtain & verify all planning consent
- 2. Perform topographic survey using GPS
- 3. Prepare site plan & drawings
- 4. Supply documents to client

Scale: 1:200 1:500 1:1000 1:2000

Surveyed & prepared by

 Curvature Limited is a surveying and mapping company.
 Registered Office: 10, Chapel Street, Llandudno, Gwynedd, LL30 2AN
 www.curvature.co.uk



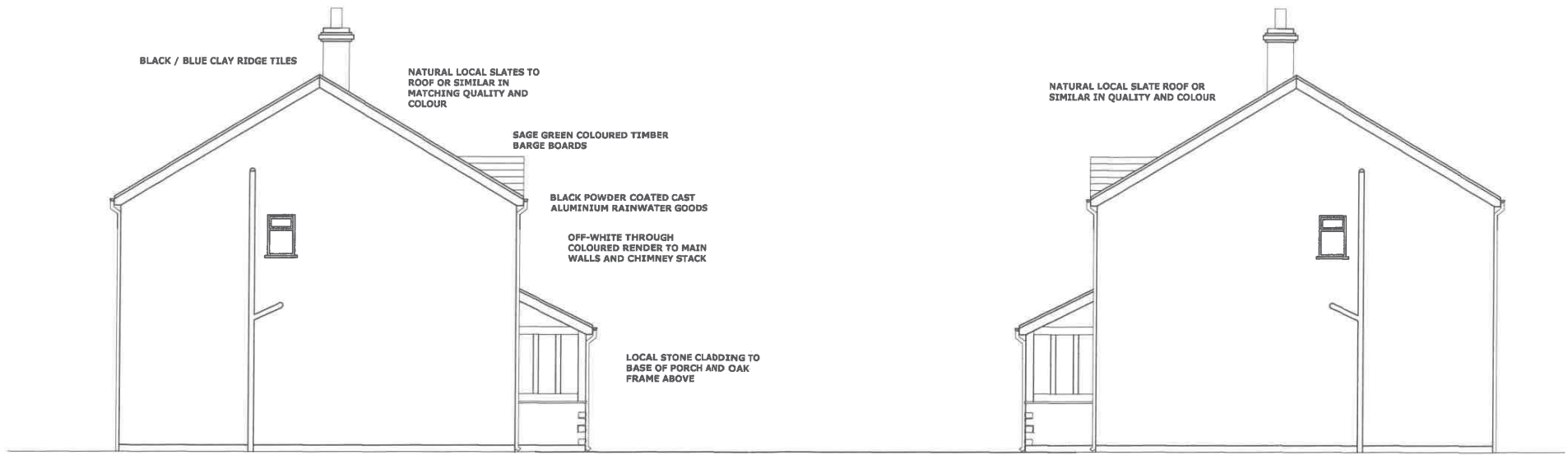
JP/CFA-PSP-PL200



MENAI BRIDGE OFFICE:
 Britannia House
 Four Crosses
 Menai Bridge
 Anglesey
 LL59 5RW
 T 01248 362 524
 F 01248 715 197
 E menaibrIDGE@jonespeckover.com

PROPOSED SITE PLAN

PROPOSED PAIR OF SEMI-DETACHED HOUSES ON LAND AT CAE'R FELIN, ABERGWYNGREGYN FOR MR H. ROBERTS 1:200

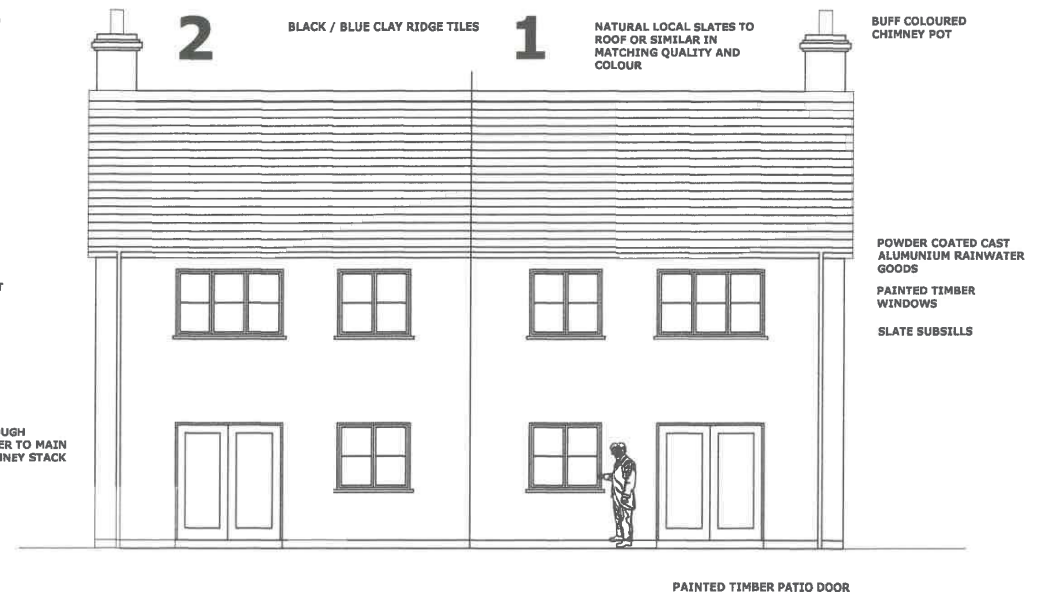


PROPOSED END (SOUTH WEST) ELEVATION

PROPOSED END (NORTH EAST) ELEVATION



PROPOSED FRONT (SOUTH EAST) ELEVATION



PROPOSED REAR (NORTH WEST) ELEVATION

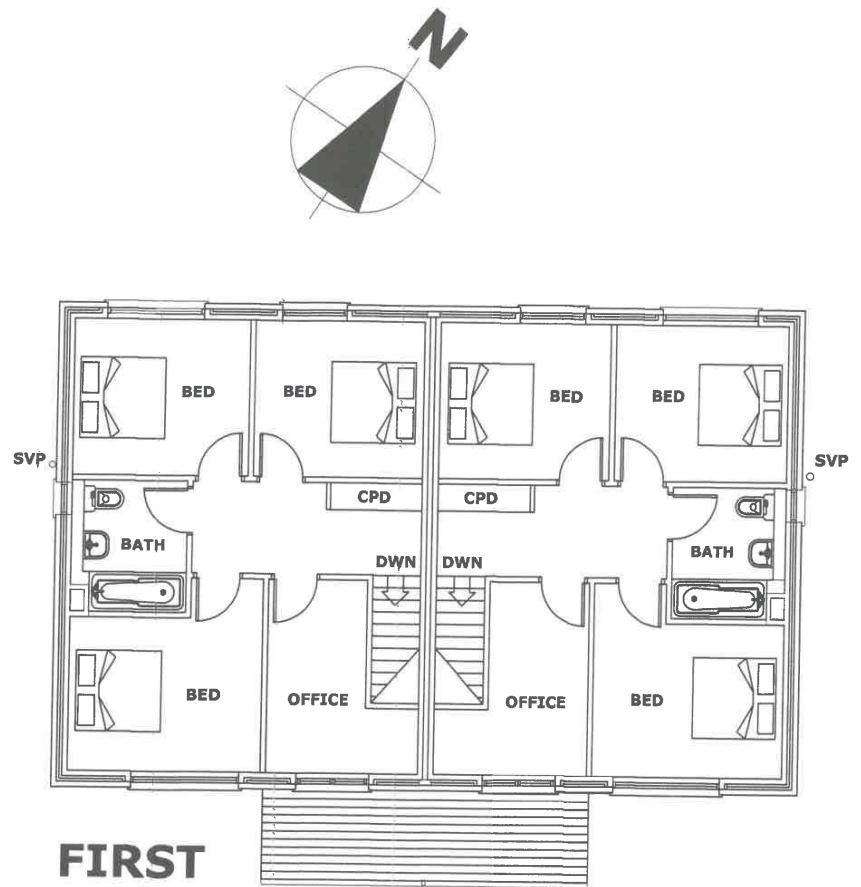
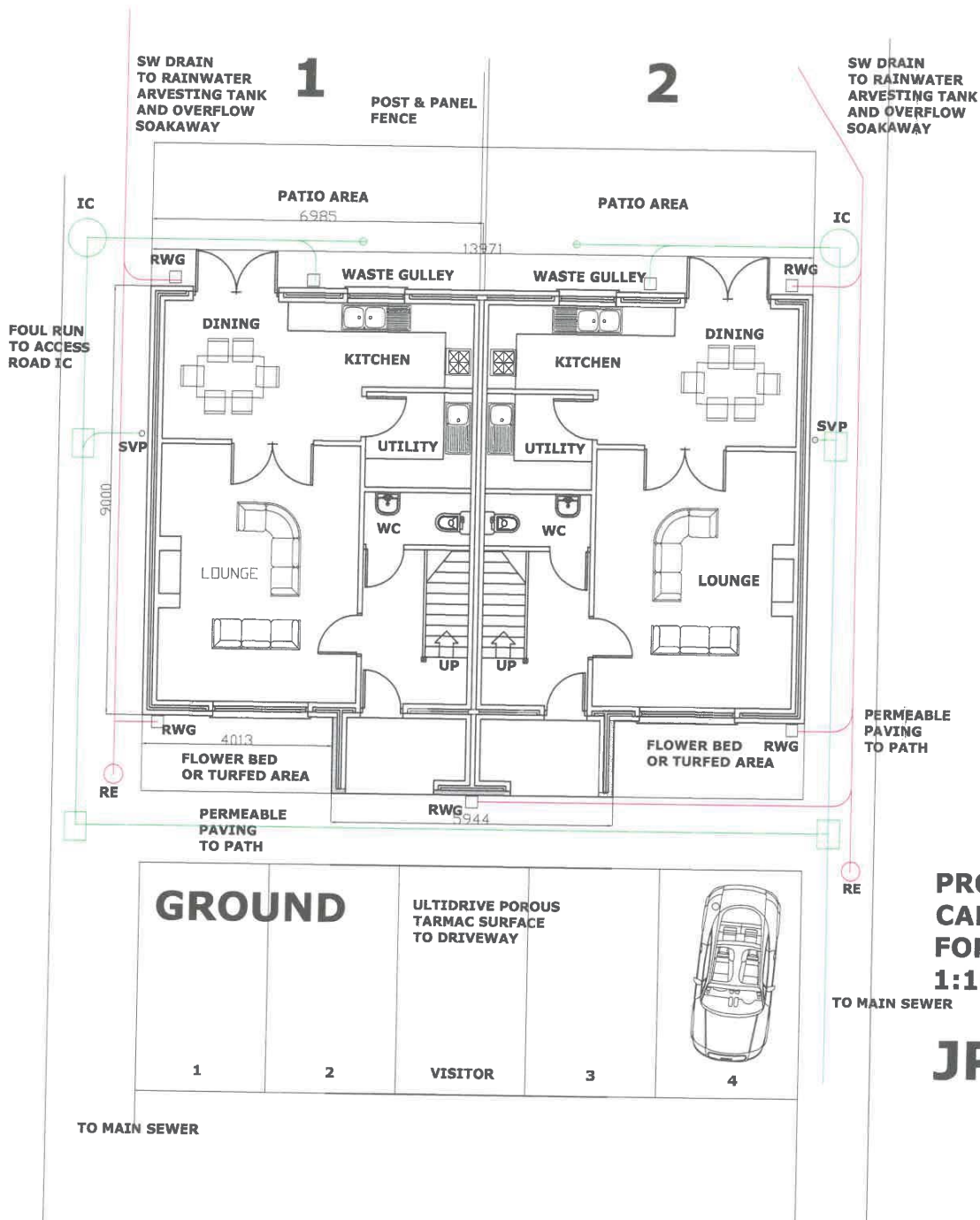
JP/CFA-PE-PL02



MENAI BRIDGE OFFICE:
 Britannia House
 Four Crosses
 Menai Bridge
 Anglesey
 LL59 5RW

T 01248 362 524
F 01248 715 197
E menaibridge@jonespeckover.com

PROPOSED 3 BED SEMI-DETACHED HOUSES ON LAND AT CAE'R FELIN, ABERGWYNGREGYN FOR MR H ROBERTS 1:100



FIRST

**PROPOSED 3 BED SEMI-DETACHED HOUSES ON LAND AT
CAE'R FELIN, ABERGWYNGREGYN
FOR MR H ROBERTS
1:100**

TO MAIN SEWER

JP/CFA-PFP-PL01



MENA I BRIDGE OFFICE:

Britannia House
Four Crosses
Menai Bridge
Anglesey
LL59 5RW

T 01248 362 524
F 01248 715 197
E menaibrIDGE@jonespeckover.com

<u>Rhif Eitem / Item No.</u>	<u>Cyfeirnod / Reference No.</u>	<u>Disgrifiad / Description.</u>	<u>Swyddog Achos / Case Officer</u>
1	NP5/65/29E	Estyniad i adeilad amaethyddol presennol, Fferm Bryn Melyn, Llanelltyd / Extension to existing agricultural building, Bryn Melyn Farm, Llanelltyd.	Mrs Sara D. Thomas
2	NP5/65/352B	Gosod 3 pod campio ar gyfer defnydd gwyliau tymor byr ynghyd a gwaith cysylltiedig, Dwynant, Bontddu / Siting of 3 camping pods for short term holiday use and associated works, Dwynant, Bontddu.	Mrs Sara D. Thomas
3	NP5/78/LB66M	Gosod tanc 4600L Nwy Hylif Petrocemigyn (LPG) tanddaerol i'r De a rhwng y Ty-bach a'r adeilad pwrpasol i'r offer system wresogi presennol, yr holl gysylltiadau tanddaerol ar y drychiad Dwyreriniol, gwaith cloddio ar gyfer llwyfan gwastad i gynnal Ciwb boiler 2 x 100kw LPG pwrpasol sydd iddo 2 x fflw. Adeiladu wal o waith cerrig ar gyfer lleiniaru'r effaith weledol, Yr Ysgwrn, Trawsfynydd / Installation of a 4600L LPG tank underground to the South and between the Ty-bach and the existing attached purpose built plant housing heating system, all underground and associated connections on the East elevation, excavation for a level platform to support 2 x 100kw LPG purpose made Boiler Cube with 2 x protruding flues. A stone wall to be constructed to screen off the visual impact, Yr Ysgwrn, Trawsfynydd.	Mr Arwel Ll. Thomas

4	NP5/78/LB66N	<p>Caniatad Adeilad Rhestredig i osod tanc 4600L Nwy Hylif Petrocemigyn (LPG) tanddaerol o fewn cwrtil Yr Ysgwrn i'w leoli i'r De o'r ffermdy a rhwng y Ty-bach a'r adeilad pwrpasol ar gyfer offer system wresogi presennol, holl gysylltiadau tanddaearol i'r system rheoli ger y drychiad Dwyreriniol yn y cefn, gwaith cloddio i greu tir gwastad i gynnal 2 x Ciwb boiler 100kw LPG pwrpasol sydd iddo, 2 x fflw yn ymwithio uwch na'r bondo i'r awyr agored. Adeiladu wal o waith cerrig ar gyfer lleiniaru'r effaith weledol, Yr Ysgwrn, Trawsfynydd / Listed Building</p> <p>Consent for the installation of a 4600L LPG tank underground within the curtilage of Yr Ysgwrn located to the South of the farmhouse between Ty-bach and the existing attached purpose built plant housing the present heating system, all underground and associated connections to the management system on the East Elevation to the rear and excavation to form a level platform to support 2 x 100kw LPG purpose made Boiler Cube with 2 x protruding flues above eaves level into open air. A stone wall to be constructed to screen off the visual impact, Yr Ysgwrn, Trawsfynydd.</p>	Mr Arwel Ll. Thomas
---	--------------	--	---------------------

Snowdonia National Park Authority Date: 20/01/2021
– Planning & Access Committee

Application Number: NP5/65/29E

Date Application Registered: 19/10/20

Community: Llanelltyd

Grid Reference: 269063 319113

Case Officer: Mrs. Sara Thomas

Location:

Bryn Melyn Farm, Llanelltyd.

Applicant:

Mr. Gethin Williams
 Dwynant
 Bontddu
 Dolgellau
 Gwynedd
 LL40 2UR

Description:

Extension to existing agricultural building.

Summary of the Recommendation:

To **APPROVE** subject to conditions.

**Reason(s) Application Reported to Committee:
 Scheme of Delegation**

Applicant is an Authority member.

Environmental Impact Assessment (EIA):

The development has been subject to a screening opinion which concluded that the development is not EIA development.

Land Designations / Constraints:

Open countryside
 Within C2 flood risk zone

Site Description:

The site forms part of an existing complex of both modern and traditional agricultural buildings located immediately east of the intersection between the A496 and the access to Penmaenpool bridge.

Due to its proximity to the Afon Mawddach the site sits on relatively low lying ground which is shown as being within flood risk zone C2.

The site is not subject to any other statutory designation.

Proposed Development:

The proposed development involves the construction of an extension to one of the existing agricultural buildings to provide additional storage for farm machinery.

The plans submitted show the extension being built on the section of the farmyard between the rear wall of the largest building on site and the boundary with the A496.

The shed is shown having a floor area of 137m² and a mono-pitched roof connected to the roof of the adjoining building. It's proposed to clad the roof and the eastern facing gable of the building in slate blue metal profile cladding with the other elevations having open bays.

Relevant Planning Policies:

Eryri Local Development Plan 2016-2031

- SP A: National Park Purposes and sustainable Development
- SPC: Spatial Development Strategy
- DP 1: General Development Principles
- DP 2: Development and the Landscape
- DP6: Sustainable design and Materials
- SPD: Natural Environment

Consultations:

Community Council	Support
Highways Authority	No objection, however concerns raised should planting be proposed adjacent to the highway and its effect on visibility.
Natural Resources Wales	Concerns raised, limited Flood Consequence Assessment and landscaping plan requested.
SNPA ecology	No objection
SNPA Agriculture	No objection, cladding and roof should be finished in appropriately coloured sheeting.
Cyngor Gwynedd –SAB	No observations
Third parties	No comments received

Response to Publicity:

The application has been publicised by way of site notice and no observations have been received.

1 Assessment:

Principle of Development

- 1.1 Based on the context of Strategic Policy C and Development Policy 1, it is considered that the principle of the construction of an extension to an existing agricultural building on this site is acceptable. This will be considered in further detail in the assessment below.

Planning Assessment

Site context, design and justification

- 1.2 The proposed development is located within an existing farmyard setting and involves the construction of an additional building within the yard to be used to store the applicant's agricultural machinery.
- 1.3 The applicants farm a total of 700 acres between this site and the main land holding at Dwynant farm located some 2.5km to the north west of this site. Based on the information provided the construction of the building can be justified.
- 1.4 In terms of its siting within an existing farmyard, its scale and form is considered compatible with the capacity and character of the site. The roof of the building would be lower than the adjoining building and the materials proposed will match the existing buildings on the site. A condition will be imposed to secure the coloured finish of the metal profiled sheet cladding.

Landscape and visual impact

- 1.5 Natural Resources Wales (NRW) have noted in their comments the need for additional planting to screen the site from the A496.
- 1.6 However, taking into consideration the scale of the building and its backdrop when viewed from the highway it's considered that the development would not be unduly prominent or change the appearance of the site to any great extent.
- 1.7 Furthermore, Gwynedd Council Highways officers have been contacted in relation to planting along the boundary with the highway. They have raised concerns in terms of the potential impact planting could have on the visibility from the farm access and to a lesser extent the turning from the toll bridge looking in an easterly direction towards Llanelltyd.
- 1.8 Therefore, officers have concluded that in this instance a landscaping scheme will not be required.

Flooding

- 1.9 Due to the site being located within C2 flood risk zone, which is defined as areas of the floodplain without significant flood defence infrastructure, NRW have requested a limited flood consequence assessment (LFCA) be submitted.
- 1.10 A LFCA was subsequently submitted and sent on to NRW for consideration. NRW conclude in their response dated 18th December, that given the nature and scale of the proposal, they are satisfied with the contents of the LFCA and that no additional information will be required in relation to flood risk.

Ecology

- 1.11 The Authority's ecologist has concluded that the design and condition of the existing building has no appreciable potential to support either roosting bats or nesting birds and therefore the requirement for an ecological survey was waived.
- 1.12 Similarly, the proposed development poses no credible risk to the qualifying features of the nearby European sites and there will be no need for a Habitats Regulations Assessment.
- 1.13 In relation to biodiversity enhancement due to the modest scale of this proposal the Authority's ecologist is of the view that no suitable measures could be designed that could make a meaningful enhancement proportionate to its scale and impact and therefore satisfied that this can be waived in this instance.

Conclusions

- 1.14 Taking the above into consideration, it is concluded that the proposal can be acceptable and conform with the policies set out in the ELDP.

Background Papers in Document Bundle No.1: Yes

RECOMMENDATION: To approve the application subject to the following conditions -

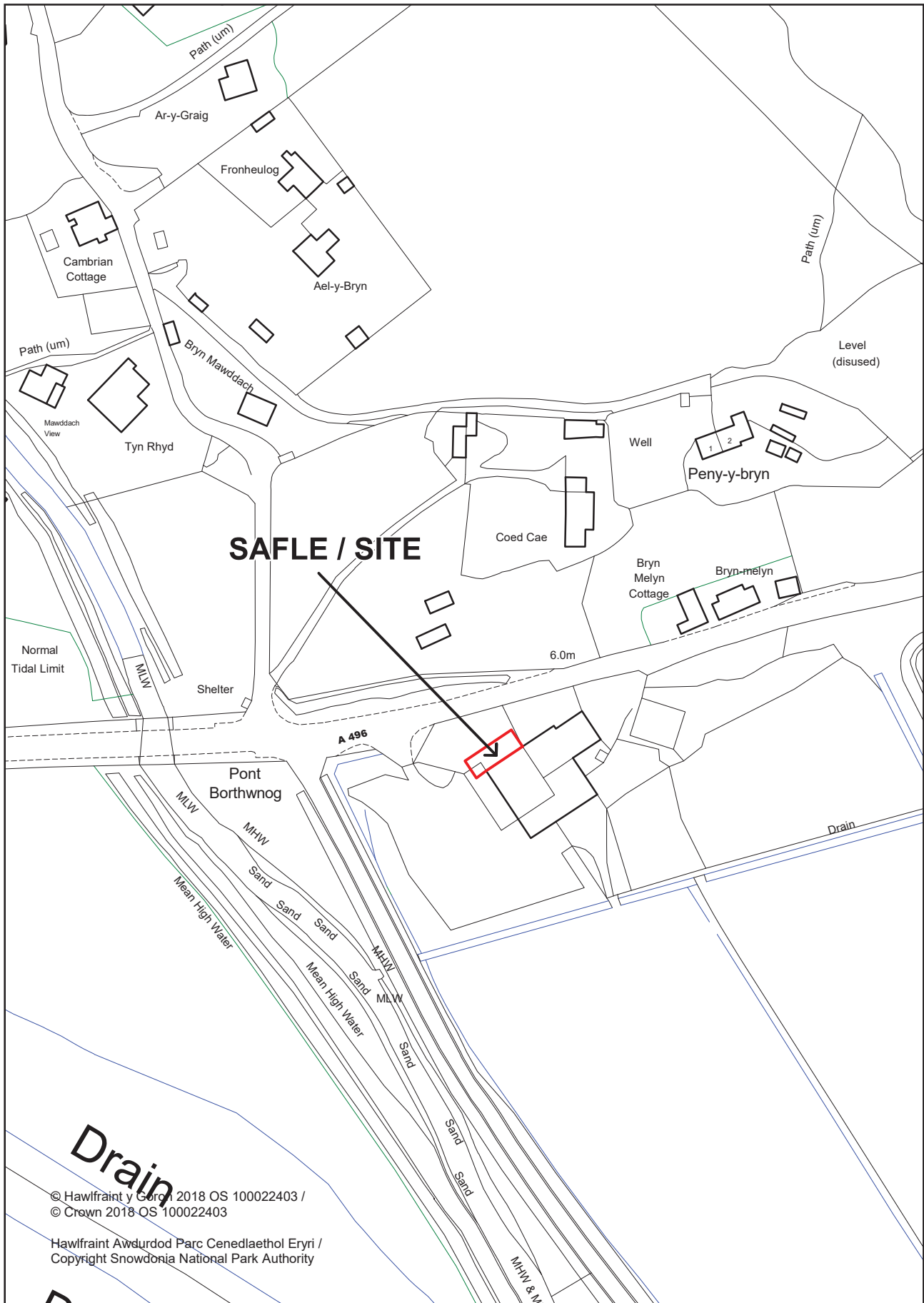
1. The development hereby permitted shall be commenced before the expiration of FIVE years from the date of this decision.
2. The development hereby permitted shall be carried out in accordance with the following approved plans:
Site location plan received 02.10.20
Elevations GT001
3. The roofing sheets and wall cladding for the east elevation of the new building hereby approved shall be finished in slate grey BS18B29 colour box profile steel sheeting and retained as such.

Reason(s):

1. To Comply with Section 91 (as amended) of the Town and Country Planning Act 1990.
2. To define the permission and for the avoidance of doubt.
3. To ensure a satisfactory standard of appearance of the development and the use of appropriate local building materials, in accordance with Eryri Local Development Plan Policies 2016-2031 and in particular policies 1, 6 and A.



Cais Rhif / Application No. NP5/65/29E

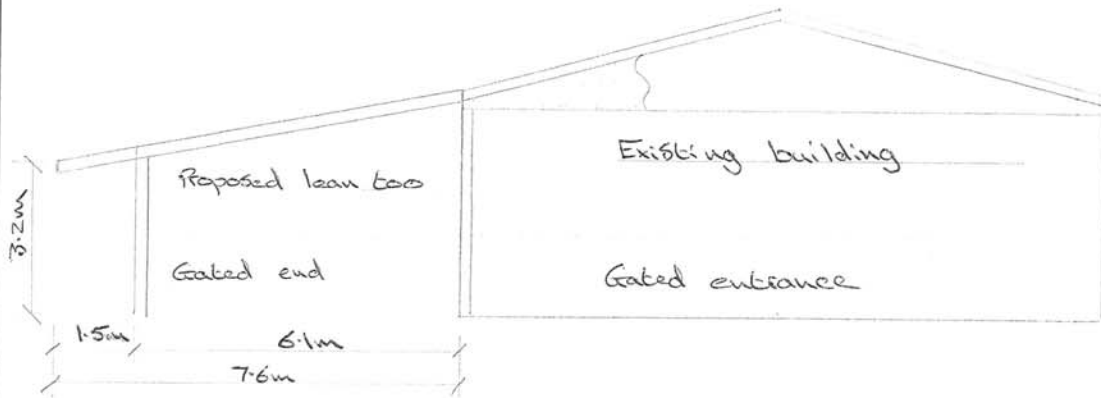


© Hawlfraint y Goron 2018 OS 100022403 /
© Crown 2018 OS 100022403

Hawlfraint Awdurdod Parc Cenedlaethol Eryri /
Copyright Snowdonia National Park Authority

SWYDDFA PARC CENEDLAETHOL
 - 2 OCT 2020
 NATIONAL PARK OFFICE
 REF _____ ACK _____

West Elevation



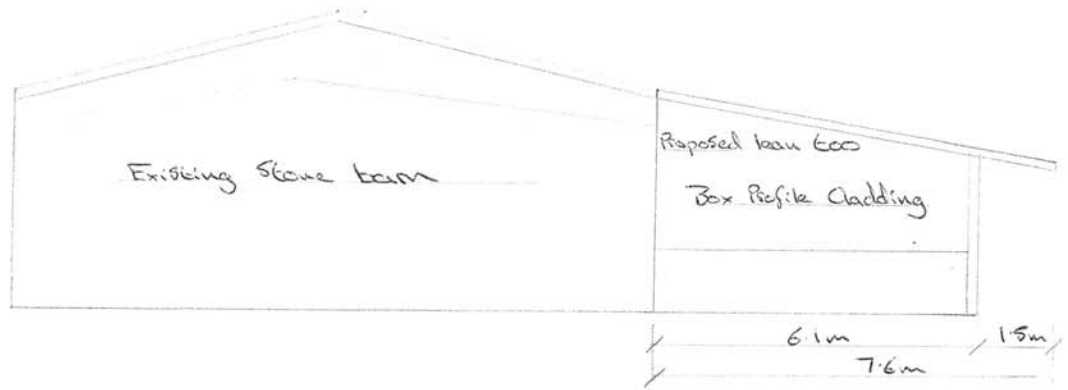
North Elevation



Plan View - 1-300



East elevation



Project: Agri building	Client: GT Williams	
Drawing Title: Elevation	Drawing No: GT001	
Location: Bryn Melyn Farm LL40 2TD	Scale: 1-100	Paper: A3
	Date: 2/9/2020	Drawn by: WR



The Workshop, Llwyn yr Helm, Brithdir, Dolgellau, LL4025A
 E-mail: wyn@rowlandsfabrication.co.uk
 Mob: 07814930139 Office: 01341450680

Snowdonia National Park Authority Date: 20/012021
– Planning & Access Committee

Application Number: NP5/65/352B

Date Application Registered: 23/09/20

Community: Llaneltyd

Grid Reference: 266810 319884

Case Officer: Mrs. Sara Thomas

Location:
Dwynant, Bontddu.

Applicant:

Mr. & Mrs. G. Williams
 Richmond House
 High Street
 Barmouth
 Gwynedd
 LL42 1DW

Description:

Siting of 3 camping pods for short term holiday use and associated works.

Summary of the Recommendation:

To **APPROVE** subject to conditions.

**Reason(s) Application Reported to Committee:
 Scheme of Delegation**

Applicant is an Authority member.

Environmental Impact Assessment (EIA):

The development has been subject to a screening opinion which concluded that the development is not EIA development.

Land Designations / Constraints:

Open countryside
 Public Right of Way (footpath) nearby

Site Description:

The site is located at Dwyntant, a working hill farm which lies approximately 1km to the north of the settlement of Bontddu. It is accessed via a narrow country lane from the centre of Bontddu from the A496.

Dwynant farmhouse is located approximately 100m from the minor road, and the proposed development site lies to the rear of the farmhouse within an agricultural field of improved grassland.

The site is bounded by agricultural land with the Afon Cwm Llechen being located approximately 30m to the south east of the site.

As a result of its proximity to the river it does lie adjacent to an area identified as being within C2 flood risk, which is land without significant flood defence infrastructure.

A public right of way (footpath) is located 90m to the south east of the site.

Proposed Development:

Dwynant holding consists of 700 acres in and around the site, with a further 150 acres at Bryn Melyn farm 2.5km to the south east. The farming enterprise breeds 400 ewes annually and 30 pedigree welsh black heifers with this being the farm's main income source.

The proposed development involves the siting of three camping pods on a section of the agricultural field to the rear of Dwyntant farmhouse with parking provided on the existing area of hardstanding within the farmyard.

The timber clad pods would measure 3.2m x 6m with a height of 2.75m. Internally the pod would consist of an open plan living/ sleeping area and a shower room/ toilet.

Due to the slope of the land a small amount of cut and fill will be required to provide a level site for the pods. Following ground levelling its proposed to surface the area with slate chippings. No formal foundation is proposed however, there will be a connection to an existing septic tank which is located at the south western corner of the field.

Parking for up to 5 cars is proposed on an existing hardstanding to the rear of the farmhouse which sits adjacent to the existing field access. Occupiers of the pods will be required to walk from this area approximately 80m over the field to the pods.

It is proposed to plant new hedges of native provenance around the pods providing a formal but natural boundary between the units. In addition, its proposed to plant orchard trees around the pods to include a mixture of native apple, pear and plum trees.

The existing hedge on the north eastern boundary of the field is proposed to be strengthened with additional planting as specified on the proposed site plan.

The site plan states that there will be no external lights to the proposal to respect the dark sky designation.

Dwynant farmhouse and the adjacent dwelling Ty-glan-afon form part of the enterprise and are currently rented out as holiday accommodation. It is proposed in the near future that these two dwellings will become homes for the applicant's children as they take on more responsibilities on the farm. The income from the pods enterprise is proposed to offset the loss in income from renting out these properties.

Relevant Planning Policies:

Eryri Local Development Plan 2016-2031

- SP A: National Park Purposes and sustainable Development
- SP I: Tourism
- DP 1: General Development Principles
- DP 2: Development and the Landscape
- DP 20: Agricultural Diversification
- DP 29: Alternative Holiday Accommodation
- SPD: Natural Environment
- SPH: Sustainable Rural Economy
- DP:18: The Welsh Language and the Social and Cultural Fabric of Communities

Supplementary Planning Guidance

- SPG 7: Landscapes and Seascapes of Eryri
- SPG 13: Landscape Sensitivity and Capacity Assessment
- SPG 8: Visitor Accommodation
- SPG 14: Obtrusive lighting

National Planning Policy

- Planning Policy Wales (Ed 10) 2018

Consultations:

Community Council	Support
Highways Authority	No objection
Natural Resources Wales	No objection, advice provided
Cyngor Gwynedd - Environmental Health	No objections, advice provided
SNPA ecology	No objection, advice provided
SNPA Trees and woodlands	No objection
SNPA Agriculture	Appears to be a clear proposal to diversify and bring in additional income stream which conforms to policy guidelines.
Cyngor Gwynedd –SAB	No observations
North Wales Fire and Rescue	Observations received, no objections raised.
Cyngor Gwynedd Caravan Site Licencing	No observations as site would not require licence.
Third parties	No comments received

Response to Publicity:

The application has been publicised by way of neighbour notification letters and no observations have been received in response.

1 Assessment:

Principle of Development

1.1 Development Policy 29 'Alternative Holiday Accommodation' allows proposals for small scale alternative holiday accommodation provided all 5 of the policies criteria are met. This will be considered in further detail in the assessment below and will form the primary basis of this report.

Planning Assessment

1.2 All 5 criteria of Development Policy (DP) 29 must be complied with, and each is addressed in turn below.

DP29, Criteria i:

"The site is part of an agricultural diversification scheme or is ancillary to a new or existing tourist attraction and does not become the main attraction."

- 1.3 This criterion is primarily there to prevent the proliferation of sites, protect the landscape and support existing agricultural businesses. As the proposal must form part of an agricultural diversification scheme, cross reference is necessary to DP 20 'Agricultural Diversification', and therefore the proposal must also comply with this policy criteria.
- 1.4 DP 20 supports agricultural diversification proposals, provided evidence and/or documentation is submitted that demonstrates:
- The proposal is secondary to the use of the remaining land on the holding for livestock or crop production.
 - The scheme takes place on a holding which is registered as an existing agricultural business.
- 1.5 DP 20 also requires that where a new building is required to enable the diversification proposal to be undertaken, the applicant will be required to demonstrate that the re-use of an existing building is not practical.
- 1.6 Where such requirements are satisfied the National Park Authority will use conditions attached to the planning consent or require the applicant to enter into a legal agreement to tie the development to the associated agricultural holding or rural enterprise.
- 1.7 The applicant has provided evidence through the submission of agricultural farm holding numbers and details including annual accounts which demonstrates a healthy income from the annual sale of stock and from the existing visitor accommodation units at Dwynant. There is no proposal to erect any other building to provide ancillary facilities as a part of this proposal.

- 1.8 Therefore, having considered issues referred to above, the proposal can be considered secondary to the use of the remaining land on the holding for livestock or crop production and meet the requirement of Policy DP 20 criteria i - iii.
- 1.9 Criteria iv of DP 20 stipulates that the proposal is of a type and scale which reflects the nature of the diversification proposal. It is considered that pods would satisfy this criterion.
- 1.10 Consequently and in consideration of the above the application meets the requirements of Policy 20 'Agricultural Diversification' – and therefore meets the requirements of the first criteria of Policy 29 'Alternative Holiday Accommodation'.
- DP 29, criterion (ii):**
The proposed development does not cause significant harm to landscape character, fits unobtrusively within the landscape and is well screened by existing landscape features.
- 1.11 Having viewed the site and considered its siting, the proposed location is unobtrusive, is currently well screened and would not have a significant harmful effect on landscape character. In addition, further planting is proposed which would further reduce any visual impact and provide for biodiversity enhancement.
- 1.12 Natural Resources Wales have not raised any landscape concerns in relation to this proposal beyond specific comments on the planting scheme which will be addressed later in this report.
- DP 29, criterion (iii)**
The proposal does not lead to the creation of a new access or parking areas that would adversely affect landscape character.
- 1.13 No new access is proposed with parking being provided on an existing area of hardstanding to the rear of the farmhouse. The access to the pods will be via a footpath along the boundary of the field.
- DP 29, criterion (iv)**
Any ancillary facilities should be located within an existing building or as an extension to existing facilities.
- 1.14 The applicant has demonstrated that there is no convenient existing building in close proximity to the proposed pods to provide shower/toilet facilities. There were initial discussions relating to the use of the building to the rear of the dwelling, However, as this dwelling is soon to be used as accommodation for the applicants son when he returns to work on the farm the applicant has noted that this is no longer an option.

- 1.15 This appears to be the only outbuilding located close to the dwelling and it seems reasonable that this will be required for agricultural purposes should the associated dwelling be occupied by the applicants son. The applicant has also noted that Covid 19 restrictions would make it very difficult, at least in the short term, to manage the risk of operating shared facilities.
- 1.16 The pods are shown with shower/toilet facilities within the proposed pods and which connects to an existing septic tank which is shown to have the sufficient capacity.

Other considerations

Neighbour comments

- 1.17 Given the location and nature of the development there is considered to be no loss of amenity to neighbouring residential properties with the nearest located over 250m away, there would be negligible biodiversity impact and the public highway is adequate to the marginal increase in vehicle movements.

Flooding

- 1.18 While the site is located close to the Afon Cwm Llechen due to land gradient its sits above the floodplain outside the area identified as being in danger of flooding. No concerns in relation to flooding were raised by NRW, the Authority's statutory advisor.

Ecology, Trees and Biodiversity Enhancement

- 1.19 Natural Resources Wales(NRW) and the Authority's ecology and forestry advisors have provided comments in relation to the proposal. Overall they are satisfied that the proposal would not have an adverse impact on local biodiversity. NRW suggested the inclusion of additional hedgerow within the planting scheme which has been incorporated into a revised site plan.
- 1.20 The additional planting proposed around the pods would satisfy the requirement for biodiversity enhancement as required by SP:D and paragraph 6.4.5 of Planning Policy Wales.

Lighting

- 1.21 The site plan states that no external lighting is proposed as part of the scheme. Officers are satisfied that this will protect the dark sky reserve status and potential disturbance to nocturnal wildlife.

Materials

- 1.22 The pods will be of timber construction and the site plan notes that their natural colour will be retained with only the use of transparent preservative when required. This will ensure that the external finish of the pod's is appropriate to its rural context and will aid the visual integration of the structures into the landscape.

2 Conclusions

- 2.1 Overall having carefully considered the proposal, its location and the characteristics of the site it is considered that this scheme satisfies the requirements of Development Policies 2, 29, and 20.
- 2.2 Planting has been included within the proposal which will provide additional screening to the site to aide assimilation into the landscape, and together with the absence of any external lighting will minimise any visual impact.
- 2.3 The additional planting of trees and hedgerows will also make a positive contribution to biodiversity and therefore comply with both Strategic Policy D and paragraph 6.4.5 of Planning Policy Wales.
- 2.4 To secure the use of the pods as short term holiday accommodation units a condition will imposed to limit the occupation of the pods by no more than 28 consecutive days per occupant in any one calendar year as required by Paragraph 6.52 of the ELDP and paragraph 17.19 of SPG :7.
- 2.5 If approved and as required by Paragraph 6.51 of the LDP and Paragraph 17.13 of the SPG, the scheme will require conditions to be attached to the proposal which will state that should the use of the holiday accommodation units cease they will be removed.
- 2.6 By way of ensuring that these proposed pods do remain a part of the farming enterprise as a whole, a condition will be imposed that will tie the pods to the farm business as a whole.

Background Papers in Document Bundle No.1: Yes

RECOMMENDATION: To **APPROVE** the development subject to the following conditions:

1. The development hereby permitted shall be commenced before the expiration of FIVE years from the date of this decision.
2. The development hereby permitted shall be carried out in accordance with the following approved plans:
Cynllun Safle / Site Plan
264/C.B/A/B
264/10B
3. The self catering holiday accommodation hereby approved shall be for short term holiday use only, and no person shall occupy any of the units for a continuous period of more than 28 days in any calendar year.

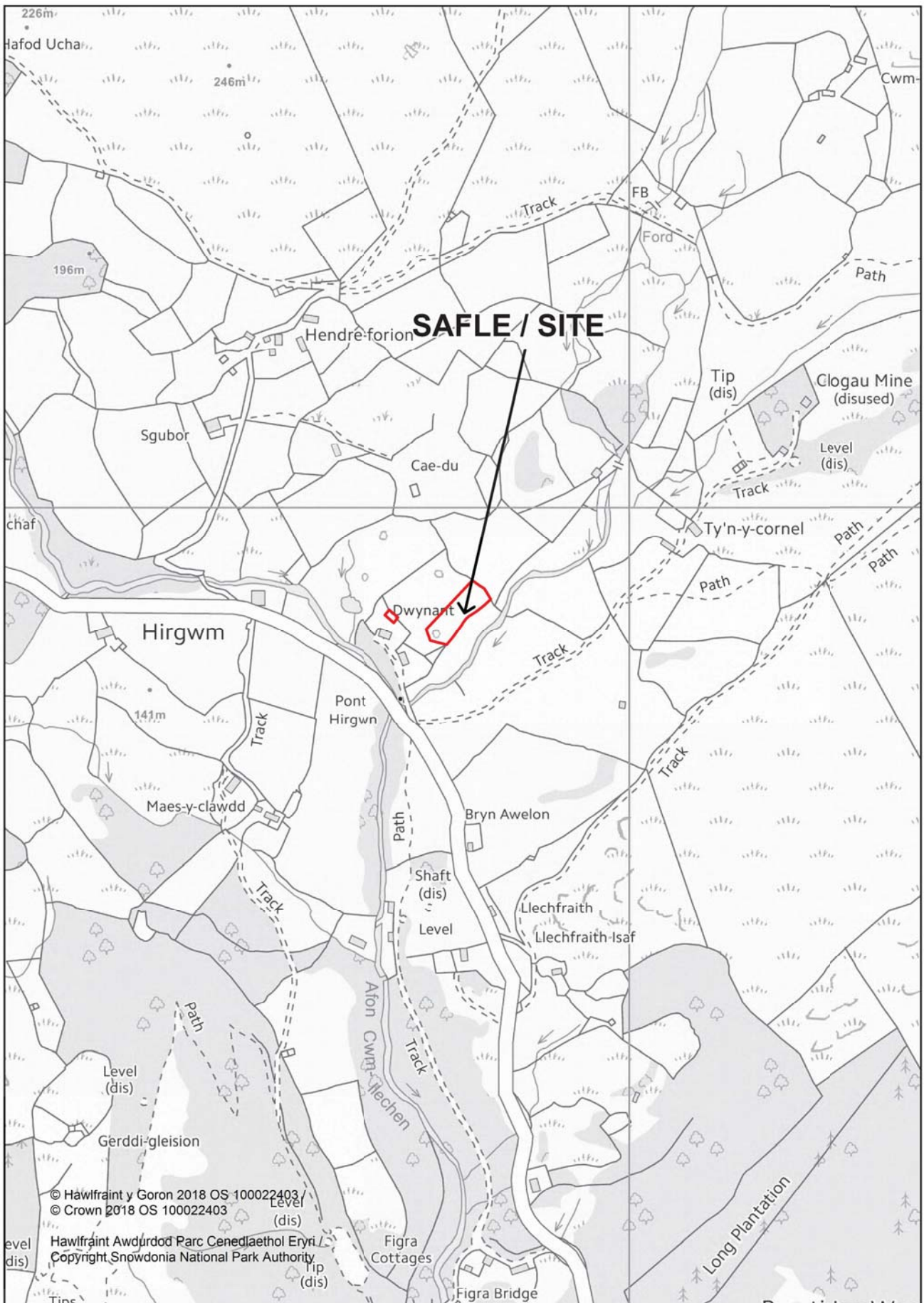
4. All planting comprised in the approved details (drawing 264/C.B/A/B) shall be carried out in the first planting and seeding seasons following the occupation of the holiday accommodation units or the completion of the development, whichever is sooner; and any trees or plants which within the period of 5 years from the completion of the development die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species.
5. The self-catering holiday accommodation permitted shall be run and managed in association with Dwynant Farm (Holding Number 53/236/0004) and shall not be operated and managed independently.
6. Should the development hereby permitted not be occupied for a period of 24 (twenty four) months, the accommodation units and any associated paraphernalia must be removed and the land restored to its former condition within three months of this time period lapsing.

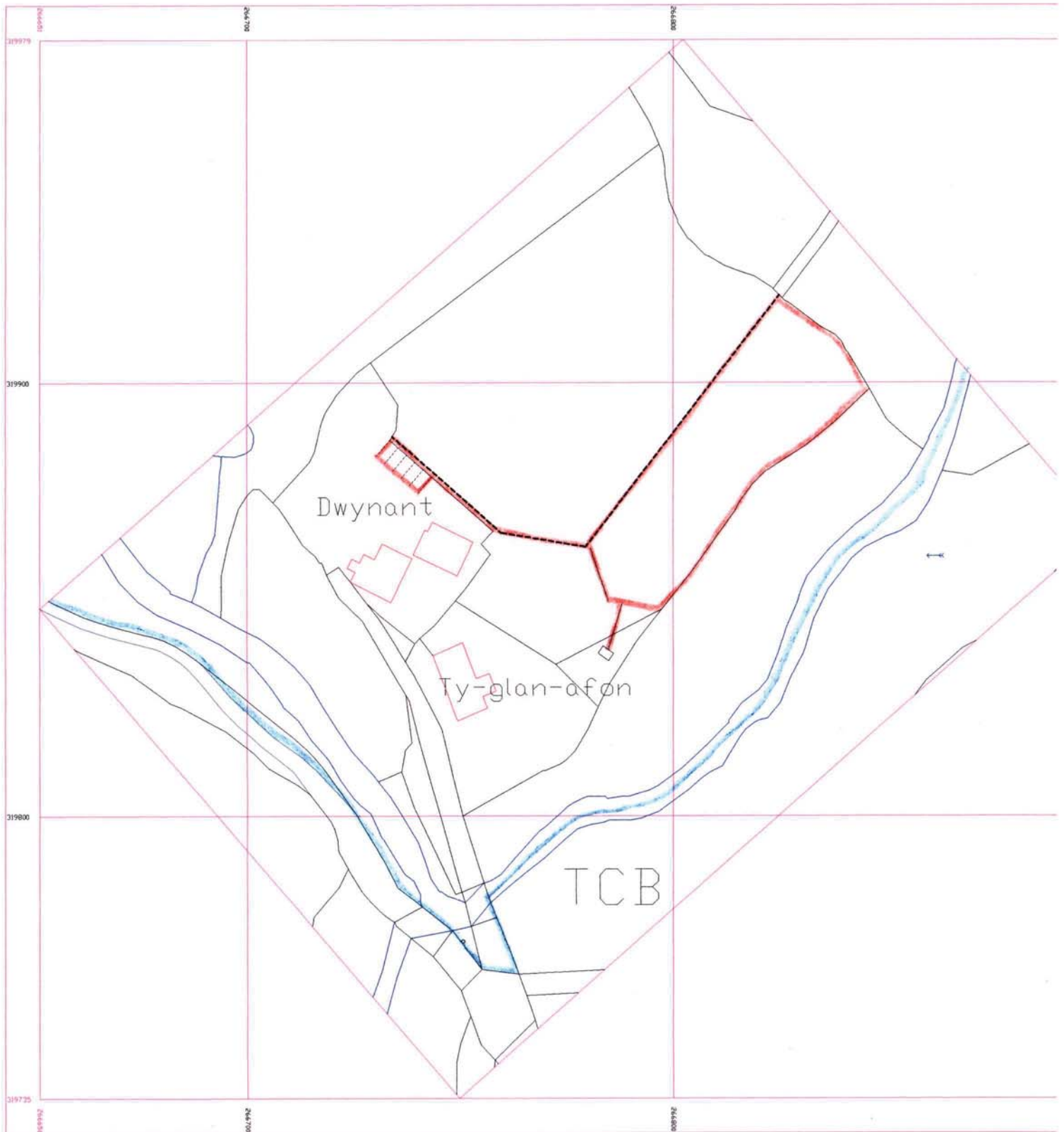
Reason(s):

1. To Comply with Section 91 (as amended) of the Town and Country Planning Act 1990.
2. To define the permission and for the avoidance of doubt.
3. To prevent the creation of an unjustified dwelling in the open countryside in accordance with the Eryri Local Development Plan 2016-2031 and in particular Strategic Policies C and G.
4. To preserve and enhance the visual amenities of the area and to secure biodiversity enhancement, in accordance with Eryri Local Development Plan Policies 2016-2031 and in particular Policy 1, 2 and D and paragraph 6.4.5 of Planning Policy Wales.
5. In order to ensure that the holiday accommodation is operated as part of a rural enterprise/ agricultural diversification scheme in accordance with Eryri Local Development Plan policies and in particular DP 20.
6. To ensure that the visual impact of the development is minimised if the accommodation units become redundant in accordance with Eryri Local Development Plan Policies and in particular DP 29 and SPG 8.

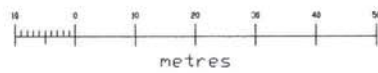


Cais Rhif / Application No. NP5/65/352B





Serial number: 188859
© Crown copyright and database right 2020
Ordnance Survey licence 100048957
Reproduction in whole or in part is prohibited
without the prior permission of Ordnance Survey



CYNLLUN SAFLE

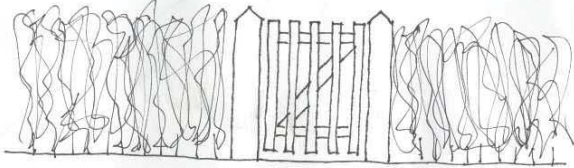
Site Location 1:1250 @ A4

Ordnance survey © Crown Copyright 2020 All rights reserved Licence No 100051155

**Dwynant
Bontddu
Gwynedd**

GENERAL NOTES.

1. Planting works will be undertaken during the first season (November to March inclusive), which follows completion of the works.
2. All plants supplied shall comply with the requirements of British Standards 3936, Nursery Stock Specification for Trees & Shrubs.
3. All pre-planting site preparation, planting and post-planting maintenance works shall be carried out in accordance with the requirements of B.S. 4428 (1989) code of practice for General Landscape Operations (excluding hard surfaces)
4. All planting to be maintained from completion of the planting works for a minimum period of 5 years, to establish healthy growth and natural form. Any plants which die, become severely damaged or become seriously diseased shall be replaced within the next planting season with plants of a similar size and species to those originally planted.



Mynedfa i gerddwyr gyda giat pren
Pedestrian entrance with timber gate

New Hedges to be planted with the following species

Hazel	30%
Hawthorn	25%
Elder	15%
Scotch Rose	8%
Dog Rose	7%
Sessile Oak	5%
Field Maple	5%
Crab Apple	5%

Existing Hedge to be strengthened by planting the following species

Hazel	30%
Hawthorn	25%
Elder	15%
Scotch Rose	8%
Dog Rose	7%
Sessile Oak	5%
Field Maple	5%
Crab Apple	5%

Orchard trees to be planted around pods a mixture of apple, pear, plum and crab apple trees all to be local fruit tree varieties local to the area.

NOTE
There will be no external lights to the proposal as the applicant wishes to respect the Designated Dark Sky area.

Hedgerow Planting Notes.

1. Planted at 5m/meter in double staggered row, min 300mm apart. Hedge trench to be length x 600mm wide x 300mm deep.
2. Trench to incorporate existing site topsoil, one third rooting medium, soil conditioner, slow release fertilizer and broadleaf P4, applied as per manufacturers instruction.
3. Plant within stock-proof fence, offset 300mm from edge of trench.
4. Shrub guards to be applied to all species, or alternatively protect hedgerow length with rabbit proof netting, attached to the stock-proof fence. Rabbit netting 1200mm high netting with 300mm below ground, bottom 150mm turned 90 degrees on side of rabbit attack.

Aftercare.

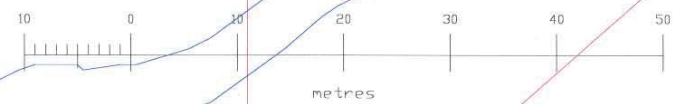
Weed control: a circle 250mm radius from the base of each plant shall be kept free from grass and weed growth. A residual soil acting herbicide shall be evenly applied to the soil surface over a circle 250mm radius from the base of each plant. Slow release fertilizer shall be evenly incorporated into the surface of the soil over the rooting area of each plant. Pruning: plants shall be pruned as required to achieve even, healthy growth.

Dwynant

Ty-glan-afon

CYNLLUN BLOC ARFAETHEDIG
Proposed Block Plan

Ordnance survey © Crown Copyright 2020 All rights reserved Licence No 100051155



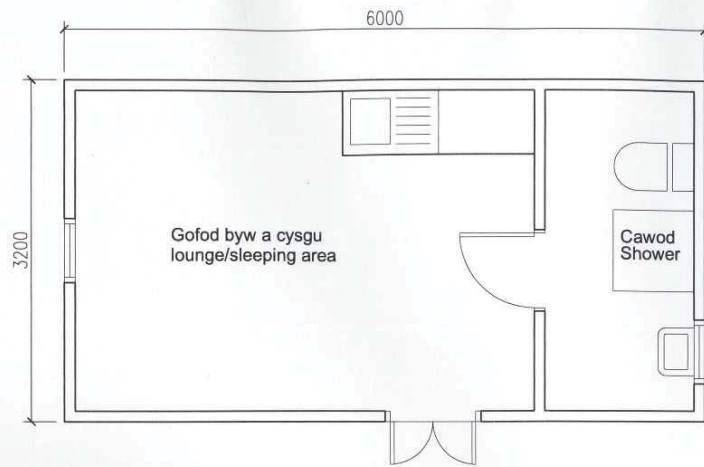
Dwynant
Bontddu
Gwynedd

CYNLLUN GWAITH working drawing
GRADDFA scale: 1:500 @ A3
RHIF CYNLLUN drawing Nr:264/ C.B.A/B

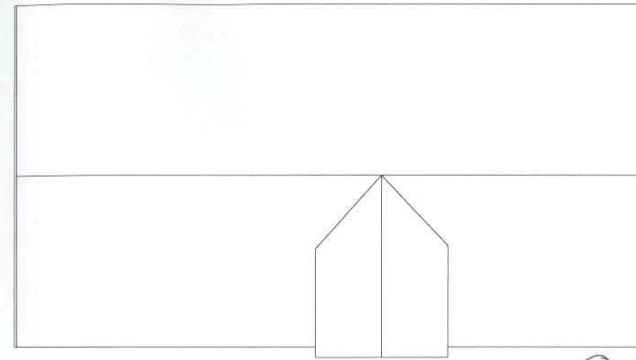
IWAN JONES
CWASANAETHAU PENSAERNIOL Architectural Services
GELLIMANWYDD, TALYBONT, CEREDIGION SY24 5HJ
FFON tel 01970 832760

Note: The applicant is aware that Himalayan balsam is present on site and will take appropriate steps to eradicate along with any other invasive species as part of the day to day running of the farm.

AMENDMENTS
A. Notes added and pod numbers reduced to three. 3.11.2020
B. Notes added for planning 16.12.2020

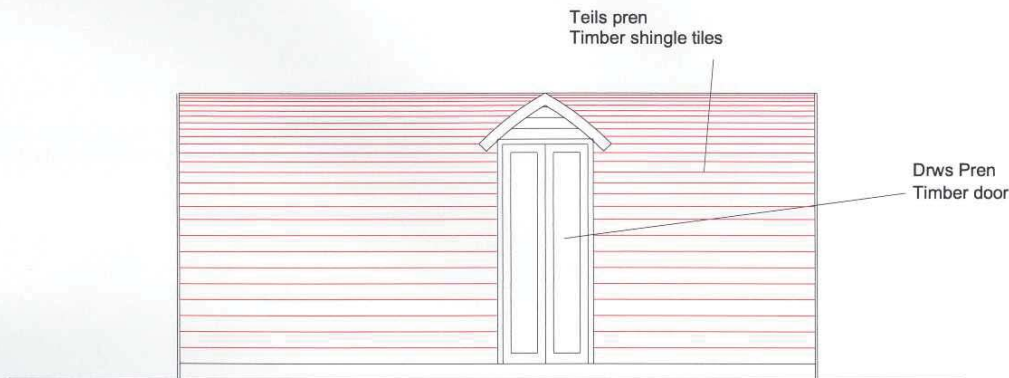


LLAWR GWAELOD
Ground Floor

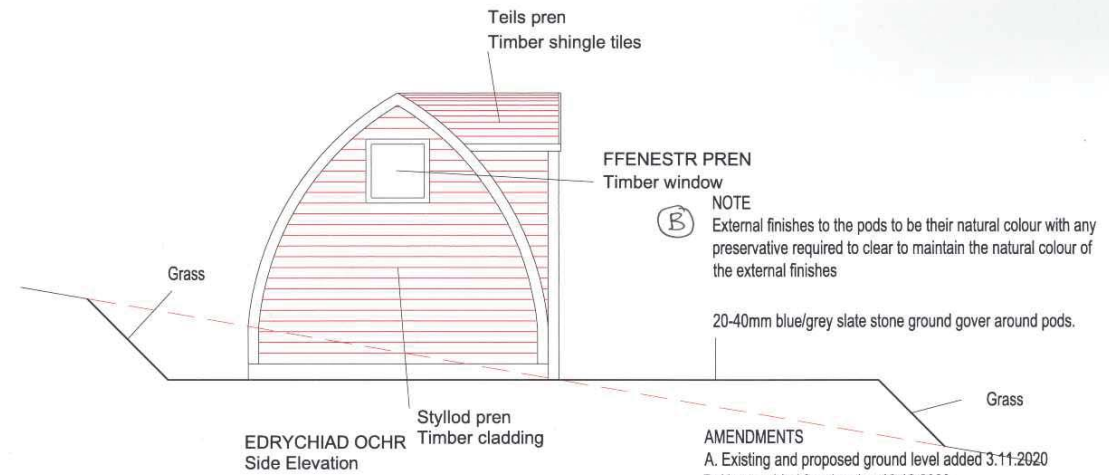


CYNLLUN TO
Roof Plan

(B) NOTE
There will be no external lights to the proposal as the applicant wishes to respect the Designated Dark Sky area.



EDRYCHIAD BLAEN
Front Elevation

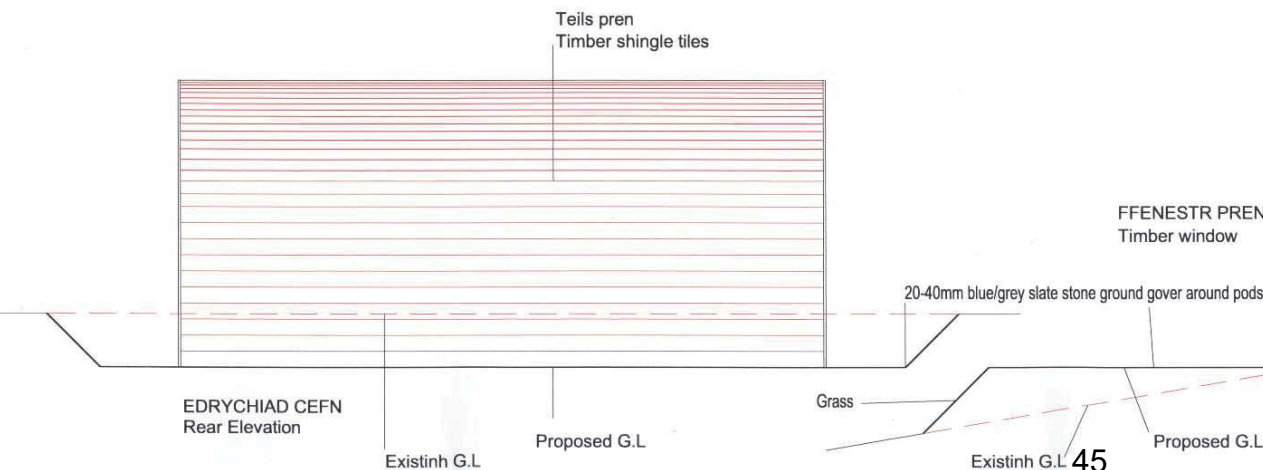


EDRYCHIAD OCHR
Side Elevation

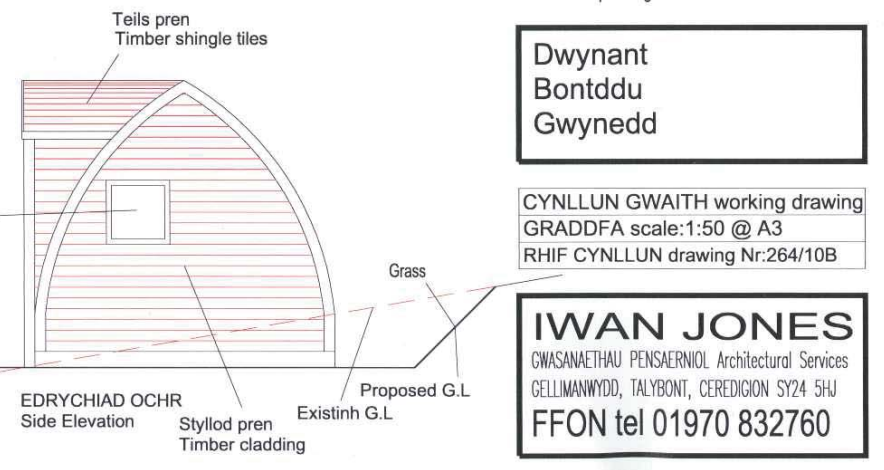
(B) NOTE
External finishes to the pods to be their natural colour with any preservative required to clear to maintain the natural colour of the external finishes

20-40mm blue/grey slate stone ground cover around pods.

AMENDMENTS
A. Existing and proposed ground level added 3.11.2020
B. Notes added for planning 16.12.2020



EDRYCHIAD CEFN
Rear Elevation



EDRYCHIAD OCHR
Side Elevation

**Dwynant
Bontddu
Gwynedd**

CYNLLUN GWAITH working drawing
GRADDFA scale:1:50 @ A3
RHIF CYNLLUN drawing Nr:264/10B

IWAN JONES
GWASANAETHAU PENSARNIOL Architectural Services
GELLIMANWYDD, TALYBONT, CEREDIGION SY24 5HJ
FFON tel 01970 832760

Snowdonia National Park Authority Date: 20/01/2021
– Planning & Access Committee

Application Number: NP5/78/LB66M

Date Application Registered: 22/10/20

Community: Trawsfynydd

Grid Reference: 272302 334647

Case Officer: Mr. Arwel LI Thomas

Location:
Yr Ysgwrn, Trawsfynydd.

Applicant:

Ms. Naomi Jones
 Awdurdod Parc Cenedlaethol Eryri
 Swyddfa'r Parc Cenedlaethol
 Penrhyndeudraeth
 Gwynedd
 LL48 6LF

Description:

Installation of a 4600L LPG tank underground to the South and between the Ty-bach and the existing attached purpose built plant housing heating system, all underground and associated connections on the East elevation, excavation for a level platform to support 2 x 100kw LPG purpose made Boiler Cube with 2 x protruding flues. A stone wall to be constructed to screen off the visual impact.

Summary of the Recommendation:

Authority for the Director of Planning and Land Management to make a decision.

**Reason(s) Application Reported to Committee:
 Scheme of Delegation**

To make a decision as the Park is the applicant.

Environmental Impact Assessment (EIA):

Natural Resources Wales – Appendix 1, 2, and 3.

Habitats Regulations Assessment (HRA):

The Ecologist has concluded that the development does not affect or interfere with protected species in accordance with the Eryri Local Development Plan Policies.

Land Designations / Constraints:

Within curtilage of a Grade II* Listed Building

Site Description:**Yr Ysgwrn, Trawsfynydd**

A two storey farmhouse with attached loft carhouse, dating to 1830 retaining much original internal and external character. There are agricultural buildings from the same era on a farmhouse parallel to the rear and facing the carhouse to the south east, together with more modern agricultural buildings. The farmhouse is notable as Hedd Wyn's former home, (the Black Chair poet), and is listed Grade II* (stars) 27th February 2004 for its strong historical links with the poet.

Proposed Development:

Planning Permission for the installation of an underground 4600L liquid petrochemical gas (lpg) cistern to the South and between the Tŷ Bach and the purpose built building for existing heating system equipment on all underground connections on Eastern elevation, excavation to accomodate flat platform to support a dedicated 2x100kw LPG cube boiler and two flues. Construction of stone wall to mitigate visual impact.

Engineering and excavation works for the installation of an underground gas storage cistern located within the farmyard to the south and at the rear of Yr Ysgwrn farmhouse. Connect the supply via underground pipes laid toward the East past the Southern gable end of the purpose built boiler building connecting the new boiler unit to be installed on a concrete base at the Eastern rear elevation which will allow connection of the existing heating system. Erection of stone wall around new boiler plant to retain adjacent land.

Consultations:

Trawsfynydd Community Council	No response
Natural Resources Wales	Significant concerns, but propose planning condition to solve this.
Gwynedd Archaeological Planning Services	No comments
Ecology (SNPA)	Support application with agreement for biodiversity enhancement measures.

Response to Publicity:

The application has been publicised by way of a press notice. At the time of writing this report, no letters of objection were received.

Relevant Planning Policies – Eryri Local Development Plan:

Policy No.	Policy
Strategic Policy A	National Park Purposes and Sustainable Development
Strategic Policy Ff	Historic Environment
Development Policy 1	General Development Principles
Development Policy 6	Sustainable Design and Materials
Development Policy 7	Listed and Traditional Buildings
Strategic Policy D	Natural Environment

1. Principle of Development:

- 1.1 The application will comply with the Welsh Government's Heritage Impact Assessment in Wales.
Historic Environment Service (Cadw))
- 1.2 **Technical Advice Note 24 and Building Conservation Guidance - relevant Best Practice –**
- 1.3 Paragraph 1.12 of the TAN strongly encourages that the Principles Conservation for the Management of the Historic Environment in Wales in a Sustainable way are used when considering development proposals to understand the heritage values in assessing the significance of the affected historic assets. There are six principles, i.e.
 1. Manage historic assets to maintain their value.
 2. Understanding the significance of historic assets is crucially important.
 3. The historic environment is a shared resource
 4. Everyone will be able to actively maintain the historic environment.
 5. Decisions about change must be reasonable, transparent and consistent.
 6. Decisions must be recorded and lessons learnt.
- 1.4 There are four heritage values that need to be understood before the significance of the asset can be assessed i.e.:
 - Evidential value
 - Historic value
 - Aesthetic value
 - Community value
- 1.5 Paragraph 5.9 of the TAN states that “In considering any applications for listed building consent the local planning authority must... have particular regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest it has.”

- 1.6 Paragraph 5.13 of TAN 24 states that “In determining an application for listed building consent, the local planning authority should have regard to the following matters:
- The importance and grade of the building and its intrinsic architectural or historic interest.
 - The physical features of the building that justify its listing and contribute to its significance (for example its form and layout, materials, architecture and detailing), including any important features, such as the interior of the building, which may have become apparent after the building was included on the list.
 - The contribution of the building's curtilage and setting to its significance, as well as the building's contribution to the local scene.
 - The effects of the proposed works on the significance of the building.
 - The extent to which the work would bring significant community benefits, for example by contributing to the area's economy or improving its local environment.”
- 1.7 Paragraph 5.14 of TAN 24 states - “... When applicants and the local planning authority assess the heritage values and significance of a listed building which is the subject of an application for consent, they must consider the sensitivity of that building to the alterations. proposed... ”
- 1.8 The following advice in the Managing change in Listed Buildings in Wales best practice advice document is considered relevant to the proposal -
- 1.9 **Significance:** Understand why the listed building is of special architectural or historic interest and what is significant about it in making alterations that will ensure the long term practical use of the building without compromising its architectural interest or special historical interest.
- 1.10 **Form and Layout:** Retain historic form and layout, as well as any features associated with them, whenever practicable; renovate where appropriate; respect the inherited character of new work and adaptation.
- 1.11 **Materials:** Retain all historical materials and finishes wherever practicable; repair where necessary; respect inherited character in any renovation.
- 1.12 **Details:** Retain historical details whenever possible; repair where necessary; restore where appropriate and respect historical character when undertaking any renovation work.

- 1.13 **Building Interiors:** The layout and detailing inside buildings can also be important evidence of their date and development as well as their function and status.
2. **Assessment**
- 2.1 Challenging problems have been discovered relating to an existing heating system since the Yr Ysgwrn Project improvements were completed in 2015-2017. Several options for trying to address the deficiencies were considered before deciding on the final option.
- 2.2 Choosing an additional heating / standby system will result in having to connect to the existing appliance sharing system and heat management and distribution system to the buildings on the rest of the site. The proposed boiler unit must therefore be placed within easy reach of the biomass heating equipment maintenance system so that it is not visible from the farmyard or adjacent curtilage of the farmhouse.
- 2.3 The apparatus will be partially visible from a nearby path to the East side of the boundary wall (see plan 375 [03] 03) and two modern flues extending into the open air are quite obvious, but an attempt is made to mitigate the visual impact of the route designed to install the necessary unit and equipment on a concrete foundation surrounded by a stone wall.
- 2.4 Liquid Petrochemical Gas (LPG) was chosen so that the fuel storage could be hidden underground. The 4600L cistern would be installed underground as shown on plans IBES / 10120, and 375 [3] 01 within the curtilage of a farmyard at the rear of the farmhouse so that the lid only appears to protrude above the turf. The new gas supply would be connected to the boiler via underground pipes to the East and along the Southern gable end of the purpose built biomass building.
- 2.5 The Ecology Department was consulted on 22nd October 2020. The building attached to the purpose built biomass system plant accommodates a bat nursery reserve which is recorded in Cofnod.
- 2.6 Since the excavation for the cistern is within 3m and to mitigate the threat to the reserve the application is subject to limiting the construction period to the winter months (October to April). Operations must be in exact accordance with the condition in order to avoid the need to carry out the work under license from NRW.
- 2.7 It was confirmed that there is no threat to the Special Area of Conservation (SAC) - Migneint, Arenig, Duallt and Afon Eden and that no Habitats Management Assessment is required.

- 2.8 In accordance with the Environment (Wales) Act 2016- Part 6 and Welsh Government guidance (October 2019) to secure Biodiversity Improvements the measures have been combined and noted on the plans attached to the application and agreed with Authority's Ecology Officers 18th November 2020.
Following consultation with Natural Resources Wales on the 22nd of October 2020 a response was received by letter ref: CAS-128899-P1B2 and CAS-128901-M6F3 (Appendix 1) expressing significant concern regarding the development as submitted. It was necessary to submit additional information to protect and demonstrate that there will be no impact on underground water quality. As insufficient information had been submitted by the applicant demonstrating that the threat to the underground water quality was being controlled, a detailed location plan of the cisterns, confirmation of the groundwater depth level, as well as details of the design of the cisterns had to be submitted and the cross section of the geology and underground depth measurements of the cistern.
- 2.9 The additional information was submitted in response by the agent on 19 November 2020. Response was received Ref: CAS-131402-J602 (Appendix 2) 2nd December from NRW who are still concerned and the additional information is not meet the requirements of previous advice 11 of November 2020.
- 2.10 Confirmation received from Natural Resources Wales Ref: CAS-131402-J6D2 (Appendix 3) 5th January 2021 to the Authority subject to conditional approval.

3. **Conclusion**

- 3.1 I consider that efforts to mitigate the visual impact to the minimum possible have been considered. Approval of the development will be subject to measures necessary to comply with the requirements of Natural Resources Wales advice to safeguard the quality of underground water CAS-131402-J6D2 02/12/2020.
- 3.2 Yr Ysgwrn heating system improvement scheme is based on receiving financial support and subject to receiving the grant, the work must be completed before the end of this year's financial year, i.e. 31 March 2021. Therefore, because the timetable is very tight - the committee is asked to make a favourable decision.
- 3.3 The application complies with the requirements of Technical Advice Note 24 and the conservation principles and relevant best practice guidance documents and policies.

Background Papers in Document Bundle No. 1: No

RECOMMENDATION: To **GRANT** permission subject to the following conditions:

1. The development hereby permitted shall be commenced before the expiration of FIVE years from the date of this decision.
2. The development hereby permitted shall be carried out in accordance with the following approved plans:
 1. IBES/10120/A Location plan for installation of underground NHP(LPG) and boiler unit.
 2. 375[3]01 Site Location Plan
 3. 375[3]02 Existing Rear Elevation
 4. 375[3]03 Proposed Rear Elevation
3. With regard to all repairs / alterations to the external elevations traditional materials must be used and must be approved by formal application to the Local Planning Authority.
4. The development shall not be permitted to commence until the underground water level protection scheme has been submitted for written approval via formal application by the Local Planning Authority. The Underground Water Level Protection Scheme should include: -
 - 4.1 Site investigation and depth confirmation of underground water level. The effect of seasonal fluctuations on the depth of the groundwater level must be taken into account with the effect of the upper level recording and comparison of the water level upstream.
 - 4.2 Site plan setting out the location of the water table and the route of the pipes / drains to the pumps.
 - 4.3 Details of cistern design and geological cross section, level and depth of underground cistern. If the groundwater level appears to be higher than the surface level of the watercourse disposal then mitigation details required to minimize any hazard should be demonstrated.

Reason(s):

1. To Comply with Section 91 (as amended) of the Town and Country Planning Act 1990.
2. To define the permission and for the avoidance of doubt.
3. To safeguard the character and appearance of this Listed Building
4. To protect against water pollution.

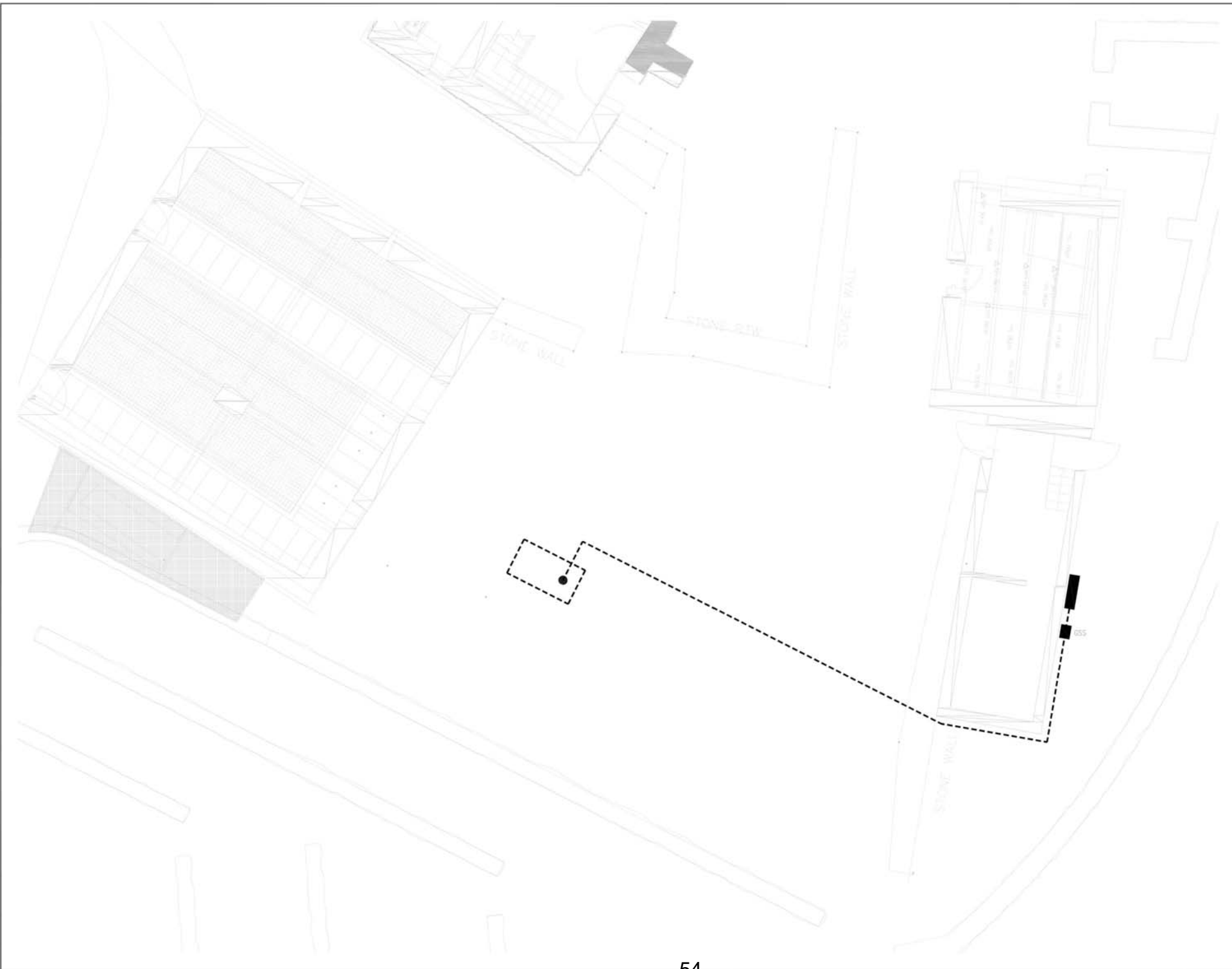


Cais Rhif / Application No. NP5/78/LB66M & N



© Hawlfraint y Goron 2018 OS 100022403 /
© Crown 2018 OS 100022403

Hawlfraint Awdurdod Parc Cenedlaethol Eryri /
Copyright Snowdonia National Park Authority



Copyright
This drawing is copyright and may not be altered, reproduced or used other than for the Contract Works for which it is issued without the written permission of Integrated Building Engineering Services Limited.

Status of drawing
The purpose of this drawing when issued as a Tender Drawing is to enable tenders to interpret correctly the design and to submit competitive tenders for the work.
A Tender Drawing whether original or amended shall not be used as an installation Drawing except under the terms contained in the conditions of Tender.

Warning
Do not scale this drawing. Verify all dimensions and structural details on site. If in doubt, ask before acting.

Related documents
This drawing to be read in conjunction with the appropriate Specification(s).

Checking
This drawing has been generated using a Computer Aided Drafting system. As the system generates a new drawing at each revision, only the latest revision will have been indicated as checked.

- Notes:
1. Location of buried LPG tank and LPG distribution pipework is indicative and should be determined by a detailed site survey.
 2. LPG tank turret to be located a minimum 3000mm from any adjacent wall or building.
 3. LPG distribution pipework to be buried with top of pipe 600mm (minimum) below ground level with 150mm sand bedding and top cover.
 4. This drawing should be read in conjunction with Sections 2.03 & 2.04 of the Outline M&E Specification and Drawing No.10120-M001.

LEGEND	
	Buried LPG Tank
	LPG Distribution Pipework [Approx 18000mm]
	LPG Boiler Installation
	Gas Safety Shut-off Valve [in Gas Cabinet]

Rev	Date	Designed	CAD	Checked
A	Jul 20		LMC	

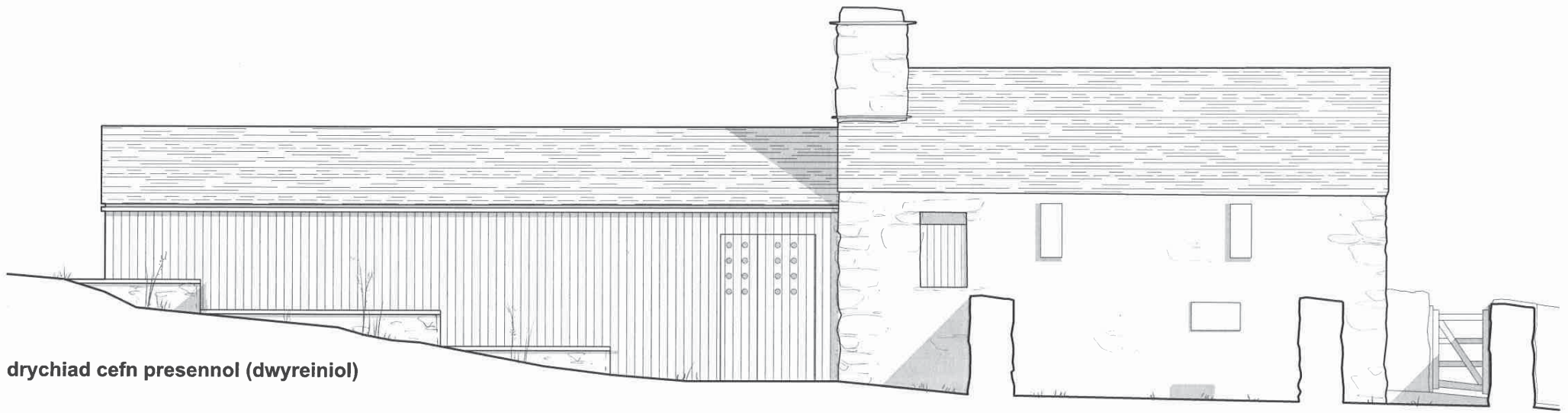
Background:
A TENDER ISSUE

Project Title
Yr Ysgwm, Trawsfynydd
Upgrade of Boiler Installation

Drawing Title
Mechanical Services
Proposed LPG Installation

Date Jul 20	Drawing No. 10120 M002
Drawn LMC	Project No. IBES10120
Checked	Revision A
File reference 10120_M002	Paper size/Scale A1 1:50





drychiad cefn presennol (dwyreiniol)

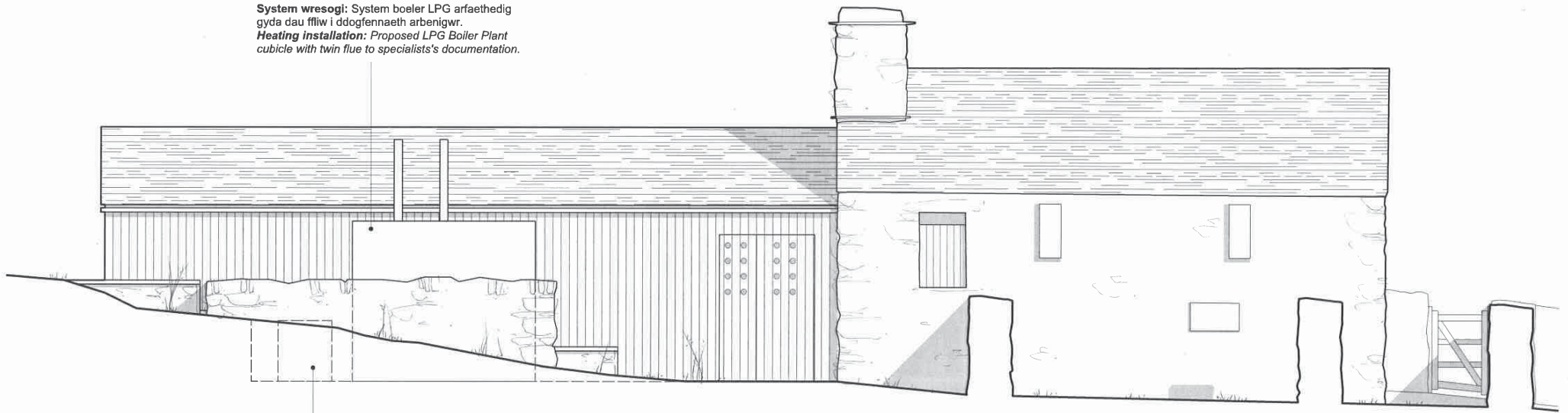
Planning | Cynllunio

Rhys Llwyd Davies <small>Architect Pensaer</small>	Project & drawing title Prosiect a teitl darlun Gosod boeler wrth gefn yn: Yr Ysgwrn, Trawsfynydd <i>Drychiad cefn presennol</i>	Drawing reference Cyfeirnod darlun 375[3] 02	
	<small>Rhys Llwyd Davies - Architect Pensaer, swyddfa Heulwen, Y Stryd Fawr, Y Bala, LL23 7AG post@rhysllwyddavies.co.uk 01678 521450 www.rhysllwyddavies.co.uk</small>	<small>Date Dyddiad</small> 11/09/20	<small>Scale Graddfa</small> 1:50@A3

© Rhys Llwyd Davies 2020

0.5m 1m 2m 3m 4m

System wresogi: System boiler LPG arfaethedig gyda dau fflw i ddogfennaeth arbenigwr.
Heating installation: Proposed LPG Boiler Plant cubicle with twin flue to specialists's documentation.



GRP Cubicle: Wele adroddiad arbenigwr. | See specialist's report.

drychiad cefn arfaethedig (dwyreiniol)

Planning | Cynllunio

Rhys Llwyd Davies Architect Pensaer	Project & drawing title Prosiect a teitl darlun Gosod boiler wrth gefn yn: Yr Ysgwrn, Trawsfynydd Drychiad cefn arfaethedig	Drawing reference Cyfeirnod darlun 375[3] 03	
	Rhys Llwyd Davies - Architect Pensaer, swyddfa Heulwen, Y Stryd Fawr, Y Bala, LL23 7AG post@rhysllwyddavies.co.uk 01678 521450 www.rhysllwyddavies.co.uk	Date Dyddiad 11/09/20	Scale Graddfa 1:50@A3



Snowdonia National Park Authority Date: 20/01/2021
– Planning & Access Committee

Application Number: NP5/78/LB66N

Date Application Registered: 22/10/20

Community: Trawsfynydd

Grid Reference: 272302 334647

Case Officer: Mr. Arwel LI Thomas

Location:
Yr Ysgwrn, Trawsfynydd.

Applicant:

Ms. Naomi Jones
Awdurdod Parc Cenedlaethol Eryri
Swyddfa'r Parc Cenedlaethol
Penrhyndeudraeth
Gwynedd
LL48 6LF

Description:

Listed Building Consent for the installation of a 4600L LPG tank underground within the curtilage of Yr Ysgwrn located to the South of the farmhouse between Ty-bach and the existing attached purpose built plant housing the present heating system, all underground and associated connections to the management system on the East Elevation to the rear and excavation to form a level platform to support 2 x 100kw LPG purpose made Boiler Cube with 2 x protruding flues above eaves level into open air. A stone wall to be constructed to screen off the visual impact.

Summary of the Recommendation:

To GRANT permission subject to relevant conditions as well as in agreement with Welsh Government (CADW).

**Reason(s) Application Reported to Committee:
Scheme of Delegation**

SNPA is the applicant.

Environmental Impact Assessment (EIA):

Following a screening process, we do not anticipate likely significant effects and therefore no EIA is required.

Habitats Regulations Assessment (HRA):

The Ecologist has concluded that the development does not affect or interfere with protected species in accordance with the Eryri Local Development Plan Policies.

Land Designations / Constraints:

Within curtilage of a Grade II* Listed Building

Site Description:**Yr Ysgwrn, Trawsfynydd**

A two storey farmhouse with attached loft carhouse, dating to 1830 retaining much original internal and external character. There are agricultural buildings from the same era on a farmhouse parallel to the rear and facing the carhouse to the south east, together with more modern agricultural buildings. The farmhouse is notable as Hedd Wyn's former home, (the Black Chair poet), and is listed Grade II* (stars) 27th February 2004 for its strong historical links with the poet.

Proposed Development:

Listed Building Consent for the installation of an underground 4600L liquid petrochemical gas (lpg) cistern to the South and between the Tŷ Bach and the purpose built building for existing heating system equipment on all underground connections on Eastern elevation, excavation to accommodate flat platform to support a dedicated 2x100kw LPG cube boiler and two flues. Construction of stone wall to mitigate visual impact.

Engineering and excavation works for the installation of an underground gas storage cistern located within the farmyard to the south and at the rear of Yr Ysgwrn farmhouse. Connect the supply via underground pipes laid toward the East past the Southern gable end of the purpose built boiler building connecting the new boiler unit to be installed on a concrete base at the Eastern rear elevation which will allow connection of the existing heating system. Erection of stone wall around new boiler plant to retain adjacent land.

Consultations:

Trawsfynydd Community Council	No response
Natural Resources Wales	Significant concerns, but propose planning condition to resolve this.
Gwynedd Archaeological Planning Service	Response but no comments
Ecology (SNPA)	Support application with an agreement of Biodiversity enhancement measures

Response to Publicity:

The application has been publicised by way of a press notice. At the time of writing this report, no letters of objection were received.

Relevant Planning Policies – Eryri Local Development Plan:

Policy No.	Policy
Strategic Policy A	National Park Purposes and Sustainable Development
Strategic Policy Ff	Historic Environment
Development Policy 1	General Development Principles
Development Policy 6	Sustainable Design and Materials
Development Policy 7	Listed and Traditional Buildings
Strategic Policy D	Natural Environment

1. Principle of Development:

- 1.1 The application will comply with the Welsh Government's Heritage Impact Assessment in Wales.
Historic Environment Service (Cadw))
- 1.2 **Technical Advice Note 24 and Building Conservation Guidance - relevant Best Practice –**
- 1.3 Paragraph 1.12 of the TAN strongly encourages that the Principles Conservation for the Management of the Historic Environment in Wales in a Sustainable way are used when considering development proposals to understand the heritage values in assessing the significance of the affected historic assets. There are six principles, i.e.
1. Manage historic assets to maintain their value.
 2. Understanding the significance of historic assets is crucially important.
 3. The historic environment is a shared resource
 4. Everyone will be able to actively maintain the historic environment.
 5. Decisions about change must be reasonable, transparent and consistent.
 6. Decisions must be recorded and lessons learnt.
- 1.4 There are four heritage values that need to be understood before the significance of the asset can be assessed i.e.:
- Evidential value
 - Historic value
 - Aesthetic value
 - Community value
- 1.5 Paragraph 5.9 of the TAN states that “In considering any applications for listed building consent the local planning authority must... have particular regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest it has.”

- 1.6 Paragraph 5.13 of TAN 24 states that “In determining an application for listed building consent, the local planning authority should have regard to the following matters:
- The importance and grade of the building and its intrinsic architectural or historic interest.
 - The physical features of the building that justify its listing and contribute to its significance (for example its form and layout, materials, architecture and detailing), including any important features, such as the interior of the building, which may have become apparent after the building was included on the list.
 - The contribution of the building's curtilage and setting to its significance, as well as the building's contribution to the local scene.
 - The effects of the proposed works on the significance of the building.
 - The extent to which the work would bring significant community benefits, for example by contributing to the area's economy or improving its local environment.”
- 1.7 Paragraph 5.14 of TAN 24 states - “... When applicants and the local planning authority assess the heritage values and significance of a listed building which is the subject of an application for consent, they must consider the sensitivity of that building to the alterations proposed... ”
- 1.8 The following advice in the Managing change in Listed Buildings in Wales best practice advice document is considered relevant to the proposal -
- 1.9 **Significance:** Understand why the listed building is of special architectural or historic interest and what is significant about it in making alterations that will ensure the long term practical use of the building without compromising its architectural interest or special historical interest.
- 1.10 **Form and Layout:** Retain historic form and layout, as well as any features associated with them, whenever practicable; renovate where appropriate; respect the inherited character of new work and adaptation.
- 1.11 **Materials:** Retain all historical materials and finishes wherever practicable; repair where necessary; respect inherited character in any renovation.
- 1.12 **Details:** Retain historical details whenever possible; repair where necessary; restore where appropriate and respect historical character when undertaking any renovation work.

- 1.13 **Building Interiors:** The layout and detailing inside buildings can also be important evidence of their date and development as well as their function and status.
2. **Assessment**
- 2.1 Challenging problems have been discovered relating to an existing heating system since the Yr Ysgwrn Project improvements were completed in 2015-2017. Several options for trying to address the deficiencies were considered before deciding on the final option. There are justified reasons in the report and the Listed Building Consent application and there is no point in repeating it here.
- 2.2 Choosing an additional heating / standby system will result in having to connect to the existing appliance sharing system and heat management and distribution system to the buildings on the rest of the site. The proposed boiler unit must therefore be placed within easy reach of the biomass heating equipment maintenance system so that it is not visible from the farmyard or adjacent curtilage of the farmhouse.
- 2.3 The apparatus will be partially visible from a nearby path to the East side of the boundary wall (see plan 375 [03] 03) and two modern flues extending into the open air are quite obvious, but an attempt is made to mitigate the visual impact of the route designed to install the necessary unit and equipment on a concrete foundation surrounded by a stone wall.
- 2.4 Liquid Petrochemical Gas (LPG) was chosen so that the fuel storage could be hidden underground. The 4600L cistern would be installed underground as shown on plans IBES / 10120, and 375 [3] 01 within the curtilage of a farmyard at the rear of the farmhouse so that the lid only appears to protrude above the turf. The new gas supply would be connected to the boiler via underground pipes to the East and along the Southern gable end of the purpose built biomass building.
- 2.5 The Ecology Department was consulted on 22nd October 2020. The building attached to the purpose built biomass system plant accommodates a bat nursery reserve which is recorded in Cofnod.
- 2.6 Since the excavation for the cistern is within 3m and to mitigate the threat to the reserve the application is subject to limiting the construction period to the winter months (October to April). Operations must be in exact accordance with the condition in order to avoid the need to carry out the work under license from NRW.
3. **Conclusion**
- 3.1 I consider that efforts to mitigate the visual impact to the minimum possible have been considered and that the recommendations are acceptable with the relevant conditions.

- 3.2 The application complies with the requirements of Technical Advice Note 24 and the conservation principles and relevant best practice guidance documents and policies.

Background Papers in Document Bundle No. 1: No

RECOMMENDATION: To GRANT permission subject to the following conditions and subsequent approval by the Welsh Government (CADW).

1. The development hereby permitted shall be commenced before the expiration of FIVE years from the date of this decision.
2. The development hereby permitted shall be carried out in accordance with the following approved plans:
 1. IBES/10120/A Site plan for installation of underground NHP(LPG) and boiler unit.
 2. 375[3]01 Site Location Plan
 3. 375[3]02 Existing Rear Elevation
 4. 375[3]03 Proposed Rear Elevation and Heritage Impact Statement 375[3]adr-HIA-f3
3. With regard to all repairs / alterations to the external elevations traditional materials must be used and must be approved by formal application to the Local Planning Authority.

Reason(s):

1. To comply with the Planning (Listed Buildings and Conservation Areas) Act 1990.
2. To define the permission and for the avoidance of doubt.
3. To safeguard the character and appearance of this Listed Building



PLANNING AND ACCESS COMMITTEE

20 JANUARY 2021

ENFORCEMENT NOTICES, LISTED BUILDING ENFORCEMENT NOTICES SERVED UNDER DELEGATED POWERS AND LIST OF COMPLIANCE CASES

SNOWDONIA NATIONAL PARK AUTHORITY

PLANNING AND ACCESS COMMITTEE, 20TH JANUARY 2021

LIST OF COMPLIANCE CASES

New cases

	Reference	Date of initial complaint or Date observed by Compliance Officer	Location of Site	Details of Planning Breach	Current Position
1.	NP4/26/ENFLB33Q	November 2020	Coed y Celyn, Betws Y Coed, LL24 0SH	Creation of self-contained unit for holiday let.	Contact made with the owner. No material change of use. Close file.
2.	NP5/56/ENF130A	November 2020	Y Stabl, Plas Esgair, Pantperthog, Machynlleth, SY20 9AY	Outbuilding and decking under construction in rear garden.	Contact made with the owner who was advised that planning permission is required. Owner has confirmed that the structure will be removed within a period of 2 months.
3.	NP5/66/ENFLB32D	November 2020	Ty Mawr, Llanfair	Internal works being undertaken.	Letter sent to the property, no response received to date.
4.	NP5/67/ENF335	September 2020	Tarren Y Gesail, Pantperthog	New mountain bike tracks	Contact made with the owner who has confirmed that the track is being removed and the land reinstated.
5.	NP5/69/ENF20B	November 2020	Bryn y Mor, Llwyngwrl, LL37 2JQ	Removal of chimney and installation of flue	Contact has been made with the owner who has been requested to reinstate the chimney.

6.	NP5/69/ENF41D	October 2020	Land opposite Quaker's burial ground, Llwyngwril	Stationing of touring caravan	Owner has confirmed that an application will be submitted for the retention of the caravan.
----	---------------	--------------	--	-------------------------------	---

Awaiting Retrospective Application/Listed Building Consent Application/CLEUD Application

	Reference	Date of initial complaint or Date observed by Compliance Officers	Location of Site	Details of Planning Breach	Position at time of last committee meeting	Updates since last committee meeting
7.	NP4/16/ENF227C	July 2020	Gwalia Stores, Dolwyddelan	Change of use from retail to dwelling	Letter sent to the owner but no response received to date. Second letter sent to owner. Awaiting response.	Contact made with the owner who has advised that an application will be submitted in January 2021.
8.	NP4/26/ENF266W	January 2020	Zip World Fforest, Betws y Coed	Erection of building & creation of footpaths	Contact made with the owner and a site meeting has been arranged. Site meeting carried out. Application to be submitted.	Awaiting application.
9.	NP5/51/ENF446E	April 2019	Cae Gwian Forestry, Bontddu	Works to Forestry Tracks	Site meeting has been held with the forestry manager. To submit a retrospective planning application to try and regularise the unauthorised works.	Further contact made and an application is due to be submitted in January 2021.

10.	NP5/61/ENF638	June 2020	Railway Station House, Hwylfa'r Nant, Harlech	Extension to existing raised platform	Contact made with the owner. Owner has intimated they will submit a retrospective planning application. Awaiting application.	Update received from the owner that an application is being drafted.
11.	NP5/65/ENF274F	July 2020	Barn near Maes Mawr	Works not implemented in accordance with approved plans	Contact made with the agent to advise that an application should be submitted for the amendments to the windows.	No application received. Expediency to take formal action considered. Not expedient, close file.
12.	NP5/69/ENF16C	August 2020	Land near Castell Mawr, Llanegryn	Development not built in accordance with the approved plans	Contact made with the owner and a site meeting held. Further discussions with agent. Awaiting application.	The agent has advised that they hope to be able to submit an application by the end of January.
13.	NP5/77/ENF130C	August 2020	Tanforhesgan, Ynys, Talsarnau LL476TR	Replacement outbuilding	Contact made with the owner who has been advised that planning permission is required for the works.	No applications received.
14.	NP5/78/ENF546	April 2019	Cabin 211, Trawsfynydd Holiday Village, Bronaber	Decking	Contact made with the owner who has intimated they will submit a retrospective planning application. As no application has been forthcoming, an assessment will now be carried out to determine the expediency of initiating formal action.	Determined that it is not expedient to initiate formal action. File closed.

Retrospective Application Received

	Reference	Date of initial complaint or Date observed by Compliance Officers	Location of Site	Details of Planning Breach	Position at time of last committee meeting	Updates since last committee meeting
15.	NP5/53/ENF28M	March 2020	5 Rhesdai'r Berllan, Arenig Street, Y Bala	Erection of Building for Hot Tub	Contact made with the owner and a site meeting carried out. Owner has intimated they will submit a retrospective planning application. Application received but invalid. Invalid notice sent.	Application still invalid, awaiting plan.
16.	NP5/58/ENF44E	October 2020	12 Glan Ysgethin, Talybont LL43 2BB	LPG tank to front of dwelling	Contact made with the owner who has advised that an application will be submitted to retain the tank.	Application received, invalid. Awaiting plan.
17.	NP5/67/ENF325	October 2020	Former Boot Shop, Llanegryn Street, Abergynolwyn	Windows not implemented in accordance with approved plans	Contact made with the owner. Non-material amendment application received and is pending consideration.	Application approved. Close file.

18.	NP5/69/ENF354C	October 2020	Maes Y Crynwyr, Llwyngwriil LL37 2JQ	Cladding on flank elevation	Contact made with the owner who have confirmed that an application will be submitted.	Application received. Awaiting decision.
-----	----------------	--------------	--------------------------------------	-----------------------------	---	--

Awaiting further information or awaiting replies to a Planning Contravention Notice or a Section 330 Notice

	Reference	Date of initial complaint or Date observed by Compliance Officers	Location of Site	Details of Planning Breach	Position at time of last committee meeting	Updates since last committee meeting
19.	NP2/16/ENF457	June 2020	Land near Ynys y Pandy Slate Mill, Cwm Ystradllyn	Re-building of derelict building	Contact made with the owner and site meeting held. Corresponding with landowner.	
20.	NP3/21/ENF46D	January 2020	2 Tai'r Cae, Carneddi, Bethesda	Dumping of Silt & Soil	Contact made with the owner of the land. Site meeting was arranged but did not take place due to lockdown.	Meeting to be re-arranged.
21.	NP4/11/ENFL52X	March 2020	Field and Treck, Betws Y Coed	Untidy condition of building	Letter sent to the owner but no response received to date. No response received. Consider expediency.	Expedience to take formal action considered. Not expedient, close file.

22.	NP4/11/ENF112B	May 2019	Ty'n y Merddyn, Ffordd Gethin, Betws y Coed	Erection of a Building within the Garden	Site visit undertaken and owner advised planning permission is required for the building. The owner has intimated a retrospective planning application will be submitted in due course.	Contacted the owner for an update December 2020.
23.	NP4/11/ENF337	May 2020	Hendre Rhys Gethin, Pentre Du, Betws y Coed	Permanent Residential Use of Touring Caravan	A valid Enforcement Notice is currently in place for this alleged breach, whereby it requires cessation of the residential use of the caravan and for the caravan to be removed. It appears that the landowner has not complied with the requirements of the Enforcement Notice. Legal action being initiated.	Further communication with landowner
24.	NP4/13/ENF247	February 2020	Land Near Deunant, Capel Curig	Engineering Works, Retaining Walls and Possible Encampment	Land registry search undertaken. Letter sent to the owner and currently await a response. No response has been provided. Site visit carried out. No further works taken place.	

25.	NP4/16/ENF405	March 2018	Land Opposite Tan y Castell, Dolwyddelan	Dumping of Building Material and Waste	Owner advised to clear the land of building materials and restoring the land back to its original state. Also advised to remove the touring caravan. Site visit undertaken in January 2019 where it was noted the building material and waste was still on the land. Enforcement Notice served on the 26th September 2019 and took effect on the 1st November. The Notice is due to be complied with by the 1st May 2020. A visit is due to take place during August/September.	A site visit has been undertaken where it was noted only part of the Enforcement Notice had been complied with. Currently corresponding with the owner to ensure full compliance with the requirements of the Notice.
26.	NP4/26/ENF261B	January 2020	Y Felin, Plas yn Rhos, Rhydlanfair	New Structure	Contact made with the owner and a site meeting is currently being arranged. Site meeting being arranged.	Site meeting to be arranged.
27.	NP4/29/LBENF217	June 2020	5 Rhiwbach Terrace, Cwm Penmachno	Untidy condition of Property	Letter sent to the owner. No response received to date. Site visit carried out and expediency to be considered.	Site visit carried out. Expediency to take formal action to be considered.
28.	NP5/50/ENF562P	July 2020	62 Plas Panteidal, Aberdyfi	Extension to decking Area	Letter sent to the owner. No response received to date. Contact made with the owner. Site meeting to be carried out.	

29.	NP5/50/ENF607A	August 2019	Garth, Aberdyfi	Extended Decking	Site meeting held with the owner of the property. Appears planning permission is required for what is currently being erected. The owner has been advised of this and the Authority continue to liaise with them.	Requested an update January 2021. Awaiting a response.
30.	NP5/55/ENFL142A	June 2017	3 Glandwr, Bryncrug	Untidy Condition of Property	Section 215 Notice served on the 18 th February 2019. No appeal has been forthcoming, therefore the Notice has taken effect. The Notice must be fully complied with by the 22 nd January 2020. A recent site visit has taken place where it was noted the Notice had not been complied with. A letter has been written to the owner advising that to avoid further proceedings they must comply with the requirements of the Notice imminently. No remedial works have taken place and prosecution proceedings are now being considered.	A further site visit has taken place where it was noted the requirements of the Section 215 Notice have not been complied with. Prosecution proceedings to be initiated and instructions sent to the Authority's Solicitor.

31.	NP5/56/ENF165	October 2020	Land to the West of A487, Pantperthog, SY20 9AT	Engineering works	Contact made with the owner who has been advised that planning permission is required and to cease works. Further site visit to be carried out to ensure works have ceased.	Site visit carried out.
32.	NP5/58/ENF58G	November 2019	Bryn y Bwyd, Talybont	Engineering Works and Possible Siting of Caravan/Chalet	Contact made with the owner and a site meeting has taken place. Currently assessing the works that have taken place and whether any of these benefit from permitted development rights.	The owner has been contacted to advise planning permission is required for the creation of a bund and also the shower/toilet facility.
33.	NP5/58/ENF144K	December 2018	Land at Tan y Coed, Talybont	Siting of Static Caravan used for Residential Purposes	Contact made with the owner of the land. Site meeting taken place where the siting and use of the caravan was discussed. Owner currently considering their options to regularise the situation. A Planning Contravention Notice has been served to ascertain further details about the use of the caravan. Replies have been received and currently being assessed.	

34.	NP5/58/ENF616	December 2018	Land adjacent Coed y Bachau, Dyffryn Arudwy	Siting of Static Caravan used for Residential Purposes	Contact made with the owner and a site meeting has taken place. Planning Contravention Notice served and replies received. Advised to re-locate the caravan within the garden curtilage of the property. To progress this matter, a further site meeting is currently being arranged.	
35.	NP5/62/ENF107B	October 2020	Bron Meini, Llanbedr LL45 2HL	Decking in rear garden	Contact made with the owners who have been advised that planning permission is required. Owner has suggested that he will amend the proposal and will apply for pre-application advice.	Further discussions had with the owner.
36.	NP5/62/ENF232A	February 2019	Glanrafon, Llanbedr	Removal of Two Chimneys	Contact made with the owners of the property. A site meeting has recently taken place with the owner (June 2019), where they have confirmed the two chimneys will be re-built. Work is underway to re-build the chimneys with one chimney already built. The second chimney is currently under construction and near completion.	Chimneys re-instated

37.	NP5/65/ENF115A	October 2019	Land at Hengwrt, Llanelltyd	Dumping/Storage of Mattresses and Carpets	Requested an update from NRW on the current situation of this case. It is understood the waste material is currently being removed but only at one lorry load a week. Anticipated the waste will be removed Sept/October time.	NRW have instigated prosecution proceedings.
38.	NP5/69/ENF69C	March 2020	Ceffylau Gwyion, Llwyngwrlil	Structure to front of house.	Contact made with owner who has advised the temporary structure will be removed by November. Owner advised that structure will be removed at beginning of December.	Structure has been removed and breach ceased. Close file
39.	NP5/71/ENF473	June 2017	Bronant Stores, 1 Pen y Banc, Llanuwchllyn	Untidy Condition of the Building	According to land registry, there has been a recent change in ownership. To make contact with the new owner in respect to the poor condition of the building. A planning application has been received for the conversion and change of use of the former shop to form an extension to the adjoining dwelling.	Planning permission refused on design grounds and inappropriate materials. Appears the property is currently for sale on the open market.

Cases where formal action is being considered/has been taken.

	Reference	Date of initial complaint or Date observed by Compliance Officers	Location of Site	Details of Planning Breach	Position at time of last committee meeting	Updates since last committee meeting
40.	NP2/14/18D	February 2019	Nant Cwmbran Isaf, Nasareth, Caernarfon	Without planning permission, operational development to construct a two-storey extension on the eastern gable end of the dwelling.	<p>Enforcement Notice served on the 22nd September 2020 and due to take effect on the 27th October 2020.</p> <p>Requirements to comply with the Notice:</p> <p>Remove the two-storey extension on the eastern gable end of the dwelling. Remove from the land all building materials and rubble arising from compliance with requirement (i) above, and restore the land to its condition before the breach took place by levelling the ground and reinstating with grass and/or gravel.</p> <p>Enforcement Notice Appeal submitted. Currently awaiting a formal start date for the appeal from the Planning Inspectorate.</p>	Enforcement Notice Appeal has now commenced. The ministerial target for the decision for this appeal is the 18th June 2021.

41.	NP2/16/ENF448	May 2017	Hendre Ddu Quarry, Cwm Pennant	Unauthorised Quarrying and Track Creation	<p>Site visit undertaken on the 12th April. Unauthorised works carried out, enforcement proceedings commenced and a Temporary Stop Notice has been served in respect to the extraction of mineral waste from slate tips and the construction of new tracks. The Notice ceases to have effect on the 3rd July 2019. An Enforcement Notice is currently being drafted.</p> <p>No further works have been carried out. Expediency report being undertaken in relation to the works carried out.</p>	
42.	NP5/77/ENF115G	September 2016	Lizzie's Barn, Llandecwyn, Talsarnau	Barn being Used for Permanent Residential Occupation in breach of a CLEUD which only stipulates 3 months residential use.	<p>An enforcement notice is currently being drafted. Discussions ongoing with the Authority's legal section.</p> <p>A further site visit has been arranged with the owner of the land.</p>	The enforcement case file has been reviewed and it is questionable whether there has been a material change to the character of the use of the land. Furthermore, it appears through the passage of time the residential use is immune from the taking of any enforcement action. File closed.

Listed Building Cases

	Reference	Date of initial complaint or Date observed by Compliance Officers	Location of Site	Details of Planning Breach	Position at time of last committee meeting	Updates since last committee meeting
43	NP5/53/ENFLB197	December 2019	Neuadd y Cyfnod, High Street, Bala	Structure being Erected to the Rear of the Building	Site meeting has taken place with the owner. They are currently in discussions with the Authority with the intention of submitting a planning application. Listed Building Consent and a full planning application have now been received.	Applications currently being processed.
44	NP5/54/ENFLB33M	January 2020	Nannau Hall, Llanfachreth	Poor Condition of Building	<p>It has been brought to the Authority's attention that the lead from the roof of the building has been removed and that the overall condition of the building is deteriorating rapidly. A site visit has confirmed this.</p> <p>Contact has been made with the owner who is aware of the condition of the building. They propose to undertake a temporary repair to the roof until at such time they can visit the property and ascertain the damage for themselves.</p>	<p>To date no temporary repairs have been undertaken. The owner has been contacted again to emphasise the urgency of the situation. They propose to undertake temporary repair work until they are able to visit and assess the extent of the work required to the building. A meeting has been arranged with CADW to discuss possible options to safeguard Nannau Hall.</p>

45	NP5/69/ENFLB326A	September 2018	Ty Gwyn, Llwyngwril	External and internal Alterations to a Listed Building	A site meeting has taken place. Advised to submit a listed building consent application in respect to the unauthorised works that have taken place.	
----	------------------	----------------	---------------------	--	---	--



**PLANNING AND ACCESS
COMMITTEE 20 JANUARY 2021**

SECTION 106 AGREEMENTS

**SNOWDONIA NATIONAL PARK AUTHORITY
PLANNING AND ACCESS COMMITTEE, 20 JANUARY 2021**

SECTION 106 AGREEMENTS

	Application No.	Date application was received	Location	Development	Present Position
1.	NP5/58/363F	26/04/19	Nant Eos, Dyffryn Ardudwy.	Conversion to open market dwelling unit and installation of sewage treatment plant.	Awaiting reply from applicants solicitor
2.	NP5/72/134K	08/10/19	Plot 2 Maes Gwyn, Rhyd Uchaf.	Erection of one bungalow (Affordable local needs)	Awaiting transfer or title to go through Land Registry to the applicant, before the agreement can be signed.
3.	NP5/72/134L	08/10/19	Plot 4 Maes Gwyn, Rhyduchaf.	Erection of one bungalow (Affordable local needs)	Awaiting transfer or title to go through Land Registry to the applicant, before the agreement can be signed

Number of applications on committee list 02 December 2020 = 4

**APPLICATIONS SUBJECT TO A SECTION 106 AGREEMENT AND WHICH HAVE BEEN COMPLETED SINCE
PLANNING & ACCESS COMMITTEE
02 DECEMBER 2020**

Application No.	Location	Development
NP5/65/L359	Capel Coffa, Llaneltyd.	Conversion of chapel to open market dwelling

**APPLICATIONS SUBJECT TO A SECTION 106 AGREEMENT WHICH HAVE BEEN REFUSED, WITHDRAWN, OR
DISPOSED, OR WHERE AN AGREEMENT IS NO LONGER NECESSARY SINCE PLANNING & ACCESS
COMMITTEE 02 DECEMBER 2020**

Application No.	Location	Development



**PLANNING AND ACCESS
COMMITTEE 20 JANUARY 2021**

**OUTSTANDING APPLICATIONS
WHERE MORE THAN 13 WEEKS HAVE
ELAPSED**

SNOWDONIA NATIONAL PARK AUTHORITY

**PLANNING AND ACCESS COMMITTEE 20 JANUARY 2021
OUTSTANDING APPLICATIONS WHERE MORE THAN 13 WEEKS HAVE ELAPSED**

Awaiting Welsh Government Highways

NP5/73/26B	24/05/19	Utica Buildings, Trawsfynydd.	Change of use of land to external Storage yard.
------------	----------	-------------------------------	---

Awaiting response from Ecologist and NRW

NP5/57/182B	24/08/20	Wastewater Treatment Works, Dolgellau. LL40 1YA	Demolition of existing inlet works and the installation of a replacement inlet works.
NP5/60/157A	25/08/20	Gelligemlyn, Ganllwyd. LL40 2HH	Conversion and rebuilding of outbuilding to form short term holiday letting unit (Re-submission).

Awaiting Further Ecology Report

NP5/52/384D	23/06/20	Land at Cefn-yr-Owen, Penmaenpool. LL40 1TP	Installation of permanent track to access to Emergency Service mast site (Re-submission).
NP5/70/114G	10/08/20	Llechwedd Ystrad, Llanuwchllyn. LL23 7DB	Rural enterprise dwelling (including package treatment plant).

Awaiting Ecology

NP5/75/73D	21/10/19	Ynys, Cwrt, Pennal.	Conversion and alterations to existing BCF Hut to form holiday let accommodation and installation of septic tank (Re-submission),
NP5/78/T336	25/08/20	Cae'n-y-Cefn, Trawsfynydd. LL41 4YE	Extension to rear of dwelling, conversion of attached outbuildings to become part of dwelling, demolition and erection of outbuilding/ garage, and define domestic curtilage.

In Discussion With Agent

NP5/58/81Y	23/04/20	Dyffryn Seaside Estate, Dyffryn Ardudwy. LL44 2HD	Extension to touring caravan site to accommodate additional 15 units, re-site 3 static caravans, erection of new toilet block and landscaping,
NP5/58/629	29/01/20	Plas Meini & Swyn y Mor, Dyffryn Ardudwy. LL42 2BH	Outline permission for the erection of 2 open market and 2 affordable dwellings. integral garages and formation of new vehicular access on to the A496.

Awaiting Additional Information in Relation to the Farm Appraisal

NP5/69/407	25/08/20	Land at Brynllwyn, Rhoslefain. LL36 9NH	Construction of rural enterprise dwelling
------------	----------	---	---

Total applications on list = 10

Total applications on list Committee 02 December 2020 = 8

DEDDF LLYWODRAETH LEOL (HAWL I WYBODAETH) 1985**RHESTR O BAPURAU CEFNDIR**

Ystyrir y dogfennau canlynol fel papurau cefndir ar gyfer adroddiadau ar geisiadau ac eitemau gorfodaeth a wnaed dan Ddeddfau Cynllunio 1990.

Ffurflen gais, gan gynnwys unrhyw Dystysgrif.

Cynlluniau a dogfennau eraill i gefnogi'r cynigiad.

Sylwadau cyrff cyhoeddus a hysbyswyd neu yr ymgynghorwyd a hwy, gan gynnwys swyddogion eraill yr Awdurdod, Cynghorau Cymuned, Cynghorau Unedol, Ymgwymerwyr Statudol, Adrannau neu asiantau'r Llywodraeth (ac eithrio cyngor cyfreithiol, a llythyrau yn gofyn am gyngor cyfreithiol).

Llythyrau a dderbyniwyd o ffynonellau eraill, yn cynnwys aelodau o'r cyhoedd. (Ac eithrio gohebiaeth gydag hysbyswydd gwarchoddedig).

Lluniau o'r safle ac o ddatblygiadau tebyg mewn mannau eraill.

Deddfau Cynllunio 1990 ac unrhyw deddfwriaeth ychwanegol.

Deddf Cynllunio ac Iawndal, 1991.

Deddf yr Amgylchedd, 1995.

Deddf Cynllunio a Phrynu Gorfodol, 2004.

Deddf Iawnderau Dynol, 1998.

Cyngor cyhoeddedig y Llywodraeth (lle cyfeirir ato mewn adroddiadau ac eitemu unigol).

Y Cynllun Fframwaith ynghyd ac unrhyw gynigion i'w ddiwygio a gyhoeddwyd.

Cynlluniau Lleol, ynghyd ac unrhyw gynigion i'w diwygio a gyhoeddwyd (lle cyfeirir atynt mewn adroddiadau ar eitemau unigol).

Ffeiliau ar geisiadau cynllunio blaenorol ar safleoedd y cynigion presennol.

Unrhyw ddogfen arall y cyfeirir ati mewn adroddiadau ar eitemau unigol.

LOCAL GOVERNMENT (ACCESS TO INFORMATION) ACT 1985**LIST OF BACKGROUND PAPERS**

The following documents are considered background papers for reports on applications and enforcement items made under the Planning Acts 1990.

Application form, including any Certificates.

Plans and other documents in support of the proposal.

Comments of public bodies notified or consulted, including other Officers of the Authority, Community Councils, Unitary Councils, Statutory Undertakers, Government Departments or agencies, (excluding legal advice and requests for legal advice).

Letters received from other sources, including members of the public. (Excluding correspondence with a protected informant).

Photographs of the site or of similar developments elsewhere.

The Planning Acts 1990 and subsidiary legislation.

The Planning and Compensation Act, 1991.

The Environment Act, 1995.

The Planning and Compulsory Purchase Act, 2004.

The Human Rights Act, 1998.

Published Government advice (where referred to in reports on individual items).

The Structure Plan together with any published proposals for amendments.

Local Plans, together with any published proposals for amendments (where referred to in reports on individual items).

Files for previous planning applications on sites of current proposals.

Any other document which may be referred to in reports on individual items.

ITEM NO. 7.1

MEETING	Planning and Access Committee
DATE	January 20, 2021
TITLE	Supplementary Planning Guidance (3): Planning and the Welsh Language
REPORT BY	Sion Roberts (Planning (Policy) Officer)
PURPOSE	To approve the draft updated Supplementary Planning Guidance (3) - Planning and the Welsh Language, with any necessary changes for public consultation.

1. BACKGROUND

The Authority adopted the Eryri Local Development Plan (ELDP) 2016-2031 on the 6th February 2019. As Members are aware, the Eryri LDP contains strategic policies and development policies as a basis for deciding planning applications. Supplementary Planning Guidance documents (SPGs) provide further detailed information, in support of the ELDP policies. To give further guidance regarding the new policies formed through the short form revision a series of new and updated SPGs are being prepared to provide further information and guidance on the implementation of policies contained in the ELDP. SPGs should expand and interpret planning policies and not in themselves, form new areas of policy.

2. PURPOSE

The purpose of the Planning and the Welsh Language SPG is to;

- Provide detailed guidance about the manner in which the Planning Authority will deal with developments which may have an effect on the future of the Welsh language within communities.
- Provide guidance to assist officers and members in determining planning applications.

3. CURRENT POSITION

The original Planning and the Welsh Language SPG was adopted in September 2011, but following the release of the 2011 Census data and the adoption of the revised Eryri Local Development Plan in February 2019 it was decided timely to update the SPG in order for it to reflect the current situation and policies more accurately. Due to only minor changes to Development Policy 18: The Welsh language and the Social and Cultural fabric of communities in the adopted ELDP, the changes made to the SPG include updating facts, figures and policies rather than any change in its functionality and purpose.

The draft SPG was originally taken to the September 2 2020 Planning and Access Committee where it was decided that a Members Working Group would be held at a later date in order to discuss the SPG further. Following the November 11 2020 Working Group, a number of changes were suggested, and the document has been amended with the following;

- A request to include reference to the Equalities Act 2010 and Human Rights Act 1998. It was considered that no reference to the Human Rights Act was required, however a sentence has been added to the end of Par 1.1 to note that the draft SPG has successfully undertaken an equality impact assessment and conforms with the Act
- Par 2.1 – change of wording from ‘is considered’ to ‘is one’ when referring to the language being a special quality of the National Park
- Direct quotes in the context section have been put in italics and/or inverted commas.
- Par 2.3 hasn’t been re-instated because the wording is included (or has been moved to) under par 2.2
- Edit to par 2.8 in terms of quoting TAN 20 and edit to par 2.9 to establish the National Park’s view whilst making sure to conform to Welsh Government policies.
- Deleted the wording ‘as far as possible’ in par 4.2
- Par 5.3 – addition of text to note that “The Authority has the right to refuse a statement if it is not satisfied that the individual presenting it has sufficient experience in the field”
- Par 6.2 – Added wording to the end of the paragraph noting “Developers should also demonstrate how they will make a positive contribution and maximise use of the language in all areas, particularly in areas where the Welsh language is thriving.”
- Additional wording at the end of par 8.3 to include “As part of the application, an action plan demonstrating how the applicant plans to mitigate any negative impact and/or demonstrate opportunities to improve and upgrade the local position in terms of the language and provision, should be presented. This should also include a plan of how to monitor the impact”
- Additional text to suggest possible mitigation measures under the heading ‘Mitigation measures’ under Appendix A

4. NEXT STEPS

Following any amendments agreed by the Planning and Access Committee on the updated Planning and the Welsh Language SPG, it will be subject to a 6 week public consultation. All responses received following this consultation will be reported to the Planning and Access Committee. Any necessary changes will be made to the SPG before formally adopting the updated guidance as a material planning consideration.

5. RECOMMENDATION

For Members to approve the draft Planning and the Welsh Language SPG for public consultation, subject to any modifications considered appropriate.

| **NSNOWODONIA NATIONAL PARK AUTHORITY**



**SUPPLEMENTARY PLANNING GUIDANCE:
PLANNING AND THE WELSH LANGUAGE**

| **September ~~January~~ 2011 2021**

FOREWORD

The Welsh language is fundamental to the cultural richness of Snowdonia.

As Chairman of the Planning and Access Committee I am committed to ensuring that the Authority delivers a planning service that maintains the character and balance of the predominantly Welsh speaking communities of the National Park and I am delighted to introduce this Supplementary Planning Guidance. The guidance sets out clearly how the Authority will take decisions where there may be an impact on Welsh language within the community.

National planning policy recognises the importance of the Welsh language as a planning matter. This is supported by the Authority's local development plan policy which seeks to ensure that development supports the character and language balance of predominantly Welsh speaking communities and seeks to defend such communities from inappropriate development with the potential to undermine the language.

For some time the Authority has been committed to removing uncertainties in applying this policy and to improving the basis on which decisions on individual applications in relation to the policy are made.

Drawing on the research commissioned in partnership with other local planning authorities, the Welsh Assembly Government, the Welsh Language Board and the Home Builders' Federation, the Authority has developed this Supplementary Planning Guidance. We are extremely grateful to Iwan Evans for his work in drafting the guidance.

I am confident that this Supplementary Planning Guidance will prove beneficial to applicant, local community, local planning authority and planning inspectorate alike in securing developments that contribute to the distinctive character of Eryri and by increasing understanding of and helping to clarify the potential impacts of developments where there may be an impact on the Welsh language.

Elwyn Edwards
Chairman, Planning and Access Committee
Snowdonia National Park Authority

Contents

1 Introduction4
2 Setting The Context6
3 Local Linguistic Patterns10
4 National Park Planning Policies18
5 Assessing The Effects Of Development21
6 Community And Linguistic Statement22
7 Community And Linguistic Impact Assessment23
8 Evaluating The Assessment24
9 Monitoring25

Appendix A: Community And Linguistic Statement26
Appendix B: Community And Linguistic Impact Assessment27

- Formatted: Font: (Default) Arial
- Field Code Changed
- Formatted: Font: (Default) Arial
- Formatted: Font: (Default) Arial
- Formatted: Font: (Default) Arial
- Formatted: Font: (Default) Arial
- Formatted: Font: (Default) Arial
- Formatted: Font: (Default) Arial
- Formatted: Font: (Default) Arial
- Formatted: Font: (Default) Arial
- Formatted: Font: (Default) Arial
- Formatted: Font: (Default) Arial
- Formatted: Font: (Default) Arial
- Formatted: Font: (Default) Arial

1 INTRODUCTION

- 1.1 This [guidance](#) note is one of a series of Supplementary Planning Guidance [Notes \(SPGs\) documents](#) which provides further detailed information [on how policies contained in the revised Eryri Local Development Plan \(ELDP\) \(2016-2031\) will be applied in practice by the National Park Authority in support of the policies contained in the Eryri Local Development Plan](#). The Supplementary Planning Guidance is intended to give [greater more](#) detail on specific issues than is possible or appropriate in the Eryri Local Development Plan. [Whilst interpreting this guidance regard should be given to other policies within the ELDP. The SPG has undertaken, and passed, an equality impact assessment.](#)

Purpose

- 1.2 The purpose of the Supplementary Planning Guidance is:
- To provide detailed guidance about the manner in which the Planning Authority will deal with developments which may have an effect on the future of the Welsh language within communities.
 - To provide guidance to assist officers and members in determining planning applications.

Status

1.3 This Supplementary Planning Guidance will be a material planning consideration when decisions are made on planning applications.

1.4 This Supplementary Planning Guidance Note (SPG) [has been produced to support the policies within the revised supplements policies contained within the Eryri Local Development Plan \(2007-2016 – 2022/2031\)](#). ~~The most relevant policy is Development Policy 18: The Welsh language and the Social and Cultural fabric of communities.~~

1.5 In accordance with good practice, applicants are encouraged to discuss applications with officers, beforehand, in order to decide what kind of language assessment needs to be prepared.

1.6 [The most relevant policies in the revised Eryri LDP are:](#)
1.5

- [Development Policy 18: The Welsh Language and the Social and Cultural fabric of communities](#)
- [Strategic Policy A: National Park Purposes and Sustainable Development](#)

Formatted: Indent: Left: 1.02 cm, No bullets or numbering

Formatted: No bullets or numbering

Formatted: Font: (Default) Times New Roman, 12 pt

Formatted: Normal

Formatted: Font: (Default) Arial, Bold

Formatted: List Paragraph, Bulleted + Level: 1 + Aligned at: 0.63 cm + Indent at: 1.27 cm

Formatted: Font: 12 pt, Bold

Formatted: List Paragraph

Formatted: List Paragraph, Bulleted + Level: 1 + Aligned at: 0.63 cm + Indent at: 1.27 cm

Formatted: Font: (Default) Arial, Bold

2 SETTING THE CONTEXT

2.1 The Welsh Language is one of the 'Special Qualities of the National Park and the language is an integral element in the fabric of communities locally and is a reflection of their traditions and culture. To ensure that communities develop in a sustainable manner, it is essential, when contemplating change, to consider all the factors influencing the situation and that new development being planned is appropriate and relevant. The town and country planning process regulates new developments and is therefore one important and influential element in the shaping of change in society.

~~2.2 Since the publication, in 1998, of Circular 53/88, the Welsh language has been~~ an important planning consideration in the creation of land use policies and in the decision making process on planning applications. ~~Nevertheless, the isolation of~~ ~~However, the exact effect of an individual development on language over a period of time is a matter that is difficult to analyse and prove decisively. This guidance attempts to address the problem by viewing communities in a holistic manner, giving due regard to language as an element which is an integral part of community activity and life. This can be considered as a sustainable methodology in which a number of economic, social, cultural and environmental elements influence one another and where change in one dimension impinges on another.~~

~~2.3 This is achieved in the document by establishing, in two stages, a more analytic methodology for assessing the impact of different kinds and scale of development on communities and language. It is the responsibility of applicants for planning permission to conform to these guidelines and to produce sufficient information to enable the Planning Authority to arrive at a decision about an individual application.~~

~~2.4 The Welsh Language (Wales) Measure 2011 made provision for the official status of the Welsh language in Wales and created a new legislative framework. The measure establishes the principle that the Welsh language is not to be regarded as less favourable than the English language.~~

~~2.5 This was highlighted further in the Planning (Wales) Act 2015, where the Act introduced legislative provision for the Welsh language in the planning system. Sections 11 and 31 of the Act ensures that the Welsh language is given consistent and appropriate consideration in both the preparation of development plans, and the making of planning decisions.~~

Wellbeing of Future Generations (Wales) Act 2015

~~2.22.6 The Wellbeing of Future Generations (Wales) Act 2015 has seven well-being goals, which certain public bodies (including local authorities and National Park authorities) must seek to achieve in order to improve wellbeing both now and in the future. One of the well-being goals is 'A Wales of Vibrant Culture and Thriving Welsh Language'. As noted by Welsh Government, "This well-being goal will be achieved through a society that promotes and protects culture, heritage and the Welsh language, and which encourages people to participate in the arts and sports and recreation. The Wellbeing Act seeks to improve the social, economic, environmental and cultural well-being of Wales."~~

~~2.31.1 Nevertheless, the isolation of the exact effect of an individual development on language over a period of time is a matter that is difficult to analyse and prove decisively. This guidance attempts to address the problem by viewing communities in a holistic manner, giving due regard to language as an element which is an integral part of community activity and life. This can be considered as a sustainable methodology in~~

Formatted: Indent: Left: 1.02 cm, No bullets or numbering

Formatted: Indent: Left: 1.02 cm, No bullets or numbering

Formatted: Indent: Left: 1.02 cm, No bullets or numbering

Formatted: No bullets or numbering

Formatted: Font: Bold

Formatted: Indent: Left: 1.02 cm, No bullets or numbering

~~which a number of economic, social and environmental elements influence one another and where change in one dimension impinges on another.~~

~~This is achieved in the document by establishing, in two stages, a more analytic methodology for assessing the impact of different kinds and scale of development on communities and language. It is the responsibility of applicants for planning permission to conform to these guidelines and to produce sufficient information to enable the Planning Authority to arrive at a decision about an individual application.~~

Formatted: No bullets or numbering

2.4 Planning Policy Wales Edition 10 and TAN 20 – Planning and the Welsh Language

Formatted: Font: Bold

Formatted: No bullets or numbering

Formatted: Font: Bold

2.7 Welsh Government policies relating to this matter are included in Planning Policy Wales and technical advice is provided in Technical Advice Note 20 “Planning and the Welsh Language” - October 2017. These documents indicate how local planning authorities, when they are producing plans or making planning decisions, should consider the needs and welfare of the Welsh language, and in so doing, contribute to its well-being. The purpose of this TAN is to provide guidance on how the Welsh language may be given appropriate consideration in the planning system and on compliance with the requirements of planning and other relevant legislation. The language is therefore, unquestionably, a material consideration in planning.

Formatted: Font color: Black

Formatted: Indent: Left: 1.02 cm, No bullets or numbering

2.52.8 In terms of signs and advertisements, TAN 20 notes that they can “*have a strong visible impact on the character of an area, including its linguistic character. They are also one method of promoting the distinctive culture of Wales, which is of significance to the identity of individual communities as well as the tourism industry. Policies in LDPs relating to signage and advertising subject to planning control may promote the provision of bilingual signs.*” Detailed advice on signs and advertising, to encourage and assist bilingual provision, could be set out in an SPG (see SPG ** on the National Park Authority’s website). Outside planning controls, encouragement may also be given to using traditional Welsh names for new developments and streets and certainly this will be the case in the National Park.

2.62.9 It is the Authority’s view that signs within the National Park should be at least bilingual in order to protect one of the key special qualities of the Park, and therefore on an application/case basis, will request that any proposals for signs and/or advertisements are at least bilingual.

2.10 Welsh Government’s “Building Better Places – Placemaking and the Covid 19 recovery” (July 2020) is a document which sets out the Government’s planning policy priorities to assist in taking action in the recovery period after the Covid-19 pandemic. It notes that “the document references the National Sustainable Placemaking Outcomes, one of which is ‘Creating and Sustaining Communities’. A key aspect of this outcome is ensuring and enabling the Welsh language to thrive. The National Sustainable Placemaking Outcomes are set out in PPW and are highly relevant at this time.”

Formatted: Underline, Font color: Light Blue

Formatted: Font color: Black

Formatted: Indent: Left: 1.02 cm, No bullets or numbering

Welsh Language Strategy – Cymraeg 2050

2.7

2.11 In 2017, Welsh Government announced its plans to double the number of Welsh speakers to one million by 2050. One issue mentioned was the threats to traditional Welsh speaking communities due to young people moving away to find work and incomers who do not speak the language. Proposals were outlined under six key areas for discussion:

Formatted: Font: Bold

Formatted: No bullets or numbering

Formatted: Font: Bold, Font color: Black

Formatted: Body Text

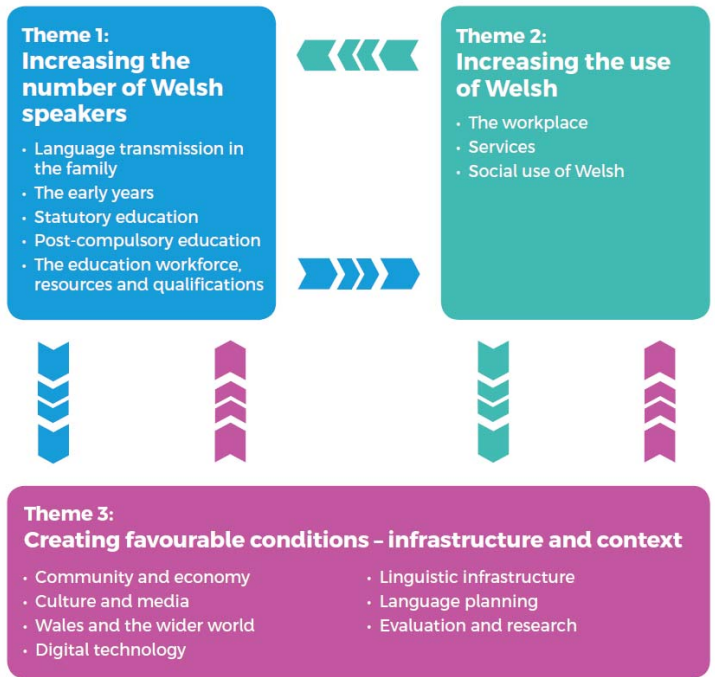
- Planning – making the Welsh language a part of every aspect of life
- Everyday life – encouraging people to use Welsh and to respect those who speak it
- Education – introducing people to Welsh in schools, colleges and adult learning
- People – making sure that the language is passed on to children and that it is used in the workplace
- Support – through dictionaries, digital tools and Welsh language media
- Rights – ensure that laws promoting the official status and use of Welsh remain effective.

Formatted: Body Text, Bulleted + Level: 1 + Aligned at: 1.65 cm + Indent at: 2.29 cm

2.12 This vision is highlighted in the image below, taken from the ‘Cymraeg 2050’ document

Formatted: Body Text, Indent: Left: 1.02 cm

Formatted: Body Text



Formatted: Body Text, Indent: Left: 1.02 cm

Formatted: Body Text, Centered, Indent: Left: 1.02 cm

3 LOCAL LINGUISTIC PATTERNS

3.1 The Welsh language is spoken by ~~62.1~~**58.6%** of the resident population within Snowdonia National Park compared with just ~~20.8~~**19.0%** of the population of Wales, according to the ~~2001~~**2011** census. This masks considerable variation however, with lower proportions (~~26-40%~~**30-55%**) of Welsh speakers in some communities such as ~~Conwy, Arthog, Aberdyfi and Penmaenmawr~~**some coastal areas of Merionnydd and in the Conwy Valley and higher proportions of Welsh speakers in areas such as Llanuwchllyn (80.4%), Y Bala (75.1%) and Ysbyty Ifan (77.0%).** There has also been a decline in the proportion of Welsh speakers of approximately 2 % over a 10-year period, replicated to a similar [but varied] extent in Gwynedd, Ynys Môn, Carmarthenshire and Ceredigion, which also have percentages of Welsh speakers in excess of 50%. The table below presents the results of the 2011 Census for the Welsh language for Snowdonia National Park. The relative percentages for the national level are also displayed.

3-2

Census 2011	Actual Number	% SNPA	% Wales
Total Population – (Age 3 and over)	24,959		
No skills in Welsh	8,104	32.5%	73.3%
Can understand spoken Welsh only	1,861	7.5%	5.3%
Can speak Welsh	14,626	58.6%	19.0%
Can speak but cannot read or write Welsh	1,334	5.3%	2.7%
Can speak and read but cannot write Welsh	834	3.3%	1.5%
Can speak, read and write Welsh	12,413	49.7%	14.6%
Other combination of skills in Welsh	413	1.7%	2.5%

3-3

3-4

3.2 The table below shows the comparison between 2011 and 2001 percentages within Snowdonia National Park. From the results of the census it is observed that 67.5% of the Park's population has at least one Welsh language skill.

Census 2011	% SNPA 2011	% SNPA 2001
No skills in Welsh	32.5%	30.2%
Can understand spoken Welsh only	7.5%	6.1%
Can speak Welsh	58.6%	62.1%
Can speak but cannot read or write Welsh	5.3%	5.3%
Can speak and read but cannot write Welsh	3.3%	2.3%
Can speak, read and write Welsh	49.7%	54.5%
Other combination of skills in Welsh	1.7%	1.6%

3-53.3 The change in percentages within the National Park is consistent with the trend seen at the national level. There was a 3.5% decrease in the percentage of people who could speak the language between 2001 and 2011, and this percentage is above the national percentage change of 2%.

3.4 ~~There has been a~~**This** trend of decline in the number of Welsh speakers in the National Park ~~has been apparent~~**between 1951 and 2001**~~2011~~**.** For example, ~~B~~**between 1971 and 1991** the proportion fell from 77 per cent to 65 per cent. Although this decline is

Formatted: Indent: Left: 1.02 cm, No bullets or numbering

Formatted: Font: Bold

Formatted: Font: Bold

Formatted: Right

Formatted: Right

Formatted: Right

Formatted: Right

Formatted: Right

Formatted: Right

Formatted: Right

Formatted: Right

Formatted: Right

Formatted: Indent: Left: 1.02 cm, No bullets or numbering

Formatted: Indent: Left: 1.02 cm, No bullets or numbering

Formatted: Font: Bold

Formatted Table

Formatted: Right

Formatted: Font: Bold

Formatted: Right

Formatted: Font: Not Bold

Formatted: Right

Formatted: Right

Formatted: Font: Not Bold

Formatted: Right

Formatted: Font: Not Bold

Formatted: Right

Formatted: Font: Not Bold

Formatted: Right

Formatted: Font: Not Bold

Formatted: Right

Formatted: Font: Not Bold

Formatted: Right

Formatted: Indent: Left: 1.02 cm, No bullets or numbering

still continuing, the rate of decline has slowed considerably and, for example in 2001 62 per cent of the National Park population was able to speak Welsh, with 58.6% being able to speak Welsh in 2011. [see Map 2]. Demographic changes include a decline in the proportion of residents 20-29 year olds, a higher than average proportion of retired people aged 65 and over (26.0% 18%, compared with 14.818% for Wales – the % for over 65's in the Park in 2001 was 21%) and a growth in the proportion of 50-60 – 59-74 year olds. Younger people More people are moving into-out of the area than are and older people moving out-in has and this has contributed significantly to the substantial increases in house prices in the area. A number of possible factors influencing these changes include the changing pattern of second homes / retirement homes and external growth in economic opportunities for Welsh speakers. The table below shows a breakdown of Welsh speakers within the National Park by age groups

	Actual Number	Percentage
Total Population – (Age 3 and over)	24,959	
Age 3 to 15	3,103	12.4%
Age 16 to 64	15,362	61.5%
Age 65 and over	6,494	26.0%
Can speak Welsh – age 3 and over	14,626	
Can speak Welsh: Age 3 to 15	2,776	11.1%
Can speak Welsh: Age 16 to 64	8,751	35.1%
Can speak Welsh: Age 65 and over	3,099	12.4%
One or more skills in Welsh age 3 and over	16,855	
One or more skills in Welsh: Age 3 to 15	2,934	11.8%
One or more skills in Welsh: Age 16 to 64	10,320	41.3%
One or more skills in Welsh: Age 65 and over	3,601	14.4%

3.5 Welsh is at the heart of the National Park's cultural and community identity as a living and sustainable language in these communities. Map 1 shows the distribution of Welsh speakers in the communities of the National Park on the basis of the 2004-2011 census. The Welsh language and education policies of Gwynedd and Conwy Councils support the growth and development of the Welsh language throughout the National Park.

3.6 The table below shows the percentage of people that can speak Welsh within the community councils of the National Park (these are communities either fully or partially within the Park – bold highlights fully within the Park boundary).

Community Council	% Can Speak Welsh Speaker 2011	% Can Speak Welsh 2004	Percentage increase/decrease
Aber	44.9%	47.1%	+ 2.2%
Aberdyfi	36.2%	30.0%	- 6.2%
Arthog	32.0%	27.6%	- 4.4%
Bala	79.7%	75.1%	- 4.6%
Barmouth	43.5%	39.8%	- 3.7%
Beddgelert	60.7%	50.8%	- 9.9%

Formatted: Font: Italic

Formatted: Indent: Left: 1.02 cm, No bullets or numbering

Formatted: Font: Bold

Formatted: Right

Formatted: Right

Formatted: Right

Formatted: Right

Formatted: Font: 11 pt

Formatted: Right

Formatted: Font: 11 pt

Formatted: Font: 11 pt

Formatted: Font: Bold

Formatted: Right

Formatted: Right

Formatted: Right

Formatted: Font: Bold

Formatted Table

Formatted: Font: Bold

Formatted: Font color: Black

Formatted: Body Text, Left, Indent: Left: 0 cm

Formatted: Font: Italic

Formatted: Font: Bold

Formatted: Font: Bold

Formatted: Font: Bold

Formatted: Font: Bold

Formatted: Right

Formatted: Font: Bold

Formatted: Right

Formatted: Right

Formatted: Font: Bold

Formatted: Right

Formatted: Right

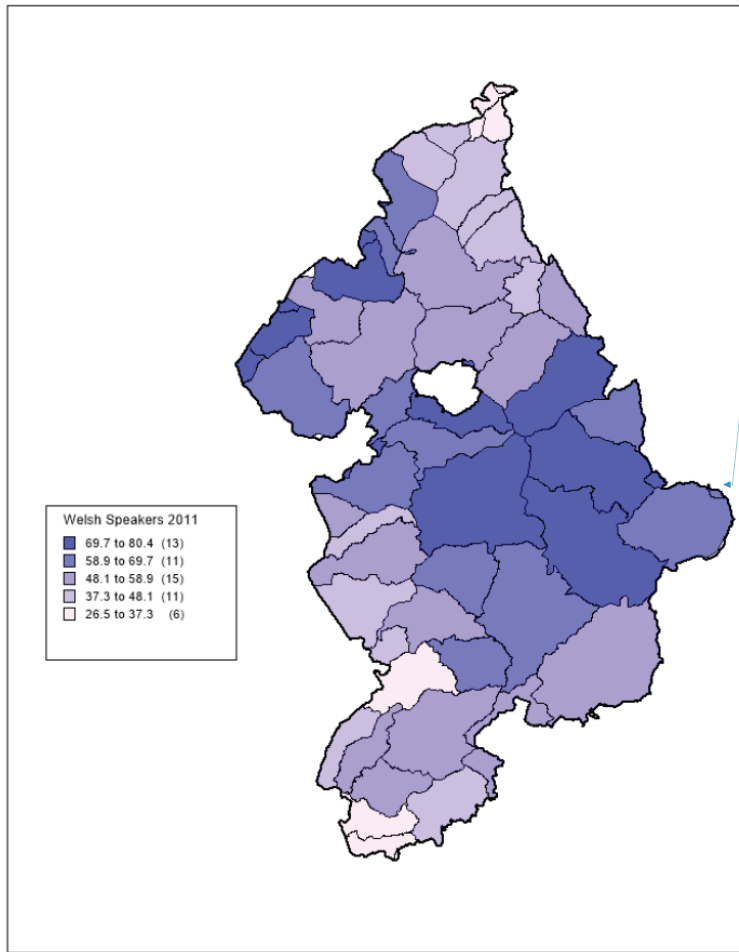
Formatted: Font: Bold

Formatted: Right

|

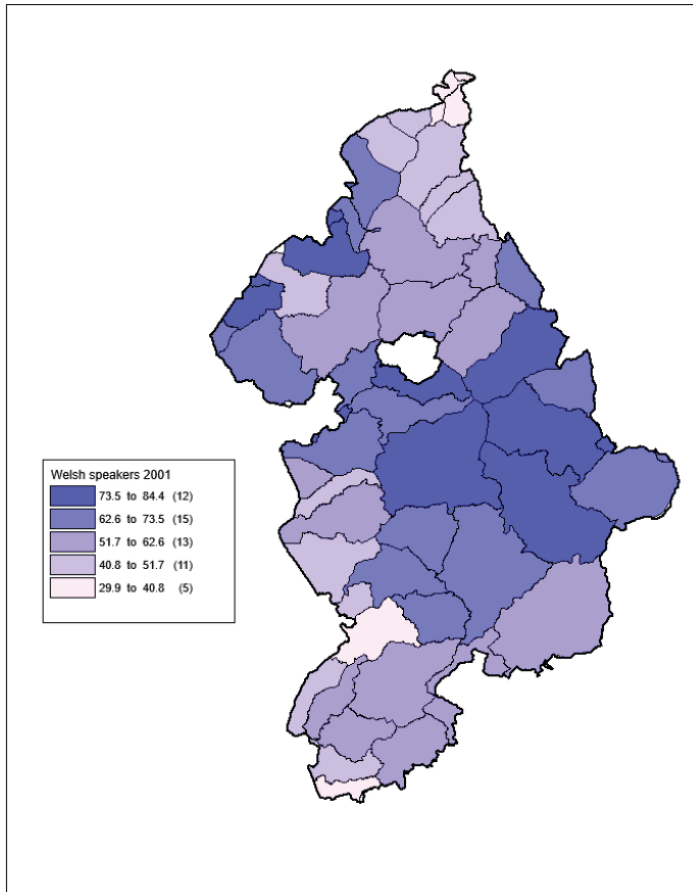
Formatted: Indent: Left: 0 cm

i. Map 1: distribution of Welsh speakers as a proportion of the population aged 3 and over: ~~2001~~ 2011 Census



Formatted: Centered

ii. Map 2: distribution of Welsh speakers as a proportion of the population aged 3 and over: ~~2004~~ 2001 Census



Formatted: Font color: Auto

Formatted: Indent: Left: 2.86 cm, No bullets or numbering

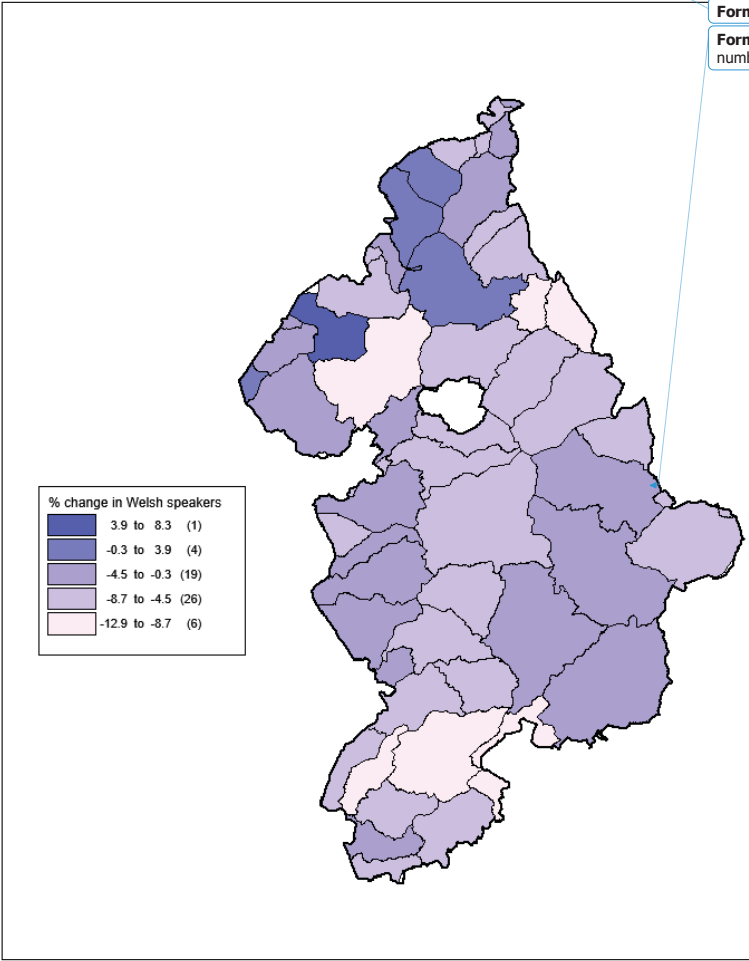
* although the shadings in map 1 and map 2 may look similar, the legend notes that the colours represents different percentages between each maps. Therefore, please take the legend into consideration whilst looking at the maps. Map 3 on the following page shows the percentage change in Welsh speakers between the 2001 census and 2011 census.

Formatted: Left, Indent: Left: 0.5 cm, No bullets or numbering

Formatted: Indent: Left: 2.86 cm, No bullets or numbering

Formatted: Font color: Auto

iii. [Map 3: percentage of change of Welsh speakers between 2001 and 2011](#)



Formatted: Font color: Auto

Formatted: Indent: Left: 2.86 cm, No bullets or numbering

Formatted: Left, Indent: Left: 2.86 cm, No bullets or numbering

ii.

Formatted: Centered

[blank page to reflect the Welsh Version]

4 NATIONAL PARK PLANNING POLICIES

- 4.1 Development Policy 18 of the [revised](#) Eryri Local Development Plan, set out below provides the detailed policy basis for taking the Welsh language into account as a material consideration in determining planning applications:

Development Policy 18: The Welsh language and the Social and Cultural fabric of communities (18)

In determining all planning applications within the National Park the needs and interests of the Welsh Language will be taken into account. This will be achieved through:

- i. Supporting development which maintains or enhances the integrity of the Welsh language.
- ii. Refusing development which, due to its size, scale or its location, would cause significant harm to the character and language balance of a community. To be able to make an informed decision on applications that may have an effect on the future of the Welsh language within communities, applicants will be required to submit a:
 - a) “Community and Linguistic Statement” to accompany a planning application for ~~a smaller development. Smaller developments in this case are regarded as proposals unanticipated windfall sites~~ of 5 or more residential units ~~on a site/land that has not been designated in the development plan, for residential use;~~ a commercial, industrial or tourist development with an area of 1000m² or more; a development which is likely to lead to the loss of community facilities or employment opportunities and a tourism development creating ten or more holiday units.
 - b) More detailed assessment in the form of a “Community and Linguistic Impact Assessment” to accompany a planning application where developments are on a larger scale. Larger developments in this case are regarded as proposals which are substantially above the thresholds ~~outlined in criterion a. of a smaller development~~ and are likely to be located on unallocated sites, have some significance beyond the National Park boundary and be unrelated to specific policies in the Plan.
- iii. Mitigating against any adverse effect through requiring in appropriate circumstances a financial contribution through a Section 106 agreement.
- iv. Encouraging all signage by public bodies and by commercial and business companies to be bilingual or in Welsh only to protect and promote the distinctive cultural amenity of the National Park.
- v. Encouraging the use of Welsh place names for new developments, house and street names.

- 4.2 This policy emphasises the need to protect local communities and the Welsh language, by the town and country planning process and provides a basis for refusing planning applications where this does not occur.

4.3 Snowdonia National Park Authority requests that any proposals for signs and/or advertisements are at least bilingual.

4.4
4.3

Formatted: Font color: Black

5 ASSESSING THE EFFECTS OF DEVELOPMENT

- 5.1 As there is a high percentage of Welsh speakers in every community, the language is part of the fabric of society and is linked to the culture and traditions of the area. It is therefore necessary to give careful consideration to the way in which new developments may affect the current pattern and to ask whether they are in keeping with local and national language policies.
- 5.2 In the case of smaller developments [listed in criterion ii a\) of Development Policy 18.](#), applicants are asked to submit a “**Community and Linguistic Statement**” (see Appendix A for guidance on the preparation of such a statement) to accompany their planning application. Where developments are on a larger scale and where they do not comply with national and local policies, the planning authority will ask for a more detailed assessment which will be submitted in the form of a “**Community and Linguistic Impact Assessment**” (see Appendix B for guidance on the preparation of such a statement).
- 5.3 [When a development proposal requires the submission and presentation of either a 'Community and Linguistic Statement' or a 'Community and Linguistic Impact Assessment' as part of a planning application, the applicant will need to demonstrate the following:](#)
- [Evidence or justification of why the individual \(applicant or agent\) presenting the statement/assessment is suitable or qualified to do so – \(The Authority has the right to refuse a statement if it is not satisfied that the individual presenting it has sufficient experience in the field\)](#)
 - [Mitigation and improvement measures \(i.e. how the application will seek to create cultural and linguistic gains – not only mitigation\)](#)
 - [Impact the development may have on the wider community](#)
- 5.4 [Additional detail is given under Appendix A and Appendix B](#)

6 COMMUNITY AND LINGUISTIC STATEMENT

6.1 As a starting point, the Planning Authority will ask for a Community and Language Statement as part of a planning application for developments which fall within one or more of the following categories:-

- ~~Unanticipated windfall sites~~ a development of 5 or more residential units ~~on a site/land that has not been designated, in the development plan, for residential use~~
- a commercial, industrial or tourist development with an area of >1000m² or more
- a development which is likely to lead to the loss of community facilities or job opportunities
- a tourism development creating ten or more holiday units.

Formatted: Font: 11 pt

6.2 The Statement will form part of the background material for assessing a planning application and will be one of several other material factors which will be considered; it is only infrequently that an application will be determined on the basis of the Statement alone. In most instances, the Statement will ~~be expected~~ give the opportunity to demonstrate positive influences on communities, particularly where the development serves to meet local needs, ~~well being goals and the aspirations contained in the Welsh Language Strategy – Cymraeg 2050~~. In response to any negative impacts of the development, the applicant will be given the opportunity to expand on the benefits of the development and to present evidence of mitigating factors relevant to the application and planning. This could be achieved, if relevant, by negotiating a formal Planning Obligation between the applicant and the Local Planning Authority. ~~Developers should also demonstrate how they will make a positive contribution and maximise use of the language in all areas, particularly in areas where the Welsh language is thriving~~

6.3 The verification and appraisal of the Statement will be a matter for the Planning Authority in making a decision about the application, taking into account any other relevant ~~factors~~ material planning considerations. The Planning Authority may disagree with the conclusions of the Statement. In such instances, an attempt will be made to verify the facts and to reach an understanding with the applicant about the main considerations. In order to provide support for potential applicants the Planning Authority will publish relevant statistics for each community and monitor the effect of any new developments as part of the background work on the Development Plan [see Appendix C] ~~and through annual Plan monitoring~~.

6.4 If, in the opinion of the authority, it can be shown unequivocally that the development is likely to have a negative effect on the community and that it will be detrimental to the Welsh language, the authority may refuse the application on these grounds alone. Additionally, it may be necessary, because of a vague or questionable conclusion to a Statement, for the authority to ask the applicant to prepare a full Assessment to enable it to consider the case in a more detailed and precise manner.

7 COMMUNITY AND LINGUISTIC IMPACT ASSESSMENT

- 7.1 From time to time, developments which are substantial in their scale and likely impacts may be submitted unexpectedly to the Planning Authority. In this context it is difficult to anticipate the specific size or actual type of development. Larger developments in this case are regarded as proposals which are substantially above the thresholds of a smaller developments listed in criterion ii a) of Development Policy 18 and are likely to be located on unallocated sites, have some significance beyond the National Park boundary and be unrelated to specific policies on the Plan. It is reasonable to suggest, that developments which are likely to be on a larger scale and more significant in their likely impact are likely to fall into one or more of the following categories, namely ones which:-
- are over and above the needs and aspirations of local communities
 - are on unallocated land and sites and contrary to the policies of the Development Plan
 - are not part of a local project or strategy
 - replicate past tendencies where a damaging effect has occurred on communities and language
 - are on a large scale in comparison with the level of demand in the local market
 - are not likely to contribute to communities in a sustainable manner
 - have some significance beyond the Park boundary
- 7.2 The assessment of any planning application will be a matter for the Planning Authority and it will decide whether an application falls within the above mentioned definitions. If that is the case, developers will be required to prepare a Community and Linguistic Impact Assessment which is much more rigorous than a Community and Language Statement, following the guidance provided in Appendix B.
- 7.3 The Assessment, in addition to other relevant information about the planning application, such as compliance with development plan policies, traffic or environmental considerations, will assist the Planning Authority in either refusing or granting planning permission. Rarely will decisions be likely to depend solely on the evidence in the Assessment.

8 EVALUATING THE ASSESSMENT

- 8.1 The applicant will be given an opportunity to present evidence in support of his/ her application and to demonstrate how the proposal would bring benefits to the local community. In addition, mitigating measures, relevant to the application and to planning, could be presented, in response to any negative effects of the development. [Additionally the applicant should provide evidence or justification of why they \(applicant or agent\) are suitable/qualified to present the assessment.](#)
- 8.2 The process of preparing an Assessment is subjective and it is possible that the Planning Authority's interpretation of the impacts on a community could be different from that of the applicant. In such cases efforts will be made to verify the facts and to reach an agreement with the applicant about the main considerations. In addition, it is likely that organisations and individuals from the community will express opinions that may be material planning considerations.
- 8.3 If, in the opinion of the Planning Authority, it can be clearly demonstrated that the development is likely to have a negative effect on the community and on the Welsh language, it will be possible for the Planning Authority, [in accordance with national and local planning policies](#), to refuse the application solely on these grounds. [As part of the application, an action plan demonstrating how the applicant plans to mitigate any negative impact and/or demonstrate opportunities to improve and upgrade the local situation in terms of the language and provision, should be presented.](#)

9 MONITORING

- 9.1 It is intended to monitor the actual effect of developments against the evidence that is submitted in Statements and Assessments in order to consider the effectiveness of the process outlined in this guidance. As a starting point the Authority has outlined, in Appendices, the main statistics and information sources which are available. From time to time, as new information becomes available, it is intended to check and update this list in the context of monitoring the guidance and the Development Plan. The Authority will release this information to prospective applicants.

APPENDIX A: COMMUNITY AND LINGUISTIC STATEMENT

It is necessary for the applicant to complete a Community and Linguistic Statement for the type of developments listed in [paragraph 17 criterion ii a\) of Development Policy 18](#). The statement should be completed by replying in as much detail as possible to the questions listed below which are relevant to the type of development under consideration. The Planning Authority will check the information and will possibly ask for an explanation or for further details in order to ensure that the Statement is accurate and complete before considering it in determining an application for planning permission.

General (all types of development)

Is the development:-

- consistent with local and national strategies/plans
- likely to satisfy local and community needs
- likely to maintain or add to communal facilities
- sustainable in the long term
- likely to be supported by the local community

Population Characteristics (all types of development)

Will the development:-

- attract newcomers to the area
- contribute to migration from the area

Residential

Does the development:-

- reflect local housing need including affordable homes
- resemble other developments completed during the last five years? If so, what are the cumulative impacts?

Employment

Will the development:-

- call for labour skills which are available locally
- create jobs for the local workforce
- attract workers from outside the County
- create new opportunities for the workforce
- lead to further investment

Mitigation Measures

Would it be possible to alleviate the negative effects? [Is there an opportunity for improvements or upgrading that would positively impact the language? Where relevant, these could include:](#)

- [provision of bilingual signs within and outside the development](#)
- [support and funding for language lessons for staff](#)
- [bilingual marketing and advertising](#)
- [supporting local labour and employment](#)
- [support and funding for cultural and language initiatives or local projects/centres](#)
- [phased development \(e.g. if a large housing development\)](#)

Appendix B: Community and Linguistic Impact Assessment

Background

~~The~~ It will be necessary to submit a Community and Linguistic Impact Assessment (CLIA) for developments falling within criterion ii b) of Development Policy 18. The methodology comprises a checklist to allow the developer and local planning authority to make an assessment of the likely impact of a development proposal against five aspects of community life:

- Population (levels and the characteristics of that population)
- Quality of life (therefore providing the impetus for people to remain, leave or move to the community)
- The economy (affecting employment opportunities for different groups as well as the cost of living and, more specifically, the cost of housing)
- Infrastructure (needed to sustain the community, particularly schools, health care and essential services)
- The social and cultural life of the community (expressed through the viability of cultural institutions, particularly those affecting younger people).

Population stability or moderate growth, combined with a high quality of life, a strong economy, high quality infrastructure and a vibrant social and cultural life are all central to community cohesion and sustainability. Where the Welsh language forms a part of the social fabric of a community, its fate and well-being is inexorably tied to the wider fortunes of that community. If a development is likely to be detrimental to any one of these aspects, it may also have an adverse impact on the Welsh language. However, if it is sensitive to the local context e.g. supporting the local economy, then the impact is far more likely to be positive.

The checklist provides guidance on assessing the likely impact of a development against the five aspects of community, with a view to establishing both its effects on the community in general and its impact on the Welsh language more specifically. It is a guide for those responsible for establishing likely impacts, designing policy and advising on development decisions.

Developers and Local planning authorities will need to search relevant statistics available locally and nationally to make a clear assessment of the data sources for the five community aspects. The planning authority will prepare relevant facts and indicators to assist the developer.

Methodology and Assessment

The CLIA methodology has been devised taking into account the form of impact assessment methodologies already applied to different aspects of planning and development. These methodologies normally comprise either a tick/cross scoring in answer to each question, or a numeric scoring.

Scoring the Checklist

Formatted: Font: Arial, Bold, Font color: Auto

The CLIA methodology is a subjective process intended to establish the probable impacts stemming from a development proposal or policy. When officers use the checklist, each question should be answered with a positive, negative or neutral score reflecting the perceived impact of the development against the five sets of issues. Numerals need to be inserted as the answer to each checklist question, with numeral +1 representing a perceived positive impact, numeral -1 a perceived negative impact, and numeral 0 for a perceived neutral impact.

Gradually, scores of +1, -1 and 0 will be inserted as the answers to each checklist question across the five sets of community life topics. The ability to compare options is important in undertaking an assessment, guiding the assessor to the 'best' overall choice. The impact assessment helps to inform decisions about which checklist topics perform better than others against the five community life issues by revealing the potential impacts. The ultimate choices have to be made by the assessor. An inability to answer any of the questions suggests that assessors will need to construct new data and evidence to search for an answer. In the assessment process, a lack of answer to a question (i.e. a blank return) will be deleted from the overall calculation. The final Overall Impact Index Assessment matrix (see below) will indicate which options have more harmful impacts or, conversely, beneficial contributions.

It is not suggested that the addition and comparison of these impacts will make the overall choice for the developer/local planning authority. However, a matrix that identifies those impacts that have a relatively high positive or negative impact, and is accompanied by a commentary, will help decision-makers to determine the most sustainable option. The importance or weight to be given to a checklist question will vary for different policies and development proposals, and that judgment is for those making the assessment. The developer and local planning authority will need to make a judgment on how much weight to give those checklist answers that are concerned with the shorter or longer term, for example.

Calculating an Overall Impact Index

The final part of the assessment methodology is an Overall Impact Assessment Index. This comprises a measurable summary table that permits the assessor to develop a positive, negative or neutral score relating to the perceived impacts likely to occur. The score will then form a material consideration in the assessment of an application for planning permission within development control, or an indicator in the assessment of whether or not to adopt a policy or proposal.

Each of the questions within each of the five sets of community life components - population characteristics, quality of life, economic factors, infrastructure supply, social and cultural aspects - produces a range of scores known as the *base index*. These 18 scores may then be used to calculate an Overall Base Index Score, which is simply the average score across all the answers. An Overall Base Score of between 0.1 and 1.0 denotes a positive impact; a score of 0 denotes a

neutral impact; a score between -1.0 and -0.1 denotes a negative impact, with actual figures representing the relative perceived severity.

The summary table automatically calculates a *dimensional index*, which is a mean score for each of the community life components - a mean for population; a mean for quality of life; a mean for economic factors; a mean for infrastructure; and a mean for social issues. This enables assessors to compare the mean score for each of the five components, recognizing the perceived greater impacts, and possible trade-offs, between one component and another.

Depending on the policy priorities of the local planning authority, the objectives of the development plan, and the socio-economic profile of the community where the development is proposed, the assessor may give greater weight to one or more of the five components at this stage of the assessment when the Overall Impact Index is utilised as a decision tool. The choice of which component to attach greater weight to is a matter for the local planning authority, justified on local circumstances and policy priorities. Alternatively, the assessor may regard each of the five components as being of equal significance and therefore of equal weight.

The Overall Base Index Score may then be used to calculate *Language Impact Scores*. These scores are divided into three variations - to represent the degree of importance of the language in that particular location: if the language is considered to have 'high' importance; if the language is considered to have 'medium' importance; and if the language is considered to have 'low' importance. These figures are calculated automatically.

The use of 'high', 'medium' and 'low' significance for language importance is a matter for the local planning authority, and will be decided on the basis of the proposed location of the development and the results of the Linguistic Profiling exercise.

Preparing a Community and Linguistic Impact Assessment

Formatted: Font: Bold, Not Italic

Please complete the following questionnaire, providing as much detail as possible. After the main question, there is an opportunity to add further comments on key issues. Part (a) after each question is an opportunity to make an overall assessment; Part (b) is a statement of evidence, normally based on prior experience; Part (c) is your evidence based assessment of general community impact, and part (d) deals with possible mitigation measures. The numerical assessment provided in Part (c) of each question will need to be fed into the overall impact tool at the end of the questionnaire.

POPULATION CHARACTERISTICS

1. Is the development likely to lead to a population increase / decrease that might:

Affect the balance of English / Welsh speaker (in a negative / positive way); or

Lead to an absolute or proportional decline in the number of Welsh speakers

a) Please DESCRIBE your overall assessment

b) Please STATE previous evidence (local / national case studies drawing on the UK Census for 1991 and 2001)

c) Please STATE whether you consider that the development will have a POSITIVE (1), NEUTRAL (0), or NEGATIVE (-1) impact on the COMMUNITY as a whole

d) How might any NEGATIVE impact be mitigated, or any POSITIVE impact enhanced?

--

--

2. Is the development likely to lead to increased in-migration?

Might this result in a permanent increase in the proportion of non-Welsh speaking households?

--

Will the change be permanent or temporary?

--

a) Please DESCRIBE your overall assessment

--

b) Please STATE previous evidence (local / national case studies drawing on the UK Census for 1991 and 2001)

--

c) Please STATE whether you consider that the development will have a POSITIVE (1), NEUTRAL (O) or NEGATIVE (-1) impact on the COMMUNITY as a whole

--

d) How might any NEGATIVE impact be mitigated, or any POSITIVE impact enhanced?

--

3. Is the development likely to lead to increased out-migration ?

Is the process of out-migration likely to result in a loss of Welsh speaking households?

--

Will the change be permanent or temporary?

--

a) Please DESCRIBE your overall assessment

--

b) Please STATE previous evidence (local / national case studies drawing on the UK Census for 1991 and 2001)

--

c) Please STATE whether you consider that the development will have a POSITIVE (1), NEUTRAL (O) or NEGATIVE (-1) impact on the COMMUNITY as a whole

--

d) How might any NEGATIVE impact be mitigated, or any POSITIVE impact enhanced?

--

4. Is the development likely to lead to a changing age structure of the community? Might it:

Lead to young / middle-aged / older Welsh speaking people leaving / moving into the area, leading to:

Changes in traditional activity patterns, resulting in an increasing desire to move away?

Social tensions / break-up of traditional social networks

a) Please DESCRIBE your overall assessment

b) Please STATE previous evidence (local / national case studies drawing on the UK Census for 1991 and 2001)

c) Please STATE whether you consider that the development will have a POSITIVE (1), NEUTRAL (0) or NEGATIVE (-1) impact on the COMMUNITY as a whole

d) How might any NEGATIVE impact be mitigated, or any POSITIVE impact enhanced?

QUALITY OF LIFE

**5. Is the development likely to have an impact on the health of local people?
Might it:**

Increase the risk of illness, therefore reducing the desirability to live in the community?

Potentially make life more expensive, therefore increasing the risk of financial problems / stress of the local Welsh speaking population

a) Please DESCRIBE your overall assessment

b) Please STATE previous evidence (local studies or Index Deprivation)

c) Please STATE whether you consider that the development will have a POSITIVE (1), NEUTRAL (0) or NEGATIVE (-1) impact on the COMMUNITY as a whole

d) How might any NEGATIVE impact be mitigated, or any POSITIVE impact enhanced?

**6. Is the development likely to have an impact on the amenity of the local area?
Might it:**

Lead to a deterioration in environmental quality, therefore reducing the desirability to live in the community?

a) Please DESCRIBE your overall assessment

b) Please STATE previous evidence local environmental assessments or residents' surveys)

c) Please STATE whether you consider that the development will have a POSITIVE (1), NEUTRAL (0) or NEGATIVE (-1) impact on the COMMUNITY as a whole

d) How might any NEGATIVE impact be mitigated, or any POSITIVE impact enhanced?

7. Is the development likely to lead to the threat of increased crime or violence in the community? Might it:

Increase the risk of crime or violence, therefore reducing the desirability to live in the community?

a) Please DESCRIBE your overall assessment

b) Please STATE previous evidence (local crime figures / police records from areas subject to similar developments)

c) Please STATE whether you consider that the development will have a POSITIVE (1), NEUTRAL (0) or NEGATIVE (-1) impact on the COMMUNITY as a whole

d) How might any NEGATIVE impact be mitigated, or any POSITIVE impact enhanced?

ECONOMIC FACTORS

**8. Is the development likely to have a detrimental impact on local businesses?
Might it:**

Potentially lead to local – Welsh speaking – businesses closing down, due to:

_____ A decline in overall local population?

_____ An increase of – non Welsh speaking – residents ?

_____ An increase in harmful / helpful competition?

_____ a) Please DESCRIBE your overall assessment

_____ b) Please STATE previous evidence (local business surveys or economic assessments)

_____ c) Please STATE whether you consider that the development will have a POSITIVE (1), NEUTRAL (0) or NEGATIVE (-1) impact on the COMMUNITY as a whole

_____ d) How might any NEGATIVE impact be mitigated, or any POSITIVE impact enhanced?

9. Is the development likely to have a detrimental impact on local jobs?

Might it:

Create jobs for the local – Welsh speaking – population (perhaps by virtue of local Welsh speaking people having the rights skills)?

--

Threaten jobs of the local – Welsh speaking – population (perhaps by causing the closure of local businesses)

--

a) Please DESCRIBE your overall assessment

--

b) Please STATE previous evidence (local studies)

--

c) Please STATE whether you consider that the development will have a POSITIVE (1), NEUTRAL (0) or NEGATIVE (-1) impact on the COMMUNITY as a whole

--

d) How might any NEGATIVE impact be mitigated, or any POSITIVE impact enhanced?

--

10. Is the development likely to lead to greater economic diversity? Might it:

Potentially lead to a greater number of different jobs for the local – Welsh speaking – population due to economic diversification?

--

Lead to increased in-migration of non-Welsh speakers?

--

a) Please DESCRIBE your overall assessment

--

b) Please STATE previous evidence (local studies or UK Census)

--

c) Please STATE whether you consider that the development will have a POSITIVE (1), NEUTRAL (0) or NEGATIVE (-1) impact on the COMMUNITY as a whole

--

d) How might any NEGATIVE impact be mitigated, or any POSITIVE impact enhanced?

--

11. Is the development likely to have an impact on local wage / salary levels?

Might it:

Potentially increase / decrease wage / salary levels due to increase work force / business competition ?

a) Please DESCRIBE your overall assessment

b) Please STATE previous evidence (local studies or Index of Income Deprivation)

c) Please STATE whether you consider that the development will have a POSITIVE (1), NEUTRAL (O) or NEGATIVE (-1) impact on the COMMUNITY as a whole

d) How might any NEGATIVE impact be mitigated, or any POSITIVE impact enhanced?

12. Is the development likely to have an impact on the average cost of housing?

Might it:

Force local – Welsh speaking – people to leave the community?

Potentially lead to an increase in homelessness / housing stress amongst local – Welsh speaking – households?

Prevent local Welsh speaking people from returning to the area / community?

a) Please DESCRIBE your overall assessment

b) Please STATE previous evidence (local studies of estate agents or information gathered through Housing Need Assessments)

c) Please STATE whether you consider that the development will have a POSITIVE (1), NEUTRAL (O) or NEGATIVE (-1) impact on the COMMUNITY as a whole

d) How might any NEGATIVE impact be mitigated, or any POSITIVE impact enhanced?

INFRASTRUCTURE SUPPLY

13. Is the development likely to have an impact local schools?

Might it:

Threaten / secure local schools due to an increase / decrease of student rolls?

--

Alter the balance between Welsh-speaking and non-Welsh speaking students?

--

a) Please DESCRIBE your overall assessment

--

b) Please STATE previous evidence (local studies and data from LEAs)

--

c) Please STATE whether you consider that the development will have a POSITIVE (1), NEUTRAL (0) or NEGATIVE (-1) impact on the COMMUNITY as a whole

--

d) How might any NEGATIVE impact be mitigated, or any POSITIVE impact enhanced?

--

14. Is the development likely to have an impact on health care provision?

Might it:

Threaten / secure local – Welsh medium – facilities / services?

--

a) Please DESCRIBE your overall assessment

--

b) Please STATE previous evidence (local studies and information for Local Health Trusts)

--

c) Please STATE whether you consider that the development will have a POSITIVE (1), NEUTRAL (0) or NEGATIVE (-1) impact on the COMMUNITY as a whole

--

d) How might any NEGATIVE impact be mitigated, or any POSITIVE impact enhanced?

--

15. Is the development likely to have an impact on the provision of local services, such as shops / post offices / banks / pubs? Might it:

Threaten/secure local shops / post offices / banks / pubs in Welsh speaking communities, therefore forcing certain sections of the population out of the area / community e.g. the elderly or disabled, or the young?

--

a) Please DESCRIBE your overall assessment

--

b) Please STATE previous evidence (local studies commercial information available from business directories / VAT office, or business rating register)

--

c) Please STATE whether you consider that the development will have a POSITIVE (1), NEUTRAL (0) or NEGATIVE (-1) impact on the COMMUNITY as a whole

--

d) How might any NEGATIVE impact be mitigated, or any POSITIVE impact enhanced?

--

SOCIAL AND CULTURAL ASPECTS

16. Will the development potentially lead to social tensions, conflict or serious divisions within the – Welsh speaking – community?

Might it:

Have a significant uneven effect on different parts of the local community, potentially advantaging some groups and disadvantaging others?

Violate traditional values of certain parts of the community?

a) Please DESCRIBE your overall assessment

b) Please STATE previous evidence (local studies / assessments)

c) Please STATE whether you consider that the development will have a POSITIVE (1), NEUTRAL (0) or NEGATIVE (-1) impact on the COMMUNITY as a whole

d) How might any NEGATIVE impact be mitigated, or any POSITIVE impact enhanced?

17. Will the development potentially lead to changes in local – Welsh – traditions/culture?

Might it:

Result in local – Welsh speaking – households moving away from the areas?

Lead to significant increase of non-local – non-Welsh speaking – households?

Lead to an erosion of family ties or other social networks?

Lead to significant changes to the economic or social context, threatening traditional lifestyles?

Impact on local – Welsh speaking – households by introducing / accelerating social change?

a) Please DESCRIBE your overall assessment

b) Please STATE previous evidence (local studies / assessments)

--

c) Please STATE whether you consider that the development will have a POSITIVE (1), NEUTRAL (0) or NEGATIVE (-1) impact on the COMMUNITY as a whole

--

d) How might any NEGATIVE impact be mitigated, or any POSITIVE impact enhanced?

--

18. Will the development be likely to have a potential impact on local voluntary / activity / youth groups? Might it:

Force local people active in local groups to move out of the community, due to:

--

Drive an increase in unemployment / economic stress?

--

Drive an increase in house prices / housing stress?

--

a) Please DESCRIBE your overall assessment

--

b) Please STATE previous evidence (local studies / assessments / Indexes of Deprivation)

--

c) Please STATE whether you consider that the development will have a POSITIVE (1), NEUTRAL (0) or NEGATIVE (-1) impact on the COMMUNITY as a whole

--

d) How might any NEGATIVE impact be mitigated, or any POSITIVE impact enhanced?

--

Notes

Question 1 considers the basic issue of population growth or decline resulting from a development. Most forms of development have a propensity to stabilise population or drive growth. But a basic question is whether the development will lead to endogenous growth (e.g. create local jobs and allow people who would otherwise have left the community to remain) or whether it will increase the likelihood of in-migration. Whilst in-migration is often a positive force in rural communities, substantial levels of growth are likely to impact on social balance (in terms of age and income structure, and socio-cultural background). Judgements must be made as to whether population change will positively or adversely affect the language's place as part of the social fabric of a community. Judgements are likely to draw on previous experience, with part assessments drawing on UK Census data.

Question 2 addresses the issue of in-migration more directly. Some developments are likely to cause social reconfigurations. For instance, a residential development for retirement purposes in a community with a young age structure is unlikely to serve a local need and will cause permanent social change. A holiday home development, however, is unlikely to cause any permanent shift in social structure, and may lead to economic benefits assessed in later questions. Again, judgements will be grounded in experience, with supporting data drawn from the Census.

Question 3 looks at out-migration. Most developments are not associated with out-migration, but with some notable exceptions. The conversion of essential services (for example, shops or schools) to residential use may discourage people from remaining in a community. Un-neighbourly land-uses (waste facilities or incinerators) or those perceived as generally inappropriate in remoter rural areas (including large-scale asylum centres) may have a similar effect. Once again, judgements will need to be based on the precedent of previous assessments.

Question 4 acknowledges that population movements or losses are rarely uniform across the age profile. Developments are likely to affect younger people, families, single people or older households in different ways. A development that promotes retirement may reduce housing opportunities for younger people. A development that does not create jobs or housing opportunities tailored to the needs of younger people may inadvertently remove such people from the local community. Developments that do not promote and help sustain social balance are likely to prove unsustainable in social and cultural terms.

Question 5 seeks a link between health and community. Health deprivation may increase if housing is unsuited to needs; if roads and infrastructure is poorly planned or if industrial development contributes to a poor quality living environment. Equally, a lack of integrated green space in development proposals may diminish the attractiveness of an area. Such processes may not differentially affect Welsh / non-Welsh residents. However, if a settlement is predominantly Welsh – or Welsh is shown to be part of the social fabric – then reductions in quality of life can impact on community stability; people who can afford to move away may do so, and such places may become socially polarised. The flip-side of course, is that non-Welsh speaking migrants are less likely to gravitate to unattractive places, unless their key concern is cost rather than quality of life and aesthetic appeal.

Question 6 tackles a related issue. Any deterioration in environmental quality will have a similar impact, reducing the attractiveness of particular towns, villages or neighbourhoods. A reduction in environmental/aesthetic quality, or in general amenity, may fuel out-migration of households with greater spending power, and cause an influx of lower income households. This is likely to impact on the balance of Welsh / English speaking residents, as well as the balance of different income and social groups. Communities must offer a certain level of quality of life if they are to remain socially stable and cohesive.

Question 7 focuses on crime: crime – like health and amenity – will influence long term social stability and cohesion. A sustainable community is one in which crime is kept at a tolerable level. Again, increases in crime – or heightened fear of crime – may drive people away or discourage balance population growth. It also results in personal stress that may accentuate health concerns. All these quality of life issues threaten social balance: people who can afford to will move away; communities may become dominated by those lower income groups who have least choice in where they live. These social imbalances are likely to work contrary to the interests of the Welsh language, which can only thrive in balanced, sustainable communities.

Question 8 turns to the economic dimension of community. New development may lead to the establishment or closure / downsizing of businesses within a locality, with a possible impact on provisions and the price of goods. This may lead to sections of the population being unable to access those goods or it may lead to residents being offered a greater choice. A key judgement to make is to what extent the range and choice of businesses are located within close proximity to each other and whether this benefits or dis-benefits communities.

Question 9 recognises that new developments can affect the number, type and quality of jobs available to the local labour market, dependent on the existence of a range of skills. A shortage in some skills may lead to a shift in the community profile as workers decided to move to locations where they can utilise their skills effectively.

Question 10 takes this a step further and acknowledges that new development may create new employment opportunities, with specific skills required: e.g. leisure / tourism development based on cultural industries may require greater utilisation of the language as a labour market skill. Assessments would have to be made in relation to the potential for economic diversification and the ability to accommodate new work forces.

Question 11 Competition within employment sectors may lead to labour market decisions on where they take up employment and the perceived quality of employment opportunities. In a competitive global economy, communities reliant on key employment may be vulnerable to adverse salary changes and business competition.

Question 12 *Fluctuations in the demand for housing is likely to lead to either an increase or decrease in house prices and this is likely to affect different sections of the community disproportionately. House prices, when associated with other forms of housing pressure may affect the ability of some to access housing. This may also cause either in-migration or out-migration and cause a specific impact on the extent of language usage within a community. Housing development and fluctuating house prices may also lead to an increase in commuting. This may be a symptom of more general changes in the housing market.*

Question 13 *relates to the sustainability of local educational facilities. A development may lead to essential local services, such as schools, benefiting from an increase in younger population. A lack of development and, in turn, no change in the existing age profiles of communities, could threaten the future viability of schools. A lack of housing choice and provision may also affect decisions on whether growing younger families would wish to remain within a particular locality. More families make explicit decisions these days relating to school placement selection and it can be a contributing, possibly determining, factor in house-moving.*

Question 14 *considers health care provision in the community. As the numbers of elderly people increase proportionately to the number of younger people, a key determining factor for people deciding whether to remain in an area or move to an area for the first time, is the availability of health facilities. Retention or establishment of health care facilities in a community could affect language viability, particularly where health centres have become social gathering places, supporting local Welsh-speaking networks. The lack of facilities may cause elderly people to move home, or lead to decisions where families take painful decisions to assist the move to elderly relations to other locations.*

Question 15 *relates to the provision of services. Different types of development may impact upon the availability and viability of existing community services, even if those new developments are located some distance away. Larger retail development, for example, may impact on local services and impact upon social networks within the community that may presently act as meeting places, supporting community interaction. Decisions taken by larger businesses to relocate or close premises may also affect different sections of the population disproportionately. This would be dependent on the provision of public transport and private vehicles and the ease of access to them. This may also lead to the need to move home causing an effect on the sustainability of a community long-term.*

Question 16 *turns to social and cultural concerns. Some forms of development have a readily identifiable propensity to fuel social tension – for example, developments that are obviously out of scale with communities, or uses that appear unsuited to the character / economy of a particular area. Large scale holiday village developments have in the past been met with vociferous protest, as have proposals for youth detention or asylum centres. But often the potential for conflict is less obvious and more subtle. Retirement developments that may serve an external demand can fuel local unrest; they may lead to the arrival of non-Welsh speaking households. Likewise, new shopping centres may threaten local stores, which have played an integral role in local communities for many years. All such developments may be met with resentment. Certainly, they can violate local values and lead*

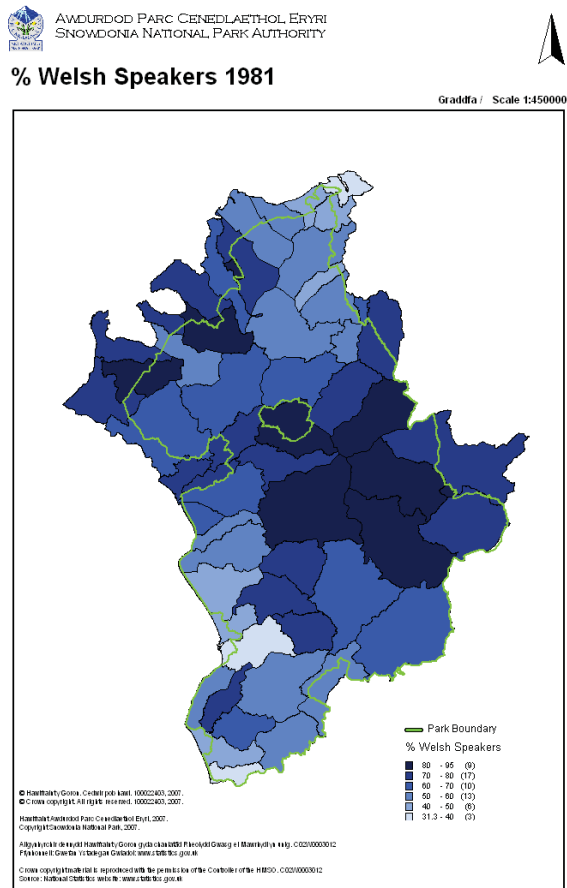
people to believe that cultural concerns are not being taken seriously. Overall, they may have a demoralising effect in Welsh communities.

Traditions and culture are underpinned by kinship and social networks.

Question 17 recognises that many different forms of development may lead to the effective removal of Welsh speakers or the introduction of non-Welsh speakers. If this happens, then family ties may be severed; social networks may be broken; and social cohesion can be lost. Again, out of scale development may pose a cultural threat, diluting or breaking those networks on which traditions are built. The recognition of such potential impacts is very much in the hands of local planning authorities, who will need to consult with community representatives.

Building on Question 17, the next **Question (18)** acknowledges that this loss of social cohesion – combined with developments that disproportionately affect younger people – i.e. new employment uses that fail to address local needs, or housing that is unaffordable to first time buyers – may have a catastrophic impact on community institutions. These can be central to the vitality of Welsh communities. Once gone, they are unlikely to return. Again, predicting such problems is a task for planning authorities in consultation with community groups. Authorities / local groups must draw on their knowledge of such institutions (Urdd involvement, the wellbeing of local eisteddfodau and so forth) of their current vitality, and the incremental impacts of developments that might disrupt social balance and local involvement over time.

Appendix C: Community Statistics



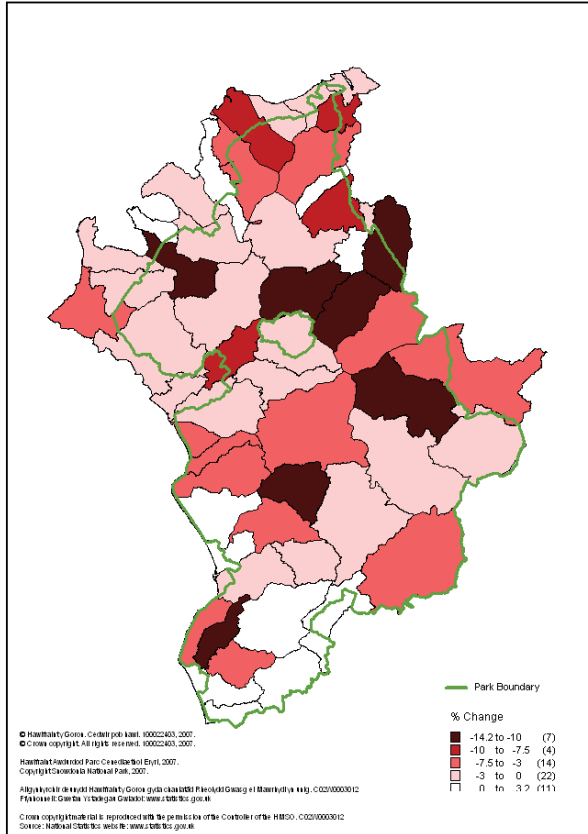


AWDURDOD PARC CENEDLAETHOL ERYRI
SNOWDONIA NATIONAL PARK AUTHORITY



% Change in Welsh Speakers 1991-2001

Graddfa / Scale 1:150000



SNOWDONIA NATIONAL PARK AUTHORITY



ERYRI LOCAL DEVELOPMENT PLAN

ANNUAL MONITORING REPORT

for the period 1st April 2019 to 31st of March 2020

October 2020

CONTENTS

1	INTRODUCTION	3
2	THE DEVELOPMENT STRATEGY	12
3	PROTECTING, ENHANCING AND MANAGING THE NATURAL ENVIRONMENT.....	14
4	PROTECTING AND ENHANCING THE CULTURAL HERITAGE.....	27
5	PROMOTING HEALTHY AND SUSTAINABLE COMMUNITIES	40
6	SUPPORTING A SUSTAINABLE RURAL ECONOMY	68
7	PROMOTING ACCESSIBILITY AND INCLUSION.....	88
	APPENDIX 1 - SUSTAINABILITY APPRAISAL.....	95
	APPENDIX 2 SUPPLEMENTARY PLANNING GUIDANCE PROGRESS	110
	APPENDIX 3: PROGRESS ON ALLOCATED HOUSING SITES.....	111

1 INTRODUCTION

- 1.1 The revised Eryri Local Development Plan 2016-2031 (LDP) was adopted on the 6th of February 2019. Monitoring the Eryri LDP is a continuous process and does not end once plan is adopted. The Annual Monitoring Report aims to demonstrate the extent to which the Eryri LDP strategy is being achieved, whether the policies are working or not or where there is a policy 'void'. Flexibility within the LDP system allows adjustments and revisions to be made to policies, making the plan relevant and responsive to change. Such adjustments, if required, can be made in a formal review of the LDP.
- 1.2 This is the first Annual Monitoring Report (AMR), since the adoption of the revised Eryri LDP and it covers the period April 2019 to the end of March 2020. The AMR is usually submitted to the Welsh Government by the 31st of October each year. Due to the coronavirus pandemic the Welsh Government did not require AMRs to be submitted this year and will expect the next formal AMR submission in October 2021. However, the Authority recognises the importance of continuing data collection and analysis, as it will help shape and inform future policy and plan development and has decided to prepare an Interim AMR to cover the period April 2019 – end of March 2020.
- 1.3 The Eryri LDP has an adopted monitoring framework in place to inform findings in the AMR. This report has been set out to follow a similar structure to the Eryri LDP written statement document and uses the same chapter headings. Each section identifies the relevant LDP objectives, and any key contextual issues arising during the monitoring period. Case studies have also been included at the end of each chapter (where relevant) to provide examples of how policies have been taken into consideration in determining planning applications. The monitoring framework also includes reference to other organisations and other plans and strategies that may have a proactive influence on the implementation of policies.

Indicators, Targets and Trigger levels

- 1.4 Indicators, targets and trigger levels have been identified to assess the performance of policies and objectives. External influences which are outside the control of the Authority are also identified. The triggers included in the monitoring regime will give an early indication on the performance of the Plan and possibly how wide ranging a Plan review may need to be.
- 1.5 When trigger points are activated, investigation is required to understand why policies and proposals are not being implemented as intended and determine what action will be necessary. The following actions have been included for each indicator in the AMR to provide clarity on the steps to be taken

Continue Monitoring: Development plan policies are being implemented effectively.

Training Required: Development plan policies are not being implemented as intended and officer or Member training is required.

<p>Supplementary Planning Guidance Required: Development plan policies are not being implemented as intended and further guidance is required, potentially preparing additional SPG.</p>
<p>Further Investigation/Research Required: Development plan policies are not being implemented as intended and further research and/or investigation is required.</p>
<p>Policy Review Required: Development plan policies are not being implemented and are failing to deliver; a review of the specific policy may be required.</p>
<p>Plan Review: Development plan policies are not being implemented and the plan's strategy is not being delivered, triggering a formal review in advance of the statutory 4-year review.</p>

Sustainability Appraisal Monitoring

- 1.6 An analysis has been undertaken on how the Plan is contributing to the Sustainability Appraisal. This is included as Appendix 1. It is considered that no substantial issues of concern have arisen during the monitoring period to materially change the Sustainability Appraisal.

KEY FINDINGS AND EXECUTIVE SUMMARY

1.7 The conclusions for the annual monitoring report indicate that:

- There have been no significant developments permitted which undermine the statutory purposes of the National Park or the strategic policies of the Plan (2016-2031).
- The Eryri LDP policies have been effective in determining land use planning applications and in defending appeals.
- The Plan has an adequate supply of housing land (5 years) Joint Housing Land Availability Study (JHLAS) 2019.
- The number of new planning permissions granted for housing units during 2019/2020 was low at 14 units.
- The number of housing completions for 2019/2020 was 14, which is well below the target. There has been a dip in the number of housing completions in recent years, with 20 units in 2016/17, 28 in 2017/18 and 17 in 2018/19. This year's figure reflects the lower end of the range which has been experienced in recent years. There has been a general trend in decreasing completions between 2015 and 2019 at an all Wales level, and the figures in this Annual Monitoring Report seem to reflect this national trend.
- A trend of low completions recognised by previous AMR's was taken into account during the revision of the ELDP. Changes were made to the housing policy by increasing the threshold before requiring affordable housing provision within settlements, the low number of permissions and completions this year suggest the change in policy has not yet had the desired impact. The low numbers might also be related to the overall housing market condition and borrowing environment and that developers and small builders are much more risk averse in the current economic climate. This is the first full year of reporting the ELDP 2016-2031. Given the low number of permissions and completions this year, together with uncertainty caused by wider economic factors, it is difficult to establish in the first year of monitoring the extent of the impact of the new policy. The desired effects could be delayed due to current circumstances, and may take some years to have an impact.
- The number of affordable housing permitted in 2019/20 was 2 units which is considerably lower than last years figure of 22 units. The Authority is dependent on the delivery of affordable housing units by Housing Associations on allocated sites. In 2019-20, no permissions were granted to Housing Associations for affordable units, which given the low number of

permissions overall, has a significant impact on these figures. In addition, the raising of the threshold in Service and Secondary settlements now allows single units to be open market dwellings. This has resulted in permissions for a number of single, open market dwellings. Had the policies of the previous ELDP been applied, 10 of the 14 permissions would have required to be affordable. The low number of permissions for affordable homes may be a direct result of this change in threshold. The change may have encouraged small-scale developers to apply for single plots in areas where under the previous plan, would have had a requirement to be affordable.

- The total number of affordable dwellings completed for the period April 2019 to end of March 2020 was 3 which is well below the ambitious target of 25 in the adopted ELDP 2016-2031. There were also no completions of affordable units by Housing Associations within 2019-20, thus lowering the figure significantly. The figure for subsequent years should improve following the completion of a development of 11 affordable units on an allocated site in Aberdyfi and an application for 8 affordable units on an allocated site in Bala; both developments by a Housing Association.
- All planning applications granted for housing since adopting the LDP have been determined in accordance with Strategic Policy C: Spatial Development Strategy and therefore complied with the main spatial strategy outlined in the Plan. Due to the relatively small scale of new development and therefore low number of housing units within the National Park, unanticipated development on a windfall site or a large site completed within one year can result in exceeding the % target for a given settlement tier for that particular year and can have a profound impact on the % target. Within this monitoring year, no permission or completions were delivered on an allocated site, and no large sites (over 5 units) were permitted or completed, thus affecting the distribution of the percentages, with the majority being single units. Not all settlement targets have been met, with some above and some below. Across the settlement types, the spread of development does loosely follow that of the targets, with the majority concentrated in secondary settlements (in which there are 38 settlements in this tier).
- The designation of the Snowdonia Enterprise Zone on sites in Trawsfynydd and Llanbedr has the potential to create new sustainable employment opportunities. The sites have been formally allocated in the adopted Eryri LDP 2016-2031, through a Welsh Government Enterprise Zone Designation, and an Indicative Focus Area at Llanbedr. A criteria based policy has also been adopted to deal with developments on the sites, and development will also need to conform to other relevant policies within the ELDP 2016-2031.

No applications for development have been received in the Trawsfynydd or Llanbedr Enterprise Zone during the period of the AMR.

- Between 2019/2020 0 applications were received for Hydro schemes compared with 35 received between 2018/2019. It is assumed that this is due to the changes in Tariff payments.
- 1 Rural Enterprise dwellings was granted planning permission in 2019/20. This was for an agricultural workers dwelling in Parc, Y Bala.
- 2367.77m² new employment floor space has been permitted during 2019/2020 within the National Park.
- Between 2019 and 2020, there were 2 applications approved for new or improved community facilities in Local Service Centres and Secondary Settlements. These were for alterations to a former Chapel in Llanbedr, for a continuing religious use and Cylch Meithrin in Frongoch received permission which included the erection of a cabin, play & parking areas.
- There has been no or little development of significance to impact on other policies in the Plan.

GENERAL CONTEXT

Planning applications 2019 - 2020

- 1.8 Snowdonia National Park Authority determined 358 planning applications during 2019-20, including Discharge of Condition applications, Non-material amendments, and Listed Building Consents. In line with previous years, approvals continued to be high at 88%.
- 1.9 Following the adoption of the ELDP (2016-2031) in February 2019, the Authority has been monitoring all the planning decisions made by the type of development proposed in the National Park. The following table gives a clearer picture of the type of development that has been determined during 2019-20, and it shows a similar pattern to those of previous years.

Development Type	Percentage %
Advertisements and signs	6
Agricultural and Fisheries	5.4
Car Parks	0
Community Services	2.9
Forestry	0.3
Holiday Accommodation - Conversion	1.9
Holiday Parks	2.2
Householder Development	48.9
Industry and Business	2.2
Minerals	0
Minor Development Other Buildings	6.7
Recreation and Leisure	1.9
Renewable - Hydro	1.6
Renewable - Other	1.3
Renewable - Solar	0
Residential	7.9
Restaurant and Cafes	1.9
Retail	4.4
Static Caravans	0.6
Tents and touring caravans	0.6
Transport	0.6
Utilities and infrastructure	2.5

Use of Eryri Local Development Plan Policies

1.10 There are 46 policies within the adopted LDP 2016-2031. 38 policies have been taken into consideration in determining planning applications during 2019-20. 8 of the policies have not been used within the monitoring period. The policies that have not been used are the following;

- Strategic Policy Ch: Social and Physical Infrastructure in New Developments
- Strategic Policy Dd: Climate Change
- Strategic Policy E (1): Minerals Safeguarding Policy
- Strategic Policy E (2): Large Scale Minerals Development
- Strategic Policy E (3): Removal of Slate Waste and Building Stone Quarries
- Strategic Policy F: Waste
- Development 12: Residential Care Homes and Extra Care Housing

Appeals

1.11 No appeals were allowed against the Authority during this monitoring period. Of the three appeals during 2019-2020, all were dismissed. These appeals included a conversion of a stone barn to a holiday letting unit with ancillary works, the erection of a detached garage and a demolition of a redundant barn and erection of a new dwelling.

Decisions in accordance with Eryri LDP policies

1.12 Between 2019 and 2020, 1 planning decision (0.28% of all planning decisions) was permitted contrary to an officer's recommendation of refusal. This application was for a two storey extension in Betws Y Coed.

Annual meeting with agents and planners

1.13 There were no meetings with agents and planners during the period of this Annual Monitoring report.

Meeting with Town and Community Councils

1.14 During September and October 2019, open evenings were held in the National Park at Plas Tan y Bwlch, Maentwrog, Neuadd Dyfi, Aberdyfi and Plas y Brenin, Capel Curig. The evenings were an opportunity to raise awareness amongst the Community Councils of the Authority's work in general, Cynllun Eryri (the new management plan for the Park Authority, the warden service, developing place plans and a round the table discussion about identifying the needs and opportunities within their areas. Following the adoption of the Local Development Plan in February 2019, and its prominence in recent years' town and community councils meetings, it was decided this time that it would be important to highlight and concentrate on other matters of the Authority's work.

Wider contextual issues

- 1.15 Since the revised Eryri LDP was adopted in February 2019 there have been wider contextual changes and issues that need to be considered as part of the ongoing LDP monitoring process.

Exit from the European Union

- 1.16 As part of the continuous process of monitoring it will be important to understand the implications of Britain's exit from the European Union (EU). The UK formally left the EU on the 31st of January 2020 and is now within the transition period, due to end on the 31st of December 2020. During the transition period the UK Government will be negotiating a future trade deal with the EU. The UK government has ruled out any form of extension to the transition period. On this basis, if no trade deal is agreed with the EU by the 31st December the UK will move to trading with the EU on World Trade Organisation Rules. Regardless of what agreements are made with the EU and the rest of the world, the impact of the end of transition is likely to be significant on our rural communities. Although the true impact of Britain's exit from the European Union is still unknown, the result of the referendum back in June 2016, has led to years of economic uncertainty and a more conservative behaviour with less expenditure and investment. Brexit is likely to have a significant impact on **food, farming, fishing and environment sectors**. These are important to the National Park rural economy and the viability of our local communities and are vital to support the sustainability of the Welsh language.
- 1.17 It is important that the Authority considers its Eryri LDP policies in terms of sensitivity to the consequences of Brexit. The initial view is that the Eryri LDP Strategy and policies have sufficient flexibility to deal with these changes at present. However, it is important to understand the implications of Brexit on the National Park area and identify where there are gaps in the existing evidence and what needs to be updated. This work will be a continuous process as part of Eryri LDP monitoring process over the next year.

Coronavirus pandemic

- 1.18 This Interim AMR covers the period April 2019 – end of March 2020 and therefore does not take account of the impact of the coronavirus pandemic. The pandemic has and will continue to affect our local communities and is likely to have an impact on the figures for next years AMR monitoring period. It will be important to understand the implications of the coronavirus pandemic on the National Park area and this will be a key part of the policy team work programme over the next year.

Cynllun Eryri

- 1.19 The National Park Management Plan (Cynllun Eryri), which is currently being reviewed and was subject to public consultation between February 3rd and March 13th 2020 is the overarching strategic document for the National Park, co-ordinating and integrating other plans, strategies and actions. It indicates how National Park purposes and the associated duty will be delivered through sustainable development. Cynllun Eryri is not just a plan for the National Park Authority; it is for all those people and organisations that have influence over the future of the National Park.

Cynllun Eryri sits alongside the Eryri Local Development Plan (LDP). The plans have a shared vision and the LDP seeks to deliver the spatial elements of Cynllun Eryri.

National Development Framework

1.20 The national development framework (NDF) 2020-2040, was subject to public consultation between 7th August and 1st of November 2019. The draft NDF will be scrutinised by the Senedd during September 2020 and the final NDF is expected to be published early in 2021. The NDF which sets the direction for development in Wales between 2020 and 2040 is a development plan with a strategy for addressing key national priorities through the planning system, including sustaining and developing a vibrant economy, achieving decarbonisation and climate-resilience, developing strong ecosystems and improving the health and well-being of our communities. The NDF is a spatial plan, which means it sets a direction for where we should be investing in infrastructure and development for the greater good of Wales and its people. The NDF sets the challenge of delivering these improvements to public, private and third sectors. It makes clear the importance of planning new infrastructure and development in such a way they are complementary rather than competing priorities, ensuring opportunities are maximised and multiple benefits are achieved. Local Development Plans are required to be in conformity with the NDF and must be kept up to date to ensure they work together effectively.

2 THE DEVELOPMENT STRATEGY

Aim of Strategy:

2.1 How we are meeting the plan's primary aim, strategic objectives and growth strategy?

Context

National Park purposes and duty

2.2 The National Park purposes and duty provide an important strategic focus for the LDP, as they help define the scale and location of future development in the area. These are:

- To conserve and enhance the natural beauty, wildlife and cultural heritage of the area.
- Promoting opportunities for the understanding and enjoyment of the special qualities of the area by the public.

In addition, the National Park has a duty to:

- Seek to foster the social and economic wellbeing of the local communities within the Park area.

2.3 The National Park purposes and socio-economic duty, supported by the Sandford principle¹ and the Silkin test² set a clear statutory framework for development planning within the National Park. These purposes and duty provide an important strategic focus for the Plan and help to define the scope of future development in the area.

Sustainable Development

2.4 Sustainable development is the second key focus of the plan. National Park purposes and duty provide a 'special context' for sustainability. **The Well Being of Future Generations Act (2015)** concerns the embedding of the principle of sustainable development into all of the work carried out by public bodies and places a requirement on all public bodies to set out how they will progress the 7 well-being goals set out in the Act. The relationship between the revised Eryri LDP and the Well Being Goals were outlined during plan preparation stage and the revised LDP positively complements the well-being goals.

¹ If it appears that there is an irreconcilable conflict between the statutory purposes, greater weight will be attached to the purpose of conserving and enhancing the natural beauty, wildlife, and cultural heritage of the National Park.

² The Silkin test for major development asks 'is the development absolutely necessary in the national interest and is there no possible alternative solution, source or supply?'

Scale of Development

- 2.5 The relationship between the scale of development and its location is important when considering the impact on the landscape. In comparison with other larger planning authority areas, the scale of development proposed in the Eryri Local Development Plan is modest. The scale and location of development is considered important when assessing the impact of development on the National Park landscape. Given the sensitive environment of the Park and the scale of local communities, larger development could have significant effects on the character of the landscape and the integrity of the Park environment. National policy is clear in that major development should not take place in National Parks except in exceptional circumstances. This is set out in Strategic Policy B: Major Development. **No planning applications have been approved since adoption contrary to Strategic Policy B: Major Development.**

Spatial Development Strategy

- 2.6 Snowdonia's population is small and geographically dispersed and the scale of proposed new development is relatively small to serve the existing population. The Spatial Development Strategy seeks to maintain the viability and vibrancy of local communities in a sustainable way appropriate to the National Park. The level of development needs to be proportionate to the size and population of individual settlements and their capacity to accommodate further development. The aim of Strategic Policy C (SP:C) is to direct development of all types to the most appropriate location. SP:C allows for the development of new housing, employment and the provision of services and facilities within settlements according to their designation within the settlement hierarchy, with the overall aim of making communities more self-sustaining. Bala and Dolgellau are the local service centres where most housing and employment related development will take place. Service Settlements are considered to have the ability to supplement the services provided by the Local Service Centres. However due to environmental and landscape constraints in the Local Service Centres and in Service Settlement, this limits their capacity to accommodate new development. Some of this capacity has therefore been diverted towards the Secondary Settlements which are the larger villages. The strategy recognises that small scale housing, employment and other development in Secondary Settlements, Smaller Settlements and sometimes in the open countryside is sustainable where appropriate opportunities arise. **All planning applications received since adopting the revised Eryri LDP (2016-2031) have been determined in accordance with Strategic Policy C: Spatial Development Strategy and therefore in compliance with the main spatial strategy outlined in the Plan.** Further detail regarding the distribution of housing consents and completions between settlement tiers is included in Chapter 7: Promoting Healthy and Sustainable Communities.

3 PROTECTING, ENHANCING AND MANAGING THE NATURAL ENVIRONMENT

This section delivers a response to the following objectives:

Ensure that all development is undertaken in a way that respects designated nature conservation sites and ensures that the variety and abundance of wildlife habitats and protected species are conserved and enhanced.

Manage the effects of climate change through mitigation and adaptation including reductions in greenhouse gas emissions, reduce energy consumption and acceptable development planning with regard to flood risk.

Encourage, where appropriate the use of the National Park's natural resources for small scale renewable energy power generating schemes to meet local needs without harm to the 'Special Qualities' of the area.

Conserve and enhance the National Park's natural resources including the quality of its geodiversity, water, soil and air.

Protect and enhance the natural beauty of the National Park's landscape and geodiversity.

Promote waste minimisation and ensure the provision of sustainable, integrated waste management and recycling facilities in accordance with the Regional Waste Plan.

Supplementary Planning Guidance

- 3.1 The joint Landscape Sensitivity and Capacity Study commissioned by the Authority, in partnership with Gwynedd and Ynys Mon Councils was adopted by the Park Authority and it was presented as a Supplementary Planning Guidance (October 2016), the aim of which is to provide developers and agents with information on the impact development may have on the landscapes of Snowdonia and how to avoid, mitigate or compensate any adverse impacts. The document can be viewed on the Authority's website. Another relevant supplementary planning guidance to note in this regard is the Landscapes and Seascapes of Eryri adopted in July 2014.

Dark Skies Reserve

- 3.2 In November 2015, the Snowdonia National Park was awarded the status of Dark Sky Reserve. A Dark Skies Reserve designation is a prestigious award given by the International Dark Sky Association (IDA) to those discrete areas that have proven that the quality of their night sky is outstanding and have demonstrated that real efforts are being made to reduce obtrusive light pollution. Each year the Authority has to submit a report to the IDA by the 1st October, which serves to show that the Reserve continues to meet the minimum program requirements, sustains partnerships, outreach and interpretive efforts and makes adequate progress towards at least 90% compliance with Lighting

Management Plans. This report can be viewed on the International Dark Sky Reserves website.

- 3.3 During October 2016, the Supplementary Planning Guidance on Obtrusive Lighting (Light Pollution) was published. Whilst the whole of the National Park is designated a Dark Skies Reserve, there are a number of core areas, shown on the Proposals Map, where new lighting will be more strictly controlled and must be compliant with the requirements of the "*Snowdonia Dark Sky Reserve External Lighting Masterplan*" produced by Lighting Consultancy And Design Services Ltd. The adopted Local Development Plan (2016-2031) addresses the Dark Air status within the Plan, and the "core areas" are identified on the proposals map.
- 3.4 Between 2016 and 2017, there were a number of meetings and discussions between the SNPA, Community Councils and specific Organisations to try and maintain and implement the Dark Sky Reserve through various projects that raise awareness and seek protection. One of these projects was Gwynedd Street Light, whereas in March 2017, it has managed to reduce over 50% of Gwynedd's streetlights, thereby securing further protection for the Dark Sky Reserve. During Summer 2017 Highways and Gwynedd Council submitted a funding bid for another major investment, a three year project to dim the remaining 7,500 street lights in Gwynedd.
- 3.5 Between 2017 and 2019, there was an emphasis on working in the community to support local people to take ownership of light pollution in their areas. Events and advice on dark sky friendly lighting have been well received with many communities requesting further events and support to ensure they are protecting the darkness where they live. This is important to the Reserve as it means the areas that fall outside the reserve will become darker and hopefully create a darker reserve. The Park entered into a partnership with the three AONB's of Ynys Môn, Clwydian Range and Dee Valley, and Pen Llŷn to help protect night skies over a larger area of North Wales, impacting positively on wildlife, habitat, residents and tourists on a much larger scale.

Environment (Wales) Act 2016

- 3.6 This legislation introduced by Welsh Government puts in place the legislation needed to plan and manage Wales' natural resources in a more proactive, sustainable and joined-up way. The act received Royal Assent on 21 March 2016. The act positions Wales as a low carbon, green economy, ready to adapt to the impacts of climate change.
- 3.7 Policies within the Local Development Plan (2016-2031) work towards the aims of this act and specific policies within it are included with the aim protecting biodiversity and the environment.

MF01

Objective	Protecting, Enhancing and Managing the Natural Environment.			
Key Policies Development Policy 2: Development and the Landscape (2)		Related Policies Strategic Policy D: Natural Environment (D) Strategic Policy Dd: Climate Change (Dd)		
Indicator	Target	Outcome		Trigger Point
Area of undeveloped coast 3,499 ha.	No significant loss of undeveloped coast	AMR No 1:	No significant loss of undeveloped coast.	1 or more developments resulting in significant loss for 3 consecutive years.
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
<p>Two applications intersecting small areas of Undeveloped Coast were permitted during this monitoring period. These applications were for;</p> <ul style="list-style-type: none"> • The installation of a 100m³ water storage tank on a concrete base to supply a course irrigation system • A retrospective application for the installation of a 112kw biomass combined heat and power system within existing agricultural building together with rear extension <p>Another application within an Area of Undeveloped Coast was rejected during the monitoring period. This was for the formation of a new cycle path and construction of a bridge.</p> <p>As the two permitted development were minor developments it is not considered that they have led to a significant loss of undeveloped coast.</p>				
Action	Development plan policies are being implemented effectively.			

MF02

Objective	Protecting, Enhancing and Managing the Natural Environment.			
Key Policies Development Policy 2: Development and the Landscape (2)		Related Policies Strategic Policy D: Natural Environment (D) Strategic Policy Dd: Climate Change (Dd)		
Indicator	Target	Outcome		Trigger Point
Area of SPA, SAC, SSSI or Ramsar sites lost to development.	No significant net loss.	AMR No 1:	No areas of SPA, SAC, SSSI and RAMSAR are negatively affected.	No loss
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
<ul style="list-style-type: none"> • SPA – No applications intersecting SPA during this monitoring period • SAC – 14 applications which intersected a SAC were given permission during this monitoring period. However 5 of these were information/interpretation panels; 6 were minor developments or householder development; 1 listed building consent; 1 non material amendment and 1 was for the erection of a telecommunications mast at Ogwen Car Park. Following assessments submitted as part of the applications it was concluded that the permissions did not have an adverse effect on the Special Areas of Conservation they intersected. • SSSI – 16 applications were permitted which intersected on an area of SSSI during this monitoring period. These were mostly householder developments, minor developments and advertisements/interpretation panels. One was for the erection of a telecommunications mast at Ogwen Car Park. Two applications were refused and two were withdrawn. It is not considered that the permissions had an adverse effect on the SSSI's they intersected. Following assessments submitted as part of the applications it was concluded that the permissions did not have an adverse effect on the SSSI they intersected. • RAMSAR – One application was permitted with conditions, which partly intersected a RAMSAR designation. This was for the change of use of the reception at the Llyn Tegid Warden's office to a shop <p>It is considered that no areas of SPA, SAC, SSSI and RAMSAR are negatively affected due to the permitted development</p>				
Action	Development plan policies are being implemented effectively.			

MF02a

Objective	Protecting, Enhancing and Managing the Natural Environment.			
Key Policies Development Policy 2: Development and the Landscape (2)	Related Policies			
Indicator	Target	Outcome		Trigger Point
Dark skies		AMR No 1:	It is not considered that Dark Sky core areas are negatively affected	
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
<p>11 applications were permitted within Dark Sky core areas during this monitoring period. These developments included;</p> <ul style="list-style-type: none"> • Erection of telegraph pole and associated equipment • Erection of 40m high emergency services network telecommunications mast • Householder developments • New access to property • Erection of shed • Alterations to buildings not associated with lighting <p>Following the assessments included with the granted proposals, it is not considered that Dark Sky core areas are negatively affected due to these permitted development</p>				
Action	Development plan policies are being implemented effectively.			

MF02b

Objective	Protecting, Enhancing and Managing the Natural Environment.			
Key Policies Development Policy 2: Development and the Landscape (2)		Related Policies Strategic Policy D: Natural Environment (D)		
Indicator	Target	Outcome		Trigger Point
Dyfi Biosphere	No significant net loss	AMR No 1:	It is not considered that the Dyfi Biosphere area was negatively affected.	No loss
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
<p>There were 30 permissions and one prior approval determined during this monitoring period, which intersected on the Dyfi Biosphere area.</p> <p>These permissions were mainly householder developments such as extensions, garages, replacement windows and alterations of conditions.</p> <p>The prior approval determination was for a 16.5m telecommunications mast close to Aberangell.</p> <p>As the developments permitted were mainly householder developments, extensions and new garages (as well as removal and alterations of conditions) it is not considered that the Dyfi Biosphere area was negatively affected.</p>				
Action	Development plan policies are being implemented effectively.			

MF02c

Objective	Protecting, Enhancing and Managing the Natural Environment.			
Key Policies Strategic Policy D: Natural Environment (D)	Related Policies			
Indicator	Target	Outcome		Trigger Point
Natural heritage and Natura 2000 improvements via S106/conditions or other factors	Increase in areas improved	AMR No 1:		
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
Improvements are included in most new planning permissions, particularly in the last quarter of the monitoring period. These include conditions such as hedge planting, bird boxes, eradicating invasive plant species and bat roosts. These are improvement measures rather than mitigation measures that will contribute to this action point. However by the next monitoring period we will look into the possibility of more accurately measuring how many applications have resulted in a natural heritage, Natura 2000 and biodiversity improvement due to a new development.				
Action	Investigate the possibility of including a new tickbox to the Swift planning system to capture cases more efficiently.			

MF04

Objective		Protecting, Enhancing and Managing the Natural Environment.		
Key Policies Strategic Policy A: National Park Purposes and Sustainable Development (A) Strategic Policy D: Natural Environment (D)		Related Policies		
Indicator	Target	Outcome		Trigger Point
Amount of development (by TAN 15 category) not allocated in the LDP permitted in the C1 and C2 floodplain not meeting the TAN 15 tests.	No development permitted that conflicts with TAN 15 (not including those considered exceptions in TAN 15)	AMR No 1:	No applications were considered unacceptable in terms of the potential consequences of flooding	1 development
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
<ul style="list-style-type: none"> • C1 – 28 developments were permitted which were within, or partly within, a C1 area during this monitoring period. These applications varied from householder developments, siting of pods, change of use applications and installation of solar slate. A major application which was permitted within a C1 zone was the application for the construction of a new road west of Llanbedr. Further details on this application are highlighted below in C2. • C2 – 18 developments were permitted which were within, or partly within, a C2 area during this monitoring period. These applications varied from householder developments, siting of pods, change of use applications and installation of solar slate. A major application which was permitted within a C2 zone was the application for the construction of a new road west of Llanbedr. In terms of flooding and water, numerous assessments such as flood consequences assessments, addendum report on sea level etc, was submitted prior to the application being permitted. Numerous conditions are attached to the permission, in relation to flooding, such as flood relief culverts that must be built in accordance with the plans, and flood mitigation measures, as documented within the flood consequences assessment, that must be included as part of the development. <p>Following the assessments and their conclusions, no applications were considered unacceptable in terms of the potential consequences of flooding, and each development proposal was consulted with NRW.</p>				
Action	Development plan policies are being implemented effectively.			

MF05

Objective	Protecting, Enhancing and Managing the Natural Environment.			
Key Policies		Related Policies		
Indicator	Target	Outcome		Trigger Point
% of new developments with Sustainable Drainage Systems (SUDS)	100% of all developments of 3 or more houses	AMR No 1:	n/a	30% or more of new development of 3 or more houses without SUDS.
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
From 7 th January 2019, all new developments of more than one dwelling house or where the construction area is 100m ² or more, will require Sustainable Drainage Systems (SuDS) for surface water. SuDS on new developments must be designed and built in accordance with the Statutory SuDS Standards published by the Welsh Ministers and SuDS Schemes must be approved by the local authority acting in its SAB role, before construction work begins.				
Action	Development plan policies are being implemented effectively.			

MF07

Objective	Protecting, Enhancing and Managing the Natural Environment.			
Key Policies		Related Policies		
Indicator	Target	Outcome		Trigger Point
Area of open space (68.5 ha) and green wedge (54.7 ha)	No significant net loss	AMR No 1:	No significant loss	1 development resulting in significant loss for 3 consecutive years or 3 developments resulting in significant loss in 1 year
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
<ul style="list-style-type: none"> • Open Spaces: Sixteen applications were permitted within areas of open space during 2019/2020. These applications ranged between erection of fences, listed building consents, householder developments (extensions/construction of garages) and replacements of current developments (e.g. conservatories). None of these applications resulted in areas lost from open space land, even when new developments (e.g. garages) were built as they were considered to be within the existing curtilages of the properties. • Green Wedges: One application was permitted within a green wedge area during 2019/2020, which was for the enlargement of an existing balcony across the front and side of elevations, and a new porch in Dyffryn Ardudwy. 				
Action	Development plan policies are being implemented effectively.			

MF08

Objective	Protecting, Enhancing and Managing the Natural Environment.			
Key Policies		Related Policies		
Indicator	Target	Outcome		Trigger Point
Monitor planning applications and decisions within the Green Wedge	No inappropriate development	AMR No 1:	No inappropriate development	1 development resulting in loss of openness
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
<p>One application was granted permission within areas of Green Wedge within the period of this Annual Monitoring Report. This was for;</p> <ul style="list-style-type: none"> The enlargement of an existing balcony across the front and side of elevations, and a new porch in Dyffryn Ardudwy <p>This was not considered to be an inappropriate development within areas of Green Wedge and therefore the policy is being implemented effectively.</p>				
Action	Development plan policies are being implemented effectively.			

MF11

Objective	Protecting, Enhancing and Managing the Natural Environment.			
Key Policies		Related Policies		
Indicator	Target	Outcome		Trigger Point
Monitor progress of the Shoreline Management Plan	Monitor Progress	AMR No 1:	n/a	
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
<p>The first Wales Marine Management Plan was published by Welsh Government on the November 12 2019. Follow up discussions with Welsh Government will be undertaken in order to see how the National Park can contribute to the success of the Plan.</p>				
Action	Development plan policies are being implemented effectively.			

Further investigation and actions from this section:

3.8 There are no major implications for the revision of the LDP in this section.

Case Studies

Small hydro-power schemes

There were no new hydro power schemes granted permission (or submitted) during this monitoring report period (2019-2020). There were five applications related to hydro power, but these were either discharge of conditions applications or minor alterations.

The National Park Authority is keen to support the deployment of renewable and low-carbon technologies where they do not compromise the purposes of National Park designation or the Special Qualities as listed in the LDP. Whilst there have been a small number of planning consents for domestic scale wind turbines and solar pv arrays, the need to protect the landscape and visual amenity of the area predicates that deployment of these particular technologies is constrained.

In recent years, there has been a significant uptake in micro hydro-power schemes, these are somewhat easier to accommodate in sensitive landscapes as they are limited to small run-of-river schemes on upland streams where the penstock can be buried and the turbine houses are of a modest size and designed to blend into the agricultural landscapes or are close to other agricultural buildings on farmsteads.

113 new hydro schemes have been permitted in Snowdonia since the first Eryri Local Development Plan (2011-2026) was adopted, with a generating capacity of some 7.5619MW (the actual capacity may be higher as the capacity is not known for all applications, especially the micro-generation units). Most of these hydro schemes are agricultural diversification, creating extra income on farms.

The table below shows the number of applications for hydro-power schemes in Snowdonia since the adoption of the Eryri Local Development Plan

	<i>Permitted</i>	<i>Refused</i>	<i>Withdrawn</i>
<i>Number</i>	113	19	3

Although it is acknowledged that the number of suitable sites is finite and that environmental and ecological constraints may preclude further significant development larger schemes, the National Park is, nevertheless, making a contribution to reducing demand for fossil-fuels through the generation of renewable energy and supporting income generation for farmers who can export excess electricity to the national grid.

4 PROTECTING AND ENHANCING THE CULTURAL HERITAGE

This section delivers a response to the following objectives:

To understand, value, protect and enhance the area's historic environment including archaeological remains and historical landscapes, and to promote development that enhances Snowdonia's built heritage and townscape.

To protect and enhance the natural beauty of the National Park's landscape by ensuring that development meets good sustainable design standards and respects the 'Special Qualities' of the area and the purposes of the National Park.

The Historic Environment Act (2016) Bill

- 4.1 The Historic Environment Act (2016) offers more effective protection to listed buildings and scheduled monuments, enhance existing mechanisms for the sustainable management of the historic environment and introduce greater transparency and accountability into decisions taken on the historic environment. The Local Development Plan (LDP) 2016-2031 has also included a Policy protecting the Candidate World Heritage Site – 'The Slate Landscape of North-West Wales'. The LDP has given consideration to the Act and consideration will also be given to the Act when drafting the Historic Environment SPG. Protection needs to be given to sites that are within the National Park on the tentative list of World Heritage nominations with UNESCO in the future.
- 4.2 During 2016 the Authority was successful in securing funding for the 2nd phase of the Townscape Heritage Initiative in Dolgellau which will run from 2016- 2021. This project offers eligible property owners an opportunity to receive a grant to repair buildings, restore lost architectural features along with bringing empty floors back into economic use. Another objective of the initiative is to promote awareness of the town's heritage and encourage the community and visitors to have greater involvement in their cultural heritage. Work is either progressing or has been completed on the majority of the Initiative's projects. One project underway is a 'House histories' a research project relating to the history of individual buildings in the town centre. The project will have a strong community engagement with local schools and groups, with a potential to publish a book based on the findings funded by Dolgellau THI. Unfortunately, engagement with stakeholders is not possible currently due to Covid-19 restrictions' however, background work on the project is ongoing.

MF12

Objective		<p>To understand, value, protect and enhance the area’s historic environment including archaeological remains and historic landscapes and to promote development that enhances Snowdonia’s built heritage and townscape.</p> <p>To protect and enhance the natural beauty of the National Park’s landscape by ensuring that development meets good sustainable design standards and respects the ‘Special Qualities’ of the area and the purposes of the National Park.</p>		
Key Policies Strategic Policy Ff: Historic Environment (Ff)		Related Policies Development Policy 6: Sustainable Design and Materials Development Policy 7: Listed and Traditional Buildings Development Policy 8: Protection of Non Designated Sites Development Policy 9: Conversion and change of use of rural buildings		
Indicator	Target	Outcome		Trigger Point
Preparation & adoption of SPG on Historic Environment	By 2019	AMR No 1:	Preparation underway	
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
SPG preparation is underway in order to support the adopted policies.				
Action				

MF13

<p>Objective</p>	<p>To understand, value, protect and enhance the area's historic environment including archaeological remains and historic landscapes and to promote development that enhances Snowdonia's built heritage and townscape.</p> <p>To protect and enhance the natural beauty of the National Park's landscape by ensuring that development meets good sustainable design standards and respects the 'Special Qualities' of the area and the purposes of the National Park.</p>			
<p>Key Policies Strategic Policy Ff: Historic Environment (Ff)</p>		<p>Related Policies Development Policy 6: Sustainable Design and Materials</p> <p>Development Policy 7: Listed and Traditional Buildings</p> <p>Development Policy 8: Protection of Non Designated Sites</p> <p>Development Policy 9: Conversion and change of use of rural buildings</p>		
<p>Indicator</p>	<p>Target</p>	<p>Outcome</p>		<p>Trigger Point</p>
<p>Preparation & adoption of SPG on Sustainable Design - locally distinct</p>	<p>By 2018</p>	<p>AMR No 1:</p>	<p>Preparation underway but delayed due to other work commitments</p>	
		<p>AMR No 2:</p>		
		<p>AMR No 3:</p>		
		<p>AMR No 4:</p>		
<p>Analysis</p>				
<p>SPG preparation is underway in order to support the adopted policies but has been delayed due to other work commitments.</p>				
<p>Action</p>				

MF14

<p>Objective</p>	<p>To understand, value, protect and enhance the area's historic environment including archaeological remains and historic landscapes and to promote development that enhances Snowdonia's built heritage and townscape.</p> <p>To protect and enhance the natural beauty of the National Park's landscape by ensuring that development meets good sustainable design standards and respects the 'Special Qualities' of the area and the purposes of the National Park.</p>			
<p>Key Policies Strategic Policy Ff: Historic Environment (Ff)</p>		<p>Related Policies Development Policy 6: Sustainable Design and Materials</p> <p>Development Policy 7: Listed and Traditional Buildings</p> <p>Development Policy 8: Protection of Non Designated Sites</p> <p>Development Policy 9: Conversion and change of use of rural buildings</p>		
<p>Indicator</p>	<p>Target</p>	<p>Outcome</p>		<p>Trigger Point</p>
<p>Number of Conservation Areas with up to date Area Assessments (14)</p>	<p>Complete Area Assessments by 2012 and review every 5 years</p>	<p>AMR No 1:</p>	<p>Delayed</p>	
		<p>AMR No 2:</p>		
		<p>AMR No 3:</p>		
		<p>AMR No 4:</p>		
<p>Analysis</p>				
<p>The Conservation Area Assessments are still in draft form and the Assessment for the Bala area needs to be completed. Due to other work commitments, Area Assessments have been delayed from completion.</p>				
<p>Action</p>	<p>Continue Monitoring: Development plan policies relating to Conservation Areas are being implemented effectively, however due to other work commitments Conservation Areas Assessments have been delayed.</p>			

MF15

Objective	<p>To understand, value, protect and enhance the area's historic environment including archaeological remains and historic landscapes and to promote development that enhances Snowdonia's built heritage and townscape.</p> <p>To protect and enhance the natural beauty of the National Park's landscape by ensuring that development meets good sustainable design standards and respects the 'Special Qualities' of the area and the purposes of the National Park.</p>			
Key Policies Strategic Policy Ff: Historic Environment (Ff)	Related Policies Development Policy 6: Sustainable Design and Materials Development Policy 7: Listed and Traditional Buildings Development Policy 8: Protection of Non Designated Sites Development Policy 9: Conversion and change of use of rural buildings			
Indicator	Target	Outcome		Trigger Point
Number of Conservation Areas with up to date Management Plans	Complete Management Plans and review every 5 years.	AMR No 1:	Delayed	
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
As the conservation area assessments have still not been finalised the management plans have not been completed.				
Action	Continue Monitoring: Development plan policies relating to Conservation Areas are being implemented effectively, however due to other work commitments Conservation Areas Assessments have been delayed			

MF16

Objective		<p>To understand, value, protect and enhance the area’s historic environment including archaeological remains and historic landscapes and to promote development that enhances Snowdonia’s built heritage and townscape.</p> <p>To protect and enhance the natural beauty of the National Park’s landscape by ensuring that development meets good sustainable design standards and respects the ‘Special Qualities’ of the area and the purposes of the National Park.</p>		
Key Policies Strategic Policy Ff: Historic Environment (Ff)		Related Policies Development Policy 6: Sustainable Design and Materials Development Policy 7: Listed and Traditional Buildings Development Policy 8: Protection of Non Designated Sites Development Policy 9: Conversion and change of use of rural buildings		
Indicator	Target	Outcome		Trigger Point
Number of listed buildings at risk (323)	To reduce the number of listed buildings at risk and monitor the reason for increase in number.	AMR No 1:	303 (2018-19)	
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
Due to the lack of resources and COVID-19 circumstances, there is no update for the number of listed building at risk for this monitoring period.				
Action	Continue Monitoring: Development plan policies are being implemented effectively.			

MF17

Objective		<p>To understand, value, protect and enhance the area's historic environment including archaeological remains and historic landscapes and to promote development that enhances Snowdonia's built heritage and townscape.</p> <p>To protect and enhance the natural beauty of the National Park's landscape by ensuring that development meets good sustainable design standards and respects the 'Special Qualities' of the area and the purposes of the National Park.</p>		
Key Policies Strategic Policy Ff: Historic Environment (Ff)		Related Policies Development Policy 6: Sustainable Design and Materials Development Policy 7: Listed and Traditional Buildings Development Policy 8: Protection of Non Designated Sites Development Policy 9: Conversion and change of use of rural buildings		
Indicator	Target	Outcome		Trigger Point
Monitor planning applications in and adjacent to Historic Parks and Gardens that may have an impact.	To reduce the number of listed buildings at risk and monitor the reason for increase in number.	AMR No 1:	None were considered to have an adverse effect on the historic park or its setting.	
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
There have been 16 planning applications for various developments within 100m buffer of historic parks and gardens, all of which were granted permission. These applications were all minor developments for alterations to improve existing developments. The impact of the developments on the historic parks and gardens was considered as part of the decision making process, and none of them was considered to have an adverse effect on the historic park or its setting.				
Action	Continue Monitoring: Development plan policies are being implemented effectively.			

MF18 +19

Objective		<p>To understand, value, protect and enhance the area's historic environment including archaeological remains and historic landscapes and to promote development that enhances Snowdonia's built heritage and townscape.</p> <p>To protect and enhance the natural beauty of the National Park's landscape by ensuring that development meets good sustainable design standards and respects the 'Special Qualities' of the area and the purposes of the National Park.</p>		
Key Policies Strategic Policy Ff: Historic Environment (Ff)		Related Policies Development Policy 6: Sustainable Design and Materials Development Policy 7: Listed and Traditional Buildings Development Policy 8: Protection of Non Designated Sites Development Policy 9: Conversion and change of use of rural buildings		
Indicator	Target	Outcome		Trigger Point
Number of Scheduled Ancient Monuments at risk. Monitor planning applications which may have an impact on a Scheduled Ancient Monument	To reduce the number at risk	AMR No 1:	None were considered to have an adverse effect on Scheduled Ancient Monuments.	
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
A record of SAM at risk is maintained by CADW, this information can be viewed within SA Objective 10(b) of the Sustainability Appraisal Monitoring Framework. Within a 100m SAM buffer zone, there were no planning applications approved for new developments apart from advertisement consents and information panels; otherwise it was only minor developments to existing developments that were approved during this monitoring period, such as alterations and change of use. Any potential impact on SAM was considered as part of the decision-making process.				
Action	Continue Monitoring: Development plan policies are being implemented effectively.			

MF20

Objective		<p>To understand, value, protect and enhance the area's historic environment including archaeological remains and historic landscapes and to promote development that enhances Snowdonia's built heritage and townscape.</p> <p>To protect and enhance the natural beauty of the National Park's landscape by ensuring that development meets good sustainable design standards and respects the 'Special Qualities' of the area and the purposes of the National Park.</p>		
Key Policies Strategic Policy Ff: Historic Environment (Ff)		Related Policies Development Policy 6: Sustainable Design and Materials Development Policy 7: Listed and Traditional Buildings Development Policy 8: Protection of Non Designated Sites Development Policy 9: Conversion and change of use of rural buildings		
Indicator	Target	Outcome		Trigger Point
Number of archaeological sites, Scheduled Ancient Monuments and Conservation Areas preserved or enhanced by development proposals	All development proposals	AMR No 1:	Delayed	1 development failing to preserve or enhance for 3 consecutive years or 3 developments failing to preserve or enhance in 1 year (needs to link to CA Assessments and Management Plans as above)
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
As the Conservation Area assessments and management plans have not yet been completed, it is difficult to determine if conservation areas have been improved by development proposals. Preserving and enhancing conservation areas has been considered as part of the decision-making process.				
Action	Continue Monitoring: Development plan policies are being implemented effectively.			

MF21

<p>Objective</p>	<p>To understand, value, protect and enhance the area's historic environment including archaeological remains and historic landscapes and to promote development that enhances Snowdonia's built heritage and townscape.</p> <p>To protect and enhance the natural beauty of the National Park's landscape by ensuring that development meets good sustainable design standards and respects the 'Special Qualities' of the area and the purposes of the National Park.</p>			
<p>Key Policies Strategic Policy Ff: Historic Environment (Ff)</p>	<p>Related Policies Development Policy 6: Sustainable Design and Materials</p> <p>Development Policy 7: Listed and Traditional Buildings</p> <p>Development Policy 8: Protection of Non Designated Sites</p> <p>Development Policy 9: Conversion and change of use of rural buildings</p>			
<p>Indicator</p>	<p>Target</p>	<p>Outcome</p>		<p>Trigger Point</p>
<p>Monitor planning applications coming forward within the World Heritage Site or essential setting and Candidate World Heritage Site</p>	<p>No unacceptable impact on the designations and candidate designations</p>	<p>AMR No 1:</p>	<p>Preparation underway</p>	
		<p>AMR No 2:</p>		
		<p>AMR No 3:</p>		
		<p>AMR No 4:</p>		
<p>Analysis</p>				
<p>At present this is not an indicator that can be monitored easily as the Authority has not received a digital layer of the Candidate World Heritage Site boundary. The Authority will report on any unacceptable impact on the designations and candidate designations it is aware of.</p>				
<p>Action</p>	<p>Continue Monitoring: Development plan policies are being implemented effectively.</p>			

Further investigation and actions from this section:

- 4.3 It is considered that there are not any major implications for the revision of the LDP in this section.

Case Studies

The Carneddau Landscape Partnership Scheme



The Carneddau Landscape Partnership has developed a scheme that will help promote a positive future for the Carneddau by increasing understanding and enjoyment of its history, cultural traditions and wildlife. It will conserve the area's heritage by promoting sustainable farming that protects rare habitats, species and archaeological remains, and by recording place names and memories. A £1.7 million grant from the National Heritage Lottery Fund will help deliver the scheme, worth over £4 million, over the next 5 years.

Projects within the scheme include:

1. Cylchdaith y Carneddau – Circular Tour: Establish a multi-day tour on existing Rights of Way, access improvements, promotion and creating digital and printed interpretation resources.
2. Grazed Uplands: Ffridd and mountain fringe improvements, conservation for and recording of chough and gorse and bracken clearance from archaeological sites.
3. Landscape of Neolithic Axes: Public archaeology exploring 6,000 year old stone quarries and the beautiful axes that were traded and exchanged over long distances across Britain.
4. LiDAR Citizen Science: Discovering and mapping archaeology, peatlands and landscape features using a new 3D aerial laser scan of the entire Carneddau landscape.

5. Meadows: Restoring upland meadows which are important feeding grounds for rare birds including the twite. Establishing and supporting flower rich valley-side meadows to increase biodiversity and help pollinators.
6. The Water Cycle: Peat and Rivers: Improving riverside corridors, removing invasive Himalayan Balsam, repairing peatland, raising awareness of the environmental importance of peatland, lake and river habitats and analysing ancient pollen in peat to understand landscape change.
7. Trees and Woodland: Planting trees in specific areas to improve the connectivity of habitats and biodiversity and recording ancient trees, establishing small nurseries to plant local trees and remove evasive Rhododendron.
8. Skylines: Promote awareness of the distinctive high summits and ridges and knowledge of their special heritage and wildlife including bronze age burial cairns and ancient arctic and alpine plant habitats.
9. Carneddau Voices and Place Names: A research and oral history project which will share stories, memories and information about Carneddau farming communities with a wider audience.

Dolgellau Townscape Heritage Initiative

One of the most prominent features of the town of Dolgellau is its high buildings of dolerite and slate graystones, and its web of narrow streets that have evolved and accidentally developed over four centuries. The town's 180 buildings are listed, and many of the town's historic buildings, mostly commercially, have fallen into ruins and some have been vacant or partially empty for years.

To help regenerate the town, the Dolgellau Townscape Heritage Initiative was established, which is a partnership between Snowdonia National Park Authority, Heritage Lottery Fund, Cadw and Gwynedd Council in 2009. The initiative will offer grants to property owners towards repairs on buildings, restore lost architectural features and bring empty floors back into economic use. The other objective of the initiative is to promote awareness of the town's heritage and encourage residents and visitors to become more involved in their cultural heritage.

In 2017, the five year plan was re-established.

2019/2020 Update.

Work is either progressing or has been completed on the majority of the Initiative's projects. One project underway is a 'House histories' a research project relating to the history of individual buildings in the town centre. The project will have a strong community engagement with local schools and groups, with a potential to publish a book based on the findings funded by Dolgellau TH. Unfortunately, engagement with stakeholders is not possible currently due to Covid-19 restrictions' however, background work on the project is ongoing.

5 PROMOTING HEALTHY AND SUSTAINABLE COMMUNITIES

This section delivers a response to the following objectives:

Support appropriate development which meets the housing needs of the local community, having special regard to affordable housing for local people.

Support the appropriate provision and retention of key community facilities and services throughout the area.

Encourage community recreational facilities where they meet local needs and do not conflict with the 'Special Qualities' of the Park.

Promote measures to encourage development that supports the vibrancy of the Welsh language and to protect communities from developments that are insensitive to impact on the Welsh language.

Overall Housing Market

- 5.1 The average house price % change in the National Park fell considerably between 2010 and 2012, before increasing steadily between 2012 and 2019. There are no regional house builders active in the market and therefore there is very limited speculative building of open market and affordable housing. The housing market in the National Park is localised in nature, relying on small local builders and self-build projects on small sites of less than five units. There has been a general trend in decreasing completions between 2015 and 2019 at an all Wales level and it is understood that the current economic climate has resulted in a difficult borrowing environment for small builders and self-build projects which may impact the rate of development in the National Park.
- 1.2 Other external factors may affect the overall housing market in the National Park. In 2019, the UK was set to leave the EU in March, and then again in October. The UK formally left the EU on the 31st of January 2020 and is now within the transition period, due to end on the 31st of December 2020. The situation has led to years of uncertainty leading many to question whether house prices will drop after the end of the transition period. The uncertainty and potential decrease in property value could dissuade developers from proceeding with plans to invest or seek consent and construct houses. The impact may only become apparent in the following years, yet the Covid-19 pandemic may also affect the figures for the following AMR monitoring period.

Affordable Housing Need

- 5.4 Local Housing Authorities are responsible for producing and updating Local Housing Market Assessment (LHMA) in partnership with planning authorities and other stakeholders. Conwy's LHMA Study (2017- 2022) identifies a total of 1,155 additional affordable homes over the period 2017- 2022 (231 units per year) for the whole of Conwy County. On a pro rata split of 4% for the part of Conwy area within the National Park boundary this equates to a total of 46 units over the 5

year period (2017- 2022) an annual need of 9 units for the area of Conwy which falls within the National Park.

- 5.5 Gwynedd Council have updated their LHMA for the period (2018-2023). Gwynedd LHMA (2018-2023) has identified an annual housing need figure of 707 for the Gwynedd area. Using a pro rata split of 19% for the part of Gwynedd area within the National Park boundary, gives an annual need of 134 and a total of 670 units over the 5 year LHMA period.
- 5.6 The Authority will continue to work closely with Gwynedd and Conwy and use the findings of the LHMA's to help inform the type of dwellings required in terms of size and tenure mix. There are also affordable need figures that can be obtained from social housing registers for both Counties. In addition, the Local Authorities of North Wales and housing associations have to set up an intermediate housing register (Tai Teg) which is coordinated by Grŵp Cynefin housing association. This register provides specific information about intermediate housing needs across the whole of north Wales and it is possible to break down the information by settlement to provide an accurate figure of intermediate housing need within settlements across the National Park.

Population and Household Projections

- 5.7 The national 2014 based household projections for the National Park were published in July 2017 ³. These projections estimate that between 2014 and 2029 the population of the Park will decrease by 6% which is a total of 1730. During the same period the households in Snowdonia is projected to decrease by 240 (2%). The largest fall in the number of households is projected to be for two-person households with no children. In contrast, one person households were projected to increase by 10% resulting in a projected decrease in the average household size in Snowdonia from 2.1 in 2014 to 2.0 in 2029. The 2014 based projections are regarded as being more accurate than the previous 2008 projections as some of the assumptions such as new household formation rates were recalibrated following new hard evidence from the 2011 census. A falling population and slower new household formation rates will reduce the need for more houses. It is estimated that the number of households is projected to stay the same until 2019 followed by a gradual decrease. After 2020 the annual dwelling requirement will decrease year on year from existing levels. Although these projections show a decrease in the number of households in Snowdonia and therefore a likely decrease in the number of dwellings required in Snowdonia the Eryri LDP continues to aim to achieve accessible and affordable housing to secure the long term viability of Snowdonia National Park's rural communities. The 2018 based household projections have not yet been published for National Park areas.

Review of Section 106 Agreements

- 5.8 The Authority is aware that in the current economic climate lenders are taking a more cautious view towards self-build mortgages in general and to properties that are subject to restrictions such as section 106 agreements. In line with the requirements of lenders the Authority has sought to amend its Section 106 Agreements in line with the work carried out nationally with the Welsh Local

³ Publication of projections based on 2018 for the National Parks have been delayed due to the Covid-19 pandemic

Government Association and the Council of Mortgage Lenders. Despite making 106 agreements more flexible to lenders, they continue to be risk averse in lending to first time buyers especially for affordable local needs housing and especially on self-build projects. The Authority now considers there are no further amendments possible to 106 agreements without compromising LDP policies. Copies of standard 106 agreements have been made available on the website for applicants to discuss at an early stage with lenders and with the Authority if necessary. In addition to this the Authority has also amended, where requested by developers, S106 agreements to allow for shared equity schemes on houses. This allows greater flexibility on who can buy the properties once they are developed. The Authority will continue working closely with developers to offer this to them should they request it. The Authority has also contacted a mortgage provider who was providing mortgages for affordable housing expressing disappointment at the removal of affordable housing product. The lack of availability of mortgage products for affordable housing is making the delivery of affordable housing more difficult. The mortgage provider did say that although they had removed all their products they are looking into reintroducing them.

Progress on Allocated sites

- 5.9 Development Plans Manual 3, issued in March 2020, has introduced a new method of demonstrating housing delivery. The previous Housing Land Availability study required by TAN 1 has been replaced with a requirement to update and report on the housing trajectory included in Appendix 9 of the Eryri LDP 2016—2031. LPA's are required to engage with stakeholders through a Housing Stakeholder Group. This process will determine the timing and phasing of allocated and large sites (over 5 units). Due to Covid-19 restrictions, and that the Welsh Government did not require AMRs to be submitted this year the Authority has not formed a Housing Stakeholder Group this year. As engagement with the group is an essential component of determining the timing and phasing of sites, a trajectory has not been produced for 2019-2020. A stakeholder group will be formed during the Summer of 2021 which will lead to the inclusion of a housing trajectory in next year's AMR. In order to continue monitoring site progress, the Authority have contacted site owners of allocated and large sites with extant planning permission. Information provided for the allocated sites has been inputted into Appendix 3 which is a schedule on the development progress of allocated housing sites in the LDP.

TAN 20 – Planning and the Welsh Language

- 5.10 The Welsh Government published revised TAN 20 in October 2017. T Policy 18: The Welsh Language and the Social and Cultural Fabric of Communities requires a Community and Linguistic Statement to be submitted for developments of certain size and type. The current SPG on the Welsh Language was adopted in 2011. The SPG is currently under revision and will reflect the guidance in TAN 20 and Policy 18 of the ELDP 2016-2031. A language impact assessment was undertaken when preparing the ELDP 2016-2031 which informed the strategy and the policies within the Plan. There is also an SA objective of the Welsh Language within the plan.

MF24

Objective		Support appropriate development which meets the housing needs of the local community, having special regard to affordable housing for local people.		
Key Policies Strategic Policy G: Housing Development Policy 30: Affordable Housing		Related Policies Development Policy 9: Conversion and Change of Use of Rural Buildings Development Policy 11: Affordable Housing in Exception Sites		
Indicator	Target	Outcome		Trigger Point
Number of consents granted and new houses completed annually	To meet the requirement of 770 (average 51 units per annum) units over the Plan period (2016-2031)	Adoption		Below the average annual housing requirement, target over two consecutive years i.e. below 102 units over two consecutive years.
		AMR No 1:	14 housing units granted permission, 14 housing units completed	
	2017/18 44	AMR No 2:		
	2018/19 57	AMR No 3:		
	2019/20 62	AMR No 4:		
	2020/21 72			
	2021/22 85			
	2022/23 56			
	2023/24 51			
	2024/25 51			
2025/26 60				
2026/27 52				
2027/28 46				
2028/29 46				
2029/30 46				
2030/31 45				
Analysis				
Conclusion: Number of consents granted during 2019/20 was 14 Number of new houses completed during 2019/20 was 14 To provide context, the number of consents granted and new houses completed annually over the first two years covered by the ELDP were: 2017/18: 21 housing units granted permission, 28 housing units completed 2018/19: 40 housing units granted permission, 17 housing units completed 2019/20 has seen a reduction in the number of consents granted for residential units and the number of completions. As can be seen from previous years, the number of new consents and completions tends to fluctuate from year to year. Some years the number of new units granted planning permission is low while completions are high and vice versa. It is therefore very difficult to determine any specific trends. External factors may have impacted upon the overall economy and housing market and influenced development with the National Park. The uncertainty over Brexit may have				

dissuaded developers from proceeding with plans to invest in housing. The reduction in completions may due in part be due to the difficult borrowing environment for small builders and self-build projects.

The Authority is dependant on the delivery of affordable housing units by Housing Associations on allocated sites. In 2019-20, no permissions were granted to Housing Associations for affordable units, which given the low number of permission overall, has a significant impact on these figures. There were also no completions of affordable units by Housing Associations within 2019-20, thus lowering the figure significantly. There is a tendency for Housing Associations to prefer developing sites in towns and more populated areas, as they may offer greater certainty than smaller sites in rural areas. The Authority continues to work closely with both housing authorities and housing associations to bring appropriate sites forward for development.

A trend of low completions recognised by previous AMR's was taken into account during the revision of the ELDP. Changes were made to the housing policy which were expected to increase housing completions. New housing allocations have been proposed in sustainable locations to meet local needs over the Plan period and greater choice and flexibility of sites have been proposed to ensure a sustained delivery of new housing. The thresholds for requiring affordable housing provision have been increased within settlements, e.g. Within Local Service Centres 20% affordable housing provision is required on sites of 5 dwellings or more. The previous LDP required a 50% affordable housing provision on all unallocated sites within Local Service Centres. Within service and secondary settlements, single open market dwellings on windfall sites are now acceptable. The inclusion of general market housing and affordable housing within service settlements and secondary settlements was considered the most appropriate way forward in order to balance the need to deliver affordable housing to meet local need, while enabling the release of more open market housing to stimulate the local housing market. This was also intended to increase the overall completion rate and support small builders and the local economy within the context of a designated landscape setting.

The low number of permission and completions this year suggest the change in policy has not yet had the desired impact, which perhaps suggests that the low numbers is related to the overall housing market condition and borrowing environment and that small builders are much more risk averse in the current economic climate. However, this is the first full year of reporting the ELDP 2016-2031. Given the low number of permissions and completions this year, together with uncertainty caused by wider economic factors and, it is difficult to establish in the first year of monitoring the extent of the impact of the new policy. The desired effects could be delayed due to current circumstances, and may take some years to have an impact. The COVID-19 pandemic may also impact upon next year's figures and the Authority will need to continue to monitor numbers closely.

Under the previous plan, low numbers in overall housing completions may have been due to a number of open market dwellings being prevented from progressing at the pre-application stage with applicants realising early on that they will have to conform to the affordable housing for local needs requirement. The experience of the Authority's planning officers suggested that developers were waiting to see what policies would be included in the revised Plan. The policy changes to address these issues of low completions in the new LDP may eventually result in more applications being submitted and more houses being completed. However it may take 2-3 years for the policy changes to translate into planning permissions and then into completions.

Action	Further Investigation/Research Required. This is the first year of monitoring since adoption of the ELDP 2016-2031. The figure for the period 2019-20 falls below the trigger level and the Authority will
--------	--

investigate and continue to monitor future reports to distinguish trends.

MF25

Objective	Support appropriate development which meets the housing needs of the local community, having special regard to affordable housing for local people.			
Key Policies Strategic Policy G: Housing Development Policy 30: Affordable Housing	Related Policies Development Policy 9: Conversion and Change of Use of Rural Buildings Development Policy 11: Affordable Housing in Exception Sites			
Indicator	Target	Outcome		Trigger Point
% of consents granted and new housing completed annually in each settlement tier	Local Service Centres (25%)	Adoption		Proportion of dwellings permitted falls below the targets for a) Local Service Centres and Service Settlements b) exceeds the targets for Secondary Settlements and Open Countryside for two consecutive years
	Service Settlements (10%)	AMR No 1:	See analysis	
	Secondary Settlements (45%)	AMR No 2:		
	Smaller Settlements (10%)	AMR No 3:		
	Open Countryside (10%)	AMR No 4:		
Analysis				
<p>Granted Permission:</p> <p>Local Service Centres. 2 units = 14% Below target Service Settlements 2 units = 14% Above target Secondary Settlements 9 units = 64% Above target Smaller Settlements: 0% Open Countryside : 1 unit = 7% Below target</p> <p>Completions:</p> <p>Local Service Centres: 3 units = 21% Below target Service Settlements: 2 units = 14% Above target Secondary Settlements: 4 units = 29% Below target Smaller Settlements: 0% Open Countryside: 4 units = 36% Above target</p> <p>All planning applications granted for housing since adopting the LDP have been determined in accordance with Strategic Policy C: Spatial Development Strategy and therefore complied with the main spatial strategy outlined in the Plan.</p> <p>Due to the relatively small scale development and low number of housing units within the National Park, unanticipated development on a windfall site or a large site completed within one year can result in exceeding the % target for a given settlement tier for that</p>				

particular year and can have a profound impact on the % target. Within this monitoring year, no permission or completions were delivered on an allocated site, and no large sites (over 5 units) were permitted or completed, thus affecting the distribution of the percentages, with the majority of the units developed being single units.

Given the low numbers of permissions and completions this year, a single unit represents 7%, demonstrating that when dealing with such a low scale of completions, the percentages can be skewed significantly each year. The target will need to be monitored closely over the next few years to see if this is part of a longer term trend or a one off occurrence for this year of monitoring.

Not all settlement targets have been met, with some above and some below. Across the settlement types, the spread of development does loosely follow that of the targets, with the majority concentrated in secondary settlements (in which there are 38 settlements in this tier). The higher number of permission granted in secondary settlements may be a result of the threshold for affordable housing being lowered for unallocated sites, from 100% to 50% on sites of 2 dwellings or more resulting in a number of windfalls for single open market dwellings.

The % target for completions in the open countryside is exceeded; however, 36% only represents four units. All these permissions have been in accordance with the Spatial Development Strategy Policy C, national policy for Rural Enterprise dwellings and the policy for replacement dwellings. It is very difficult to anticipate the number of rural enterprise dwellings, conversions/change of use to affordable dwellings or the number of replacement dwellings coming forward annually.

Action

Further Investigation/Research Required. This is the first year of monitoring since adoption of the ELDP 2016-2031. The figure for the period 2019-20 falls below the trigger level and the Authority will investigate and continue to monitor future reports to distinguish trends.

MF26

Objective	Support appropriate development which meets the housing needs of the local community, having special regard to affordable housing for local people.			
Key Policies Strategic Policy G: Housing Development Policy 30: Affordable Housing		Related Policies Development Policy 9: Conversion and Change of Use of Rural Buildings Development Policy 11: Affordable Housing in Exception Sites		
Indicator	Target	Outcome	Trigger Point	
Number of affordable housing units granted planning permission per annum	25 affordable housing units to be granted planning permission per annum	Adoption	Below 21 units granted planning permission per annum for 2 consecutive years	
		AMR No 1:		2
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
Out of the 14 new residential dwellings granted planning permission between April 2019 and March 2020, 2 of these have been affordable housing units.				
<p>The number of affordable units granted planning permission is low at 2 units. This should be seen in the context of the low number of permissions granted for all types of housing, only 14, which is the lowest since AMR monitoring commenced. External factors may have impacted upon the overall economy and housing market and influenced development with the National Park. The uncertainty over Brexit may have dissuaded developers from proceeding with plans to invest in housing.</p> <p>The Authority depends of the delivery of the majority of affordable housing units by Registered Social Landlords on allocated sites. The National Park does not see housing development by large housebuilding companies. Small-scale developers building single plots are more prevalent; large schemes are mostly by Housing Associations, which provide 100% affordable provision. In 2019-20, no permissions were granted for affordable units by a Housing Association. This monitoring year has seen no permissions granted for large sites of five or more units; the only permission where the threshold for affordable housing was reached was a consent for 4 in a Local Service Centre, providing 2 affordable units.</p> <p>The raising of the threshold in Service and Secondary settlements now allows single units to be open market dwellings. This has resulted in permissions for a number of single, open market dwellings. Had the policies of the previous ELDP had been applied, 10 of the 14 permissions would have required to be affordable. The low number of permissions for affordable homes may be a direct result of this change in threshold. The change may have encouraged small-scale developers to apply for single plots in areas where under the previous plan, would have had a requirement to be affordable.</p>				
Action	Further Investigation/Research Required. This is the first year of monitoring since adoption of the ELDP 2016-2031. The figure for the period 2019-20 falls below the trigger level and the Authority will investigate and continue to monitor future reports to distinguish trends.			

MF27

Objective	Support appropriate development which meets the housing needs of the local community, having special regard to affordable housing for local people			
Key Policies Strategic Policy G: Housing Development Policy 30: Affordable Housing		Related Policies Development Policy 9: Conversion and Change of Use of Rural Buildings Development Policy 11: Affordable Housing in Exception Sites		
Indicator	Target	Outcome		Trigger Point
Number of affordable housing units completed per annum	25 affordable housing units to be completed per annum.	Adoption		Below 21 units completed per annum for 2 consecutive years
		AMR No 1:	3	
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
<p>The number of affordable units completed during 2019/2020 is low at 3 units and below the target of 25 and below the trigger level of 21 units. The figure should be seen in context of the low number of overall completions (14).</p> <p>The low number of completions for 2019/20 could be due to the overall health of the property market and economy. External factors may have impacted upon the overall economy and housing market and influenced development with the National Park, such as uncertainty over Brexit and difficult borrowing environment for small builders and self-build projects.</p> <p>The Authority is dependent of the delivery of affordable housing units by Housing Associations. In 2019-20, no affordable units were completed by Housing Associations, which given the low number of completions overall, has a significant impact on the figures for this monitoring year. A site of 11 units by a Housing Association is close to completion and will be included in the figures for next year's monitoring report, which should result in a higher number of completions.</p>				
Action	Further Investigation/Research Required. This is the first year of monitoring since adoption of the ELDP 2016-2031. The figure for the period 2019-20 falls below the trigger level and the Authority will investigate and continue to monitor future reports to distinguish trends.			

MF28

Objective		Support appropriate development which meets the housing needs of the local community, having special regard to affordable housing for local people		
Key Policies Strategic Policy G: Housing Development Policy 30: Affordable Housing		Related Policies Development Policy 9: Conversion and Change of Use of Rural Buildings Development Policy 11: Affordable Housing in Exception Sites		
Indicator	Target	Outcome	Trigger Point	
Number of market units coming forward as a result of non-viability (i.e. units that are not viable and have therefore resulted in open market housing with a commuted sum).		Adoption	10 or more units per annum granted planning permission for three consecutive years.	
		AMR No 1:		0
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
No open market units resulted in a commuted sum payment. Commuted sums in the National Park mainly derive from consents for conversions to open market dwellings. This monitoring year saw four consents for conversions, one of which was a 12 month temporary permission from a holiday let to residential granted due to personal circumstances. The permission lapsed in June 2020 and the dwelling has now returned to holiday accommodation. The other three conversions were to holiday accommodation as part of a rural enterprise scheme and therefore did not result in a commuted sum or open market residential unit.				
Action	Development plan policies are being implemented effectively			

F29

Objective		Support appropriate development which meets the housing needs of the local community, having special regard to affordable housing for local people		
Key Policies Strategic Policy G: Housing Development Policy 30: Affordable Housing		Related Policies Development Policy 9: Conversion and Change of Use of Rural Buildings Development Policy 11: Affordable Housing in Exception Sites		
Indicator	Target	Outcome		Trigger Point
Number of affordable housing units granted planning permission per annum via windfalls.	6 units per annum	AMR No 1:	2	Below 5 units granted planning permission per annum for 2 consecutive years
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
		AMR No 4:		
Analysis				
<p>Number of affordable housing units granted planning permission per annum via windfalls in 2019-2020 was 2 units. The low figure of 2 should be seen in the context of the low number of permissions granted for all types of housing, only 14, which is the lowest since AMR monitoring commenced. External factors such as brexit may have also had an impact on the economy and the overall housing market.</p> <p>Both affordable housing units granted planning permission during 2019/20 were via windfalls. This was for a development of 4 units within a Secondary Settlement, affordable housing contributions of 50% are sought 50% on sites of 2 dwellings or more.</p> <p>The thresholds for requiring a contribution of affordable housing were raised in the new ELDP The raising of the threshold in Service and Secondary settlements allows single units to be open market dwellings, whereas previously they were required to be affordable. This has resulted in permissions for a number of single, open market dwellings within these settlement types. The low number of permissions for affordable homes may be a direct result of this change in threshold. The change may have encouraged small scale developers to apply for single plots in areas where under the previous plan, would have had a requirement to be affordable.</p> <p>Previous low figures for affordable housing units permitted on windfall sites were taken into account during the revision of the LDP for 2016-2031 to ensure windfall sites are viable and brought forward for development. The thresholds in the revised Plan have been increased to assist sites coming forward; the percentage provision of affordable housing units required for developments has been reduced. It appears that a number of small open market windfall sites have come forwarded which fall below the threshold.</p>				
Action				

MF30

Objective	Support appropriate development which meets the housing needs of the local community, having special regard to affordable housing for local people Communities			
Key Policies Strategic Policy G: Housing Development Policy 30: Affordable Housing		Related Policies Development Policy 9: Conversion and Change of Use of Rural Buildings Development Policy 11: Affordable Housing in Exception Sites		
Indicator	Target	Outcome		Trigger Point
Number of affordable housing units completed per annum via windfalls.	6 units per annum	Adoption		Below 5 units completed per annum for 2 consecutive years
		AMR No 1:	2	
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
<p>2 affordable housing units completed on windfall sites during 2019/2020.</p> <p>The number is below the target set for affordable units on windfall sites, however this should be seen within the context of the low number of completions for all types of dwellings for this year (14). External factors such as brexit may have also had an impact on the economy and the overall housing market.</p> <p>The housing market in the National Park is localised in nature, relying on small local builders and self-build projects on small sites of less than five units. There are no regional house builders active in the market and therefore there is very limited speculative building of open market and affordable housing.</p> <p>The target will need to be monitored closely over the next year to see if this is part of a longer term trend or a one off occurrence for this year of monitoring.</p>				
Action	Further Investigation/Research Required. This is the first year of monitoring since adoption of the ELDP 2016-2031. The figure for the period 2019-20 falls below the trigger level and the Authority will investigate and continue to monitor future reports to distinguish trends.			

MF31

Objective	Support appropriate development which meets the housing needs of the local community, having special regard to affordable housing for local people			
Key Policies Strategic Policy G: Housing Development Policy 30: Affordable Housing Development Policy 9: Conversion and Change of Use of Rural Buildings		Related Policies		
Indicator	Target	Outcome		
Number of affordable housing units granted planning permission per annum via conversions.	3 units per annum	Adoption		Below 2 units granted planning permission per annum for 2 consecutive years
		AMR No 1:	0	
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
No affordable housing units have been granted planning permission via conversions during 2019/2020. The figure for the period 2019-20 falls below the trigger level. This is the first year of monitoring the target, which requires the trigger level to be activated for two consecutive years.				
Action	Further Investigation/Research Required. This is the first year of monitoring since adoption of the ELDP 2016-2031. The figure for the period 2019-20 falls below the trigger level and the Authority will investigate and continue to monitor future reports to distinguish trends.			

MF32

Objective		Support appropriate development which meets the housing needs of the local community, having special regard to affordable housing for local people		
Key Policies Strategic Policy G: Housing Development Policy 30: Affordable Housing Development Policy 9: Conversion and Change of Use of Rural Buildings		Related Policies		
Indicator	Target	Outcome		Trigger Point
Number of affordable housing units completed per annum via conversions.	3 units per annum	Adoption		Below 2 units completed per annum for 3 consecutive years
		AMR No 1:	3	
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
3 affordable units were completed via conversions.				
Action		Development plan policies are being implemented effectively		

MF33

Objective		Support appropriate development which meets the housing needs of the local community, having special regard to affordable housing for local people		
Key Policies Strategic Policy G: Housing Development Policy 30: Affordable Housing		Related Policies		
Indicator	Target	Outcome		Trigger Point
Monitor uptake of affordable housing in smaller settlements	2 per settlement over the life of the Plan	Adoption		Take up of 2 units per settlement. Take up of more than two units per settlement relating to need. No take up after 4 years in any individual settlement.
		AMR No 1:	0	
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
There has been no uptake of affordable dwellings within smaller settlements.				
Action		Development plan policies are being implemented effectively		

MF34

Objective	Support appropriate development which meets the housing needs of the local community, having special regard to affordable housing for local people			
Key Policies Strategic Policy G: Housing Development Policy 30: Affordable Housing Development Policy 11: Affordable Housing in Exception Sites		Related Policies		
Indicator	Target	Outcome		Trigger Point
Number of affordable housing units granted planning permission and completed per annum on exception sites. The exception sites are not included in the housing requirement figure.	1 scheme completed every 4 years	Adoption		Less than 1 scheme completed every 4 years.
		AMR No 1:	0	
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
No affordable housing units permitted or completed on exception sites.				
Action	Further Investigation/Research Required. This is the first year of monitoring since adoption of the ELDP 2016-2031. The figure for the period 2019-20 falls below the trigger level and the Authority will investigate and continue to monitor future reports to distinguish trends.			

MF35

Objective	Support appropriate development which meets the housing needs of the local community, having special regard to affordable housing for local people		
Key Policies Strategic Policy G: Housing Development Policy 30: Affordable Housing		Related Policies Development Policy 9: Conversion and Change of Use of Rural Buildings Development Policy 11: Affordable Housing in Exception Sites	
Indicator	Target	Outcome	Trigger Point
Monitor the size of sites coming forward and the number of units proposed on each site.		Adoption	
		AMR No 1:	See analysis
		AMR No 2:	
		AMR No 3:	
		AMR No 4:	
Analysis			
<p>Of the 14 residential units granted planning permission, one application was for 4 new build units, one application for two new build units. The remaining 8 planning permissions were for single units on windfall sites.</p> <p>The raising of the threshold to allow single open market dwellings in Service and Secondary Settlements may have encouraged development to bring forward smaller sites.</p> <p>The housing market in the National Park is localised in nature, relying on small local builders and self-build projects on small sites of less than five units. There are no regional house builders active in the market and therefore there is very limited speculative building of open market and affordable housing. No sites were granted permission, or were completed, by Housing Associations, who normally develop sites of 5 units or more.</p>			
Action	Development plan policies are being implemented effectively		

MF36

Objective	Support appropriate development which meets the housing needs of the local community, having special regard to affordable housing for local people			
Key Policies Strategic Policy G: Housing Development Policy 30: Affordable Housing		Related Policies Development Policy 9: Conversion and Change of Use of Rural Buildings Development Policy 11: Affordable Housing in Exception Sites		
Indicator	Target	Outcome		Trigger Point
Monitor the affordable housing targets and thresholds of sites coming forward.		Adoption		
		AMR No 1:	See analysis	
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
<p>The units which had an affordable housing requirement have met the affordable housing target of the Eryri LDP.</p> <p>There was one exception, a conversion of a holiday let to permanent residential was permitted, with no affordable requirement or commuted sum received. However this was a temporary permission, granted due to personal circumstances. The permission lapsed in June 2020 and the dwelling has now returned to holiday accommodation.</p>				
Action	Development plan policies are being implemented effectively			

MF37

Objective		Support appropriate development which meets the housing needs of the local community, having special regard to affordable housing for local people		
Key Policies Strategic Policy G: Housing Development Policy 13: Gypsy and Travellers Sites		Related Policies		
Indicator	Target	Outcome		Trigger Point
If need is identified through the GTNA within the National Park consider suitable sites.	Continue to be part of the GTNA group	Adoption		Failure to meet an identified need.
		AMR No 1:	See analysis	
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
Local authorities have a duty to undertake gypsy and traveller accommodation assessments (GTAA's) under the Housing (Wales) Act 2014. Gwynedd and Conwy local housing authorities have completed their Gypsy and Traveller Accommodation Needs Assessments at local authority level early in 2016. The GTAA's for the Gwynedd and Conwy areas were submitted to the Welsh Government and it was found that there was no need within the National Park for a residential site or a transit/temporary stopping site for gypsy and travellers. The Authority will continue to be part of the project steering group to ensure that ongoing monitoring will be maintained and to identify whether further residential or temporary stopping places should be delivered to meet any further identified need. The Authority will use the Eryri LDP criteria based policy to judge proposals to meet future or unexpected demand.				
Action	Development plan policies are being implemented effectively			

MF38

Objective	Support appropriate development which meets the housing needs of the local community, having special regard to affordable housing for local people Communities		
Key Policies Strategic Policy G: Housing Development Policy 30: Affordable Housing		Related Policies Development Policy 9: Conversion and Change of Use of Rural Buildings Development Policy 11: Affordable Housing in Exception Sites	
Indicator	Target	Outcome	Trigger Point
Monitor affordable housing need figure identified through the LHMA and other appropriate local housing needs surveys		Adoption	
		AMR No 1:	See analysis
		AMR No 2:	
		AMR No 3:	
		AMR No 4:	
Analysis			
<p>Local Housing Authorities are responsible for producing and updating LHMA in partnership with planning authorities and other stakeholders. Local Housing Authorities are responsible for producing and updating Local Housing Market Assessment (LHMA) in partnership with planning authorities and other stakeholders. Conwy's LHMA Study (2018-2022) identifies a total of 1155 additional affordable homes over the period 2018- 2022 (231 units per year) for the whole of Conwy County. On a pro rata split of 4% for the part of Conwy area within the National Park boundary this equates to a total of 46 units over the 5 year period (2017- 2022) an annual need of 9 units for the area of Conwy which falls within the National Park.</p>			
<p>Gwynedd Council have updated their LHMA for the period (2018-2023). Gwynedd LHMA (2018-2023) has identified an annual housing need figure of 707 for the Gwynedd area. Using a pro rata split of 19% for the part of Gwynedd area within the National Park boundary, gives an annual need of 134 and a total of 670 units over the 5 year LHMA period. The Authority will continue to work closely with Gwynedd and Conwy and use the findings of the LHMA's to help inform the type of dwellings required in terms of size and tenure mix.</p>			
<p>During this monitoring year, the Rural Housing Enablers (RHEs) has undertaken a local housing needs survey in Llanegryn. They have also undertaken work in the following communities:</p> <ul style="list-style-type: none"> - Llanfrothen - Dyffryn Ardudwy - Harlech - Pernal - Dwygyfylchi - Penmachno - Trawsfynydd - Brynchrug - Dolgellau - Betws y Coed - Llanuwchllyn 			
Action	Development plan policies are being implemented effectively		

MF39

Objective	Support appropriate development which meets the housing needs of the local community, having special regard to affordable housing for local people			
Key Policies Strategic Policy G: Housing Development Policy 30: Affordable Housing		Related Policies Development Policy 9: Conversion and Change of Use of Rural Buildings Development Policy 11: Affordable Housing in Exception Sites		
Indicator	Target	Outcome		Trigger Point
Monitor intermediate affordable housing needs through Tai Teg Register.		Adoption		
		AMR No 1:	See analysis	
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
<p>The Local Authorities of North Wales and housing associations have established Tai Teg, a joint intermediate housing register which is coordinated by Grwp Cynefin housing association. This register provides specific information about intermediate housing needs across the whole of north Wales and it is possible to break down the information by settlement to provide an accurate figure of intermediate housing need within settlements across the National Park. This information is available to the Authority and housing associations.</p> <p>The numbers of households on the Tai Teg register (the low cost homeownership register for the Gwynedd area) within the National Park in November 2020 was 41 for purchasing and 24 for rental. As it is possible for households to be on both registers, and can choose up to three areas, there may be duplication.</p>				
Action	Development plan policies are being implemented effectively			

MF40

Objective	Support appropriate development which meets the housing needs of the local community, having special regard to affordable housing for local people			
Key Policies Strategic Policy G: Housing Development Policy 30: Affordable Housing		Related Policies Development Policy 9: Conversion and Change of Use of Rural Buildings Development Policy 11: Affordable Housing in Exception Sites		
Indicator	Target	Outcome		Trigger Point
Revise existing SPG on Affordable Housing	By 2019	Adoption	Existing SPG	Failure to deliver
		AMR No 1:	SPG Revised and adopted	
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
<p>A revised SPG for affordable housing was adopted in September 2019. This is a practical guidance note for applicants who intend to submit a planning application for an affordable dwelling to meet local needs which is available to download on the Authority's website. The Authority continues to discuss viability issues on a case by case basis making reference to the SPG on Affordable Housing</p> <p>The SPG provides detailed information on how policies contained in the revised Eryri Local Development Plan (ELDP) (2016-2031) will be applied in practice by the Authority. The most relevant policies in the revised Eryri LDP are Strategic Policy G: Housing, Development Policy 30: Affordable Housing, Development Policy 11: Affordable Housing on Exception Sites and Development Policy 9: Conversion and Change of use of rural buildings.</p> <p>The SPG was the subject of a 6 week public consultation between the 9th of July 2019 and the 18th of September 2019. The consultation report is available for viewing on the Authority's website.</p> <p>The SPG has been updated to reflect current data on household income that guides the affordable price level of properties. The size of affordable housing units has also been defined so they commensurate with the needs of the intended household and remain affordable in perpetuity. The SPG has also been updated to reflect the most up to date data relating to commuted sum payments.</p> <p>The Authority has produced a practical guidance note for applicants who intend to submit a planning application for an affordable dwelling to meet local needs which is available to download on the Authority's website. The Authority continues to discuss viability issues on a case by case basis making reference to the SPG on Affordable Housing.</p>				
Action	Development plan policies are being implemented effectively			

MF41

Objective		Support appropriate development which meets the housing needs of the local community, having special regard to affordable housing for local people		
Key Policies Strategic Policy G: Housing Development Policy 30: Affordable Housing Development Policy 17: Removal of Agricultural and Holiday Accommodation Occupation Condition		Related Policies		
Indicator	Target	Outcome		Trigger Point
The number of applications approved for the removal of an agricultural or holiday accommodation occupancy condition	Substitution for a condition restricting occupancy to affordable housing	Adoption		Less than 30% of all approvals to remove agricultural or holiday accommodation conditions
		AMR No 1:	0	
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
No applications approved for the removal of an agricultural or holiday accommodation occupancy condition during 2019/20.				
Action		Development plan policies are being implemented effectively		

MF42

Objective		Support the appropriate provision and retention of key community facilities and services throughout the area. Encourage community recreational facilities where they meet local needs and do not conflict with the 'Special Qualities' of the Park.		
Key Policies Strategic Policy Ng: Community Services and Facilities		Related Policies Strategic Policy A: National Park Purposes and Sustainable Development		
Indicator	Target	Outcome		Trigger Point
Number of new or improved community facilities in Local Service Centres, Secondary Settlements and Smaller Settlements	An increase in the number of new or improved community facilities	Adoption		
		AMR No 1:	2 improved community facilities	
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
During 2019/20: <ul style="list-style-type: none"> - Listed Building Consent was granted for alterations to a former Chapel in Llanbedr, for a continuing religious use. - Cylch Meithrin Frongoch received permission which included the erection of a cabin, play & parking areas. 				
Action		Development plan policies are being implemented effectively		

MF43

Objective		Support the appropriate provision and retention of key community facilities and services throughout the area. Encourage community recreational facilities where they meet local needs and do not conflict with the 'Special Qualities' of the Park		
Key Policies Strategic Policy Ng: Community Services and Facilities		Related Policies Strategic Policy A: National Park Purposes and Sustainable Development		
Indicator	Target	Outcome		Trigger Point
Number of community facilities lost through change of use	No loss of viable facilities	Adoption		Failure to deliver
		AMR No 1:	No losses	
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
No community facilities were lost through change of use during 2019/2020.				
Action		Development plan policies are being implemented effectively		

MF44

Objective		Promote measures to encourage development that supports the vibrancy of the Welsh language and to protect communities from developments that are insensitive to impact on the Welsh language.		
Key Policies Development Policy 18: The Welsh language and the Social and Cultural fabric of communities		Related Policies		
Indicator	Target	Outcome		Trigger Point
Number of Community & Linguistic Statements submitted	No significant harm to the character and language balance of a community	Adoption		1 harmful scheme for 3 consecutive years or 3 harmful developments in 1 year
		AMR No 1:	No harmful scheme or developments	
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
During 2019/2020, no community and linguistic statements were submitted. The monitoring process has found two applications approved during the monitoring period 2019-2020 without a requisite Community & Linguistic Statement under Policy 18. One permission was for alterations within an existing caravan site, the other an extension of an existing caravan site; both exceeded the 1000 m2 threshold of DP 18.				
Action		Development Policy 18 is not being implemented as intended and officer training has been arranged with Development Management Officers, together with a review of the application validation process to prevent a further occurrence.		

MF45

Objective		Promote measures to encourage development that supports the vibrancy of the Welsh language and to protect communities from developments that are insensitive to impact on the Welsh language.		
Key Policies Development Policy 18: The Welsh language and the Social and Cultural fabric of communities		Related Policies		
Indicator	Target	Outcome		Trigger Point
Monitor the effectiveness of the Community and linguistic statement and the Community & Linguistic Impact Assessments	Number produced in compliance with policy. Assess effectiveness.	Adoption		
		AMR No 1:	See analysis	
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
<p>The Community & Linguistic Statements that have been submitted in previous years enabled the Authority to make an informed decision on applications that may have had an effect on the Welsh language within communities. They have also provided an opportunity for applicants to demonstrate positive influences on communities, particularly where the development serves to meet local needs. In response to any negative impacts of the development, the statement also gives the applicant the opportunity to expand on the benefits of the development and to present evidence of mitigating factors relevant to the application and planning.</p> <p>It has been noted that two applications were approved during the monitoring period without a Community & Linguistic Statement required under Policy 18. Both permissions were for caravan parks.</p>				
Action	Development Policy 18 is not being implemented as intended and officer training is required. Officer training has been arranged with Development Management Officers, together with a review of the application validation process to prevent a further occurrence.			

MF46

Objective		Promote measures to encourage development that supports the vibrancy of the Welsh language and to protect communities from developments that are insensitive to impact on the Welsh language		
Key Policies Development Policy 18: The Welsh language and the Social and Cultural fabric of Communities Development Policy 10: Advertisements and Signs		Related Policies		
Indicator	Target	Outcome		Trigger Point
Encouraging Welsh or bi-lingual signage	An increase in Welsh or bi-lingual signage	Adoption		
		AMR No 1:	Increase	
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		

Analysis	
<p>During 2019/2020, applicants have been encouraged to produce bilingual signs and this has been successful on more than one occasion. During this Annual Monitoring period, out of 17 applications, 16 applications were granted for bilingual signage. The majority were for interpretation boards by the National Park Authority. Bilingual signage was secured for HSBC in Dolgellau following negotiations, and HSBC Bala. The sole advertisement that was not bilingual was for the name of a shop, which cannot be translated.</p> <p>The Authority is in the process of drafting an SPG on Advisements, and is reviewing it's existing SPG on Welsh Language; both will contain guidance on Encouraging Welsh or bi-lingual signage</p>	
Action	Development plan policies are being implemented effectively

MF47

Objective	Promote measures to encourage development that supports the vibrancy of the Welsh language and to protect communities from developments that are insensitive to impact on the Welsh language			
Key Policies Development Policy 18: The Welsh language and the Social and Cultural fabric of Communities	Related Policies			
Indicator	Target	Outcome		Trigger Point
Encouraging the use of Welsh place names for new developments	An increase in Welsh place names for new developments	Adoption		
		AMR No 1:	See analysis	
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
Initiatives and actions to encourage the use of Welsh place names for new developments are to be discussed and explored within the Authority.				
Action	Further Investigation/Research Required. Initiatives and actions to encourage the use of Welsh place names for new developments are to be discussed and explored within the Authority. The Authority will investigate and continue to monitor this target for future reports.			

MF48

Objective		<p>Support appropriate development which meets the housing needs of the local community, having special regard to affordable housing for local people</p> <p>Support the appropriate provision and retention of key community facilities and services throughout the area.</p> <p>Encourage community recreational facilities where they meet local needs and do not conflict with the 'Special Qualities' of the Park</p> <p>Promote measures to encourage development that supports the vibrancy of the Welsh language and to protect communities from developments that are insensitive to impact on the Welsh language</p>		
Key Policies Strategic Policy G: Housing Strategic Policy A: National Park Purposes and Sustainable Development Development Policy 18: The Welsh language and the Social and Cultural fabric of Communities Strategic Policy B: Major Development		Related Policies Development Policy 30: Affordable Housing		
Indicator	Target	Outcome		Trigger Point
Number of planning obligations secured on larger development	All large development	Adoption		Failure to secure obligations where necessary on 2 or more sites in 3 years
		AMR No 1:	0	
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
During 2019/2020 no large scale development requiring a planning obligation were submitted.				
Action	Development plan policies are being implemented effectively			

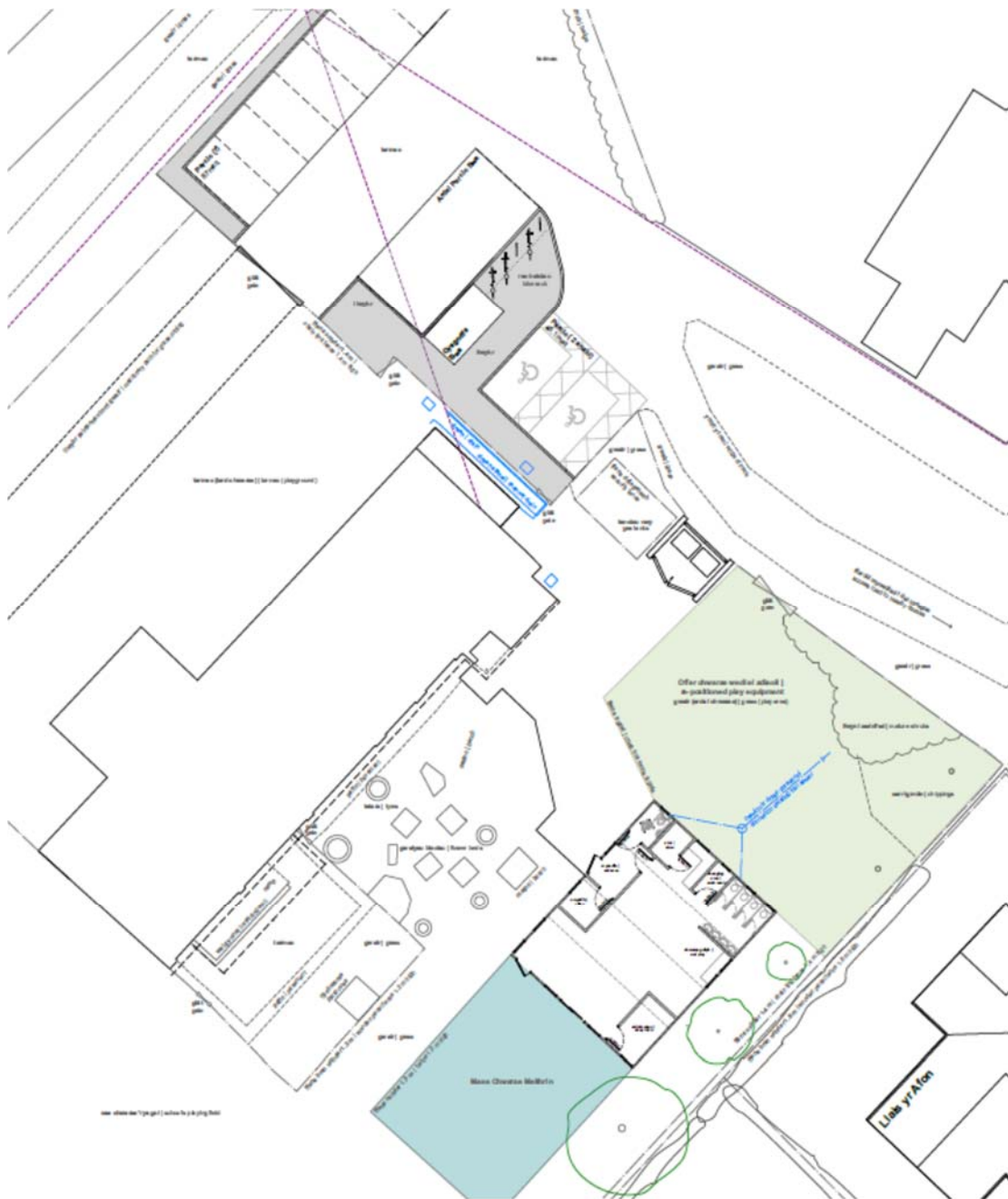
Further investigation and actions from this section:

- 5.11 The number of completions and permissions for residential units during 2019-20 within Snowdonia National Park were lower than previous monitoring years and well below the targets. There may be a number of local and wider national reasons for the low numbers. The housing market in the National Park is localised in nature, relying on small local builders and self-build projects on small sites of less than five units. There are no regional house builders active in the market and therefore there is very limited speculative building of open market and affordable housing. There were no large sites (over 5 units) permitted or completed during this monitoring year. The decrease may in part be due to the difficult borrowing environment for small builders and self-build projects. There were no permissions or completions by Housing Associations during this monitoring year, which is unusual and has a significant impact on overall numbers, in particular the provision of affordable housing.
- 5.12 It will be important to understand the implications of Britain's exit from the European Union (EU). The uncertainty and potential decrease in property value could dissuade developers from proceeding with plans to invest or seek consent and construct houses. The impact may only become apparent in the following years, yet the Covid-19 pandemic may also affect the figures for the following AMR monitoring period. Wales wide, there has been a general trend in decreasing completions between 2015 and 2019, the figures in this Annual Monitoring Report seem to reflect this national trend.
- 5.13 Changes in the Authority's housing policies by increasing affordable housing thresholds were expected to stimulate the housing market to increase choice and overall completion rate as well as supporting small builders and the local economy, however this has not happened in the first year of monitoring the policy. Further monitoring is required in order to determine the impact of the new policy and the influence of external factors.

Case Studies

An application was approved for new facilities at Ysgol Bro Tryweryn, Frongoch. A new cabin will provide facilities for the local Cylch Meithrin and provide continual care; a new play area and improved vehicular parking will represent significant benefits for pupils and parents.

The development will represent a significant improvement to this community facility and will contribute to community cohesion, belonging and vibrancy which combine to give a strong 'sense of place', considered to be one of Snowdonia National Park's 'Special Qualities'



6 SUPPORTING A SUSTAINABLE RURAL ECONOMY

This section delivers a response to the following objectives:

Encourage sustainable economic growth by supporting a rural economy that provides employment opportunities and maintains thriving communities.

Support tourism and outdoor recreation which maximise local economic benefits, minimise environmental impact and are in sympathy with the 'Special Qualities' of the National Park

Employment Land

- 6.1 There have been eight applications permitted during 2019/2020 that resulted in an estimated increase of 2367.77m² new floor space for employment purposes. An application to change the use of an assembly and leisure facility at Coleg Harlech to a business and storage area was permitted and permission was also granted for a dwelling to be converted to a shop which will result in new employment space. Permission was also granted for a shop to be converted from an A1 unit to be an A1, A2 and D1 unit and an application to convert a stable block into a Gun & Ammunition shop was permitted which will result in new employment space. Permission was granted for the conversion of the reception area of the Warden's office in Llyn Tegid, to a shop which was also true for the Warden's office at Pen y Pass, which was permitted to be converted to a retail area. Permission was granted for the conversion of a storage room into a retail area at Morfa Stores, Harlech and permission was granted for a Tattoo Studio in Harlech.

Snowdonia Enterprise Zone

- 6.2 The Snowdonia Enterprise Zone that includes the former nuclear power station site at Trawsfynydd and the former airfield at Llanbedr has the potential to create new quality job opportunities. The site at Llanbedr had previously been shortlisted as a possible location for a Spaceport during 2015; however, Industrial Strategy funding was awarded in 2018 to a proposed vertical launch spaceport in Sutherland, Scotland, bringing an end to the potential of a vertical launch facility at Llanbedr. However, potential horizontal launch sites such as those potentially planned in Cornwall, Glasgow Prestwick and Llanbedr are to be boosted by gaining access to a new £2million development fund.

Within the Enterprise Zone Designation at Llanbedr, uses associated with aviation, aerospace will be encouraged by the National Park, alongside other B1, B2 and B8 uses. At Trawsfynydd Enterprise Zone, policies direct uses towards those connected to nuclear decommissioning, low carbon energy business, energy generation technologies and research and development.

Tourism and Recreation

- 6.3 The main changes to the Visitor Accommodation policies within the ELDP 2016-2031 adopted in February 2019, were the two new policies, Development Policy 28: New Build Serviced Accommodation, and Development Policy 29: Alternative Holiday Accommodation. The new Visitor Accommodation SPG was adopted on January 22 2020.
- 6.4 Policies within the Local Development Plan support tourism and outdoor recreation that maximise local economic benefits. A number of applications have been approved since the adoption of the LDP 2016-2031, that have resulted in improvements to tourism facilities.
- 6.5 During the last monitoring period (2019-2020), 17 applications relevant to tourism were approved within the National Park area. These included developments such as various applications for small scale alternative low impact holiday accommodation such as pods and shepherd's huts; the erection of a building to house an exhibition of the local history of Frongoch; the construction of a bridleway close to Lôn Gwyrfai; change of use of campsites and an application for 9 additional touring caravans, a new toilet block, LPG tanks and landscaping at a site in Talybont. No applications for new build serviced accommodation were permitted within or adjacent to the main built up areas of local service centres, service settlements and secondary settlements within this monitoring period.
- 6.6 During this monitoring period (2019/2020) five applications for small scale alternative accommodation developments were permitted. The five applications resulted in 10 new pod units.

Retail

- 6.7 A retail survey was undertaken during August and September 2019 within Aberdyfi, Bala, Betws y Coed, Dolgellau and Harlech. During the period of this AMR, one application was permitted for a new retail development situated within the main retail area of a Local Service Centre or within 300m of the town centre. Four other applications were permitted, relating to retail, within towns of the National Park during this period, as well as three in open countryside (a gun and ammunition store near Talsarnau and two change of use applications at NP Warden's offices). The average vacancy % for the five towns was 6%, the same as observed during the 2018 study. To assess the impact of the tourist season on retail, and any impact due to Brexit and the coronavirus pandemic, a further study will be undertaken during the summer of 2020.

MF50

Objective	Supporting a Sustainable Rural Economy			
Key Policies Strategic Policy H: A Sustainable Rural Economy (H)		Related Policies Development Policy 19: New employment and training development Development Policy 24: Retail (24)		
Indicator	Target	Outcome		Trigger Point
New employment floor space built in the Local Service Centres	Increase in new employment floor space	AMR No 1:	0	Failure to deliver
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
No new employment floor space was built in Local Service Centres during 2019/2020. See MF51 for new employment floor spaces in other areas of the National Park.				
Action				
As this is the first AMR of the adopted Eryri LDP there is no great concern, however it is a situation that will need to be monitored closely over the coming years. As no cases were put forward there is no issue with the policy at this time.				

MF51

Objective		Supporting a Sustainable Rural Economy		
Key Policies Strategic Policy H: A Sustainable Rural Economy (H)		Related Policies Development Policy 19: New employment and training development Development Policy 9: Conversion and change of use of rural buildings Development Policy 24: Retail (24)		
Indicator	Target	Outcome		Trigger Point
Total new employment floor space built in National Park (including conversions)	Increase in new employment floor space	AMR No 1:	2367.77 m ²	Failure to deliver
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
<p>A number of applications were permitted for areas of employment and retail within the National Park during this monitoring period, some of which resulted in new employment floorspace.</p> <ul style="list-style-type: none"> • An application to change the use of an assembly and leisure facility at Coleg Harlech to a business and storage area was permitted which will result in 1479 m² new employment space. • Permission was also granted for a dwelling to be converted to a shop which will result in 89 m² of new employment space. • Permission was also granted for a shop to be converted from an A1 unit to be an A1, A2 and D1 unit which is estimated to result in 153.8 m² of new employment space. • An application to convert a stable block into a Gun & Ammunition shop was permitted which will result in 62.35 m² of new employment space. • Permission was granted for the conversion of the reception area of the Warden's office in Llyn Tegid, to a shop which will result in 82.77 m² of new employment space. • Part of the Warden's office at Pen y Pass was permitted to be converted to a retail area which will result in 41.48 m² of new employment space. • Permission was granted for the conversion of a storage room into a retail area at Morfa Stores, Harlech which will result in 16 m² of new employment space. • Permission was granted for a Tattoo Studio in Harlech which will result in 28 m² of new employment floorspace. • An application for the widening of an existing access, change of use of former stable block and workshop for use as metal fabrication and agricultural engineering workshop (82.65m²) and erection of steel framed storage shed (285.2m²). This application will result in 367.85m² of new employment/industrial space 				

In terms of new employment spaces, it is estimated that once implemented these applications will result in a total of 2367.77 m² new employment floor space built in National Park.

Action Development plan policies are being implemented effectively.

MF52

Objective		Supporting a Sustainable Rural Economy		
Key Policies Strategic Policy H: A Sustainable Rural Economy (H)		Related Policies Development Policy 19: New employment and training development Development Policy 9: Conversion and change of use of rural buildings Development Policy 24: Retail (24)		
Indicator	Target	Outcome		Trigger Point
Number of additional jobs created	Increase in number of additional jobs created	AMR No 1:	Increase	Failure to deliver
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
<p>There were applications permitted which resulted in increases in employment floor space within the National Park (as highlighted in MF51, although they could not be considered as significant contributors to job increases.</p> <p>Examples include;</p> <ul style="list-style-type: none"> • the change of use of a dwelling to a shop, • the permanent use of a site as a garden centre and farm shop, • the change of use of part of a stable/hay barn to a guns and ammunitions shop • the change of use of a A1 retail to A1 retail, A2 office and estate agent and class D1 counselling and hypnotherapy • the change of use of a Warden's office to a shop (A1) • the change of use of a furniture workshop and showroom, to a café (A3) and a retail unit (A1) • permission for a tattoo studio in Harlech <p>Although the actual number of additional jobs created is unknown, they will result in an increase in the additional number of jobs in the National Park</p>				
Action		Development plan policies are being implemented effectively.		

MF53

Objective		Supporting a Sustainable Rural Economy		
Key Policies Strategic Policy H: A Sustainable Rural Economy (H)		Related Policies Development Policy 19: New employment and training development Development Policy 9: Conversion and change of use of rural buildings Development Policy 24: Retail (24)		
Indicator	Target	Outcome		Trigger Point
Amount of employment land (ha) and floor space (sq m) redeveloped to other uses	No loss of employment land/floor space unless in line with the Policy	AMR No 1:	0	Supply of employment land/premises lost not in line with Policy. 1 scheme lost for 3 consecutive years or 3 schemes lost in 1 year.
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
No employment land or floor space was lost to other uses during this monitoring period.				
Action		Development plan policies are being implemented effectively.		

MF54

Objective		Supporting a Sustainable Rural Economy		
Key Policies Strategic Policy H: A Sustainable Rural Economy (H)		Related Policies Development Policy 19: New employment and training development Development Policy 9: Conversion and change of use of rural buildings Development Policy 24: Retail (24)		
Indicator	Target	Outcome		Trigger Point
Employment land and premises vacancy rate		AMR No 1:	n/a	
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
An update to the Employment background paper was completed during 2017 that concluded that no more employment land would need to be allocated within the National Park. This was because there were many vacant units in employment sites within the Park and numerous vacant and available sites outside the Park that could be used for employment purposes. An update to this Employment Background Paper will be undertaken during the next year or so in order to gauge the present situation.				
Action		Development plan policies are being implemented effectively.		

MF55

Objective	Supporting a Sustainable Rural Economy			
Key Policies Strategic Policy H: A Sustainable Rural Economy (H)	Related Policies Development Policy 19: New employment and training development			
Indicator	Target	Outcome		Trigger Point
Monitor employment land and industrial buildings available in close proximity to the National Park boundary		AMR No 1:	n/a	
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
<p>The Employment Background Paper update undertaken in 2017 came to the conclusion that there were numerous employment and industrial sites around the National Park boundary and that many of these had high levels of vacancies. Therefore as noted it was concluded that no more employment land would need to be allocated within the National Park.</p> <p>An update to this Employment Background Paper will be undertaken during the next year or so in order to gauge the present situation.</p>				
Action	Development plan policies are being implemented effectively.			

MF56

Objective	Supporting a Sustainable Rural Economy			
Key Policies Development Policy 27: Snowdonia Enterprise Zone (27)	Related Policies			
Indicator	Target	Outcome		Trigger Point
Monitor de-commissioning of Trawsfynydd Nuclear Power Station and possible alternative uses for consideration in review		AMR No 1:	n/a	
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
<p>De commissioning ongoing.</p> <p>New policy adopted in the LDP short form review directing uses towards those connected to nuclear decommissioning, low carbon energy business, energy generation technologies and research and development.</p>				
Action	Development plan policies are being implemented effectively.			

MF56a

Objective	Supporting a Sustainable Rural Economy			
Key Policies Development Policy 27: Snowdonia Enterprise Zone (27)	Related Policies			
Indicator	Target	Outcome		Trigger Point
Types of development coming forward within Snowdonia Enterprise Zone		AMR No 1:	0	
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
No applications for development within the Snowdonia Enterprise Zone have been received during the period of the AMR, However an application for the construction of a new road west of Llanbedr with a link to the Enterprise Zone has been approved during 2019-20.				
Action	Development plan policies are being implemented effectively.			

MF56b

Objective	Supporting a Sustainable Rural Economy			
Key Policies Development Policy 27: Snowdonia Enterprise Zone (27)	Related Policies			
Indicator	Target	Outcome		Trigger Point
Developments coming forward within the Snowdonia Enterprise Zone Indicative Focus Area - Llanbedr		AMR No 1:	0	
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
No applications for development in the Llanbedr Enterprise Zone have been received during the period of the AMR.				
Action	Development plan policies are being implemented effectively.			

MF56c

Objective	Supporting a Sustainable Rural Economy			
Key Policies Development Policy 27: Snowdonia Enterprise Zone (27)	Related Policies			
Indicator	Target	Outcome		Trigger Point
Developments coming forward within the wider Snowdonia Enterprise Zone Indicative allocation - Llanbedr		AMR No 1:	0	
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
No applications for development in the wider Llanbedr Enterprise Zone allocation have been received during the period of the AMR.				
Action	Development plan policies are being implemented effectively.			

MF56d

Objective	Supporting a Sustainable Rural Economy			
Key Policies Development Policy 27: Snowdonia Enterprise Zone (27)	Related Policies			
Indicator	Target	Outcome		Trigger Point
Developments coming forward within the Snowdonia Enterprise Zone allocation - Trawsfynydd		AMR No 1:	1	
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
An application for the erection of a 1.3m x 1.1m information panel was permitted within the Trawsfynydd Enterprise Zone during the period of the AMR.				
Action	Development plan policies are being implemented effectively.			

MF56e

Objective	Supporting a Sustainable Rural Economy			
Key Policies Development Policy 27: Snowdonia Enterprise Zone (27)	Related Policies			
Indicator	Target	Outcome		Trigger Point
Developments coming forward immediately adjacent to the Snowdonia Enterprise Zone allocation - Trawsfynydd		AMR No 1:		
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
No applications for development, immediately adjacent to the Trawsfynydd Enterprise Zone, have been received during the period of the AMR.				
Action	Development plan policies are being implemented effectively.			

MF57

Objective	Supporting a Sustainable Rural Economy			
Key Policies Strategic Policy H: A Sustainable Rural Economy (H)	Related Policies Development Policy 9: Conversion and change of use of rural buildings (9) Strategic Policy G: Housing (G)			
Indicator	Target	Outcome		Trigger Point
Number of applications for appropriate live-work units Number of applications for home working	Increase in number of appropriate schemes approved	AMR No 1:	1	
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
One rural enterprise dwelling was permitted during the 2019/2020 period close to Parc, Y Bala. This was a rural enterprise dwelling related to an agricultural development.				
Action	Development plan policies are being implemented effectively.			

MF58

Objective	Supporting a Sustainable Rural Economy			
Key Policies Strategic Policy I: Tourism	Related Policies Strategic Policy H: A Sustainable Rural Economy (H)			
Indicator	Target	Outcome		Trigger Point
Number of new or improved tourism facilities	Increase in number of appropriate schemes approved	AMR No 1:	Increase	
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
<p>There were 17 applications, relative to tourism, granted permission during this annual monitoring period. These included developments such as;</p> <ul style="list-style-type: none"> • various applications for low impact alternative holiday accommodation (5 applications) and cabins (1 application) • the erection of a building to house an exhibition of the local history of Frongoch • construction of a bridleway by Lôn Gwyrfa • change of use to campsite (change of use of land for siting of four bell tents with associated toilet and shower trailers, compost toilet, catering trailer, associated parking area and winter storage are) • an application for 9 additional touring caravans, a new toilet block, LPG tank and landscaping at a site in Talybont. Landscaping and screening measures were introduced as part of the application, and as a condition in the permission, to ensure that any negative effect on the landscape is minimised. An acceptable landscaping plan was submitted. 				
Action	Development plan policies are being implemented effectively.			

MF58a

Objective		Supporting a Sustainable Rural Economy		
Key Policies Development Policy 28: New Serviced Accommodation (28)		Related Policies Strategic Policy H: A Sustainable Rural Economy (H) Strategic Policy I: Tourism Development Policy 30: Affordable Housing (30)		
Indicator	Target	Outcome		Trigger Point
New build serviced accommodation permitted within or adjacent to the main built up areas of local service centres, service settlements and secondary settlements		AMR No 1:	0	Where proposals are on sites required for local affordable housing need and the scale and design of the development is not compatible with the setting.
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
No applications for new build serviced accommodation were permitted within or adjacent to the main built up areas of local service centres, service settlements and secondary settlements within this monitoring period.				
Action		Development plan policies are being implemented effectively.		

MF58b

Objective		Supporting a Sustainable Rural Economy		
Key Policies Development Policy 29: Alternative Holiday Accommodation (29)		Related Policies Strategic Policy H: A Sustainable Rural Economy (H) Strategic Policy I: Tourism Development Policy 20: Agricultural Diversification (20)		
Indicator	Target	Outcome		Trigger Point
Number of small scale developments for alternative accommodation permitted		AMR No 1:	5 applications	Where new sites are permitted which are not linked to an agricultural diversification scheme or an existing visitor attractions.
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
Five applications for small scale alternative accommodation developments were permitted during this monitoring period. These were;				
<ul style="list-style-type: none"> • certificate of lawful use approved for pods at a site at the YHA in Nant Gwynant • 2 pods and associated works at a site in Ffridd, Nantlle • 2 pods at a site in Llanfairfechan • 2 pods at Maes Madog Capel Garmon • 4 pods and ancillary car parking at the Craig y Dderwn Hotel site in Betws y Coed 				
Action				
Development plan policies are being implemented effectively.				

MF59

Objective		Supporting a Sustainable Rural Economy		
Key Policies Development Policy 22: Chalet and Static Caravan Sites (22)		Related Policies Strategic Policy H: A Sustainable Rural Economy (H) Strategic Policy I: Tourism Development Policy 2: Development and the Landscape		
Indicator	Target	Outcome		Trigger Point
Number of developments that improve the quality of existing Chalet and Static Caravan sites and reduce its impact on the landscape.	All developments proposal.	AMR No 1:	1	1 development failing to improve quality/reduce impact on landscape for 3 consecutive years or 3 developments failing in 1 year.
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
<p>One application was permitted during this monitoring period, which could result in the improvement of existing Chalet and Static Caravan sites and reduce its impact on the landscape.</p> <p>This application was a retrospective application to retain the siting of units and the retention of additional stone retaining walls, boundary walls and timber boundary fencing and the retention of stone terraces, landscaping, screening and retention of a summerhouse at a site in Harlech.</p>				
Action		Development plan policies are being implemented effectively.		

MF60

Objective		Supporting a Sustainable Rural Economy		
Key Policies Development Policy 23: Touring and Camping sites (23)		Related Policies Strategic Policy H: A Sustainable Rural Economy (H) Strategic Policy I: Tourism Development Policy 2: Development and the Landscape		
Indicator	Target	Outcome		Trigger Point
Number of developments that improve the quality of existing Touring and Camping Sites and reduce its impact on the landscape.	All developments proposal	AMR No 1:	0	1 development failing to improve quality/reduce impact on landscape for 3 consecutive years or 3 developments failing in 1 year.
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
No applications were permitted that would have resulted in the improvement of existing Touring and Camping sites, and reduce their impact on the landscape.				
Action		Development plan policies are being implemented effectively.		

MF61

Objective		Supporting a Sustainable Rural Economy		
Key Policies Development Policy 22: Chalet and Static Caravan Parks (22) Development Policy 23: Touring and Camping sites (23)		Related Policies Strategic Policy H: A Sustainable Rural Economy (H) Strategic Policy I: Tourism		
Indicator	Target	Outcome		Trigger Point
Preparation and adoption of SPG on Chalet, Static and Touring Caravans and Camping Sites.	All developments proposal	AMR No 1:	Completed	1 development failing to improve quality/reduce impact on landscape for 3 consecutive years or 3 developments failing in 1 year.
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
SPG 8: Visitor Accommodation was formally adopted by Authority members on the 22 nd of January 2020 and is now a material planning consideration.				
Action		Development plan policies are being implemented effectively.		

Objective	Supporting a Sustainable Rural Economy			
Key Policies Development Policy 24: Retail (24)		Related Policies		
Indicator	Target	Outcome		Trigger Point
New retail floor space within the main built up areas of Local Service Centres, Service Settlements and Secondary Settlements.	All developments proposal	AMR No 1:	4	1 new development outside these areas for 3 consecutive years or 3 new developments outside these areas in 1 year.
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
<p>There were 4 application permitted for new retail floor space within the main built up areas of Local Service Centres, Service Settlements and Secondary Settlements during this period. These were;</p> <ul style="list-style-type: none"> • Change of use of a dwelling to a shop in Penmachno (Secondary Settlement) • Change of use of a A1 retail unit to an A1 retail unit, A2 office and estate agent and D1 counselling and hypnotherapy area in y Bala (Local Service Centre) • Change of use of a storeroom to a retail area in Morfa Stores, Harlech (Service Settlement) • Change of use to a café and retail unit from a furniture workshop in Abergwyngregyn (Secondary Settlement) <p>However, there were also three applications for retail units in open countryside. These were;</p> <ul style="list-style-type: none"> • Change of use of part of a stable/hay barn to a gun and ammunitions store close to Talsarnau • Change of use of the reception in the Warden's office at Llyn Tegid, Bala to a retail area. • Change of use of a bus waiting room to a retail area at the Warden's offices at Pen y Pass. <p>However the two applications for the change of use of parts of the Warden's offices at Llyn Tegid and Pen y Pass are not <i>new</i> retail developments, therefore it is not considered that these contribute to the failure of the indicator during this monitoring period.</p>				
Action	One new retail development was granted permission in open countryside during this monitoring period, and therefore the action is for 'training required' in order to highlight the criteria of the retail policy.			

MF63

Objective	Supporting a Sustainable Rural Economy			
Key Policies Development Policy 24: Retail (24)		Related Policies		
Indicator	Target	Outcome		Trigger Point
Number of new retail developments intended to serve a wider settlement catchment area limited to Bala and Dolgellau.	All developments proposal	AMR No 1:	n/a	1 new development outside these areas for 3 consecutive years or 3 new developments outside these areas in 1 year.
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
There were no new retail developments intended to serve a wider settlement catchment area limited to Bala and Dolgellau during this monitoring period.				
Action	Development plan policies are being implemented effectively.			

MF64

Objective	Supporting a Sustainable Rural Economy			
Key Policies Development Policy 24: Retail (24)		Related Policies		
Indicator	Target	Outcome		Trigger Point
Number of new retail developments situated within the main retail area or within 300m of the town centre.	All developments proposal	AMR No 1:	1	1 new development outside these areas for 3 consecutive years or 3 new developments outside these areas in 1 year.
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
There was an application permitted for the change of use of a A1 retail unit into an A1, A2 and D1 unit in Y Bala during this monitoring period.				
There were also applications for alterations to shop frontages in Betws y Coed and Dolgellau and a shop storeroom was converted into being an extension to the current retail area, in a shop in Harlech.				
Action	Development plan policies are being implemented effectively.			

MF65

Objective	Supporting a Sustainable Rural Economy			
Key Policies Development Policy 24: Retail (24)		Related Policies		
Indicator	Target	Outcome		Trigger Point
Vacant units in retail areas	Reduce or maintain vacancy rate	AMR No 1:	24	
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
<p>According to the 2019 summer retail survey, there were 24 vacant units recorded within the five towns studied (Dolgellau, Bala, Betws y Coed, Harlech, Aberdyfi). This is slightly higher than the 19 vacant units observed during the 2018 survey, but less than the 30 observed during the 2017 survey.</p> <p>The percentage of vacant units from the total of all units, per town was as following;</p> <ul style="list-style-type: none"> • Aberdyfi – 0% (same as last year) • Bala – 7.9% (increase from 4.2% last year) • Betws Y Coed – 7.5% (increase from 5.4% last year) • Dolgellau – 9.8% (increase from 7.4% last year) • Harlech – 6.8% (decrease from 11/9% last year) <p>The average vacancy % for the five towns within the Park was 6%. An additional retail survey will be undertaken during the summer months of 2020 and reported on in next year's annual monitoring report.</p>				
Action	Development plan policies are being implemented effectively.			

MF66

Objective		Supporting a Sustainable Rural Economy		
Key Policies Development Policy 24: Retail (24)		Related Policies		
Indicator	Target	Outcome		Trigger Point
Percentage of non-A1 retail uses in main retail areas of Aberdyfi, Bala, Betws y Coed, Dolgellau and Harlech	Maintain rate within 10-25% of existing percentage (based on retail units)	AMR No 1:		Over 25% of non-retail uses in main retail areas for 3 consecutive years.
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
<p>The retail survey undertaken during the summer in 2019 indicated the following results in terms of A1 and non-A1 units:</p> <ul style="list-style-type: none"> • Aberdyfi: 44.7% of retail units in Aberdyfi were classed as being non A1 • Bala: 40.0% of retail units in the Bala were classed as being non A1 • Betws-Y-Coed: 35.4% of retail units in Betws were classed as being non A1 • Dolgellau: 42.6% of retail units in Dolgellau were classed as being non A1 • Harlech: 46.3% of retail units in Harlech were classed as being non A1 <p>Harlech was the main retail area with the highest percentage of non-A1 retail units. The average percentage for non-A1 units within the five retail areas was 41.8%.</p> <p><i>The figures presented in this indicator will form the baseline for the non-A1 units percentages for future monitoring reports (by settlement). These will be assessed in future AMR's to ensure that they remain within 10-25% of these baseline percentages.</i></p>				
Action		Development plan policies are being implemented effectively.		

Further investigation and actions from this section:

- 6.8 It is considered that there are not any major implications for the revision of the LDP in this section.

7 PROMOTING ACCESSIBILITY AND INCLUSION

This section delivers a response to the following objectives:

Encourage new development to locations that reduce the need to travel with reasonable access to community services and facilities and sustainable modes of travel.

Support initiatives that are aimed at encouraging the use of sustainable modes of travel.

Accessibility

- 7.1 A permission was granted for the construction of a new surfaced bridleway over agricultural land which will be 1893m in length (between Beddgelert and Rhyd Ddu). The new track provides an alternative to the existing bridleway which will require extinguishment. The new route will provide a safer alternative and provide an additional link to Lôn Gwyrfa.

Telecommunications

- 7.2 5 applications were approved for new, replacement and upgrading of telecommunication equipment at new and existing sites. The policy condition giving a ten-year temporary consent was removed following the review of the ELDP, with each case to be assessed on its own merits. A Supplementary Planning Guidance for Telecommunication developments will be developed during the coming year.

MF67

Objective	Promoting Accessibility and Inclusion			
Key Policies Strategic Policy L: Accessibility and Transport (L)	Related Policies			
Indicator	Target	Outcome		Trigger Point
Number of developments with access to footpaths, cycle paths and public transport	Increase in number	AMR No 1:		Failure to deliver
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
As has been the case in previous years the vast majority of applications permitted during this period have had access to sustainable transport links				
Action	Development plan policies are being implemented effectively			

MF68

Objective	Promoting Accessibility and Inclusion			
Key Policies Strategic Policy L: Accessibility and Transport (L)	Related Policies			
Indicator	Target	Outcome		Trigger Point
Number of developments with access to public transport	Increase in number	AMR No 1:		Failure to deliver
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
69 out of 107 new developments were located within 0.5km of a bus stop, while 93 out of 107 were located within 1.5km of a bus stop. 39 out of 107 were also located within 1.5km of a Rail Station. As in previous years, the majority of new developments have some access to public transport. It is considered that this successfully delivers the requirements of this indicator.				
Action	Development plan policies are being implemented effectively			

MF69

Objective	Promoting Accessibility and Inclusion			
Key Policies Strategic Policy L: Accessibility and Transport (L)	Related Policies			
Indicator	Target	Outcome		Trigger Point
No significant harm from road network changes	All development proposals	AMR No 1:	1	Significant harm arising from 1 development for 3 consecutive years or significant harm arising from 3 developments in 1 year.
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
<p>One application was granted during this monitoring period relating to road network changes. The application was for the construction of a new road to the west of Llanbedr which will be approximately 1.5km in length. The new road will diverge from the A496 north of Llanbedr and will head south to pass the village and tie in to the existing A496 close to Llwyn y Pin.</p> <p>With an application like this, a great deal of assessments are undertaken to ensure that there is no significant harm or adverse effects due to the development. Concerns were raised regarding certain potential impacts, and the impact on certain locations, however for the project as a whole (and following the consideration of numerous assessments) the proposal was approved.</p>				
Action	Development plan policies are being implemented effectively			

MF70

Objective		Promoting Accessibility and Inclusion		
Key Policies Development Policy 25: Visitor Car Parking (25)		Related Policies		
Indicator	Target	Outcome		Trigger Point
New visitor car parks focussed in Local Service Centres	All development proposals unless part of a traffic management scheme or integral part of a new or extended visitor attractions	AMR No 1:	0	1 development outside Local Service Centres unless part of a planned traffic management scheme or an integral part of a new or extended visitor attraction for 3 consecutive years or 3 developments outside these areas in 1 year
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
No new visitor car parks were permitted in Local Service Centres during the period of the AMR				
Action	Development plan policies are being implemented effectively			

MF71

Objective		Promoting Accessibility and Inclusion		
Key Policies Development Policy 25: Visitor Car Parking (25)		Related Policies		
Indicator	Target	Outcome		Trigger Point
New visitor car parks outside Local Service Centres	Provision of new visitor car park as an integral part of a planned traffic management scheme or an integral part of a new or extended visitor attraction that gives precedence to sustainable transport	AMR No 1:	0	Failure to deliver
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
There were no applications for car parks outside Local Service Centres during this monitoring period.				
Action		Development plan policies are being implemented effectively		

MF72

Objective		Promoting Accessibility and Inclusion		
Key Policies Strategic Policy L: Accessibility and Transport (L)		Related Policies Development Policy 21: Tourism and Recreation (21)		
Indicator	Target	Outcome		Trigger Point
Monitor any land use implications from the Authority's Recreation Strategy		AMR No 1:	n/a	
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
To cope with increasing demand, SNPA purchased new equipment to enable more access to the countryside to disabled and less abled users.				
In terms of the Authority's Recreation Strategy (2012-2017), this is currently being reviewed with a newly adopted version potentially available during the next monitoring period.				
Action		Policies of accessibility and inclusion are effective.		

MF73

Objective		Promoting Accessibility and Inclusion		
Key Policies Development Policy 26: Telecommunications (26)		Related Policies		
Indicator	Target	Outcome		Trigger Point
Monitor the number of telecommunication developments that do not harm the visual appearance and character of the area	All development proposals	AMR No 1:	5	Failure to deliver
		AMR No 2:		
		AMR No 3:		
		AMR No 4:		
Analysis				
Five applications were permitted for new, replacement or upgrading of equipment at new and existing sites. A new SPG regarding telecommunications developments will be adopted by the next annual monitoring report. This SPG will seek to provide detailed guidance about the manner in which the Planning Authority will deal with telecommunication and mast development and will provide support for case officers. The SPG will also provide guidance to assist developers submitting planning and prior approval applications.				
Action	Development plan policies are being implemented effectively, however further guidance is required and an SPG on the topic will be prepared and published during the next AMR period.			

Further investigation and actions from this section:

- 7.3 A new SPG regarding telecommunications developments will be adopted by the next annual monitoring report. This SPG will seek to provide detailed guidance about the manner in which the Planning Authority will deal with telecommunication and mast development and will provide support for case officers. The SPG will also provide guidance to assist developers submitting planning and prior approval applications

APPENDIX 1 - SUSTAINABILITY APPRAISAL

Introduction

As part of the Local Development Plan process Authorities were required to carry out a Strategic Environmental Assessment of their plans. In order to ensure that the state of the environment was continually monitored throughout the period of the Eryri Local Development Plan a monitoring framework was produced which includes 18 objectives that are broken down into 43 indicators as shows on the attached Table 1 Sustainability Appraisal Monitoring Framework.

There are a number of indicators within the SA/SEA monitoring framework where information is not available/updated on an annual basis (for example Census data). As the purpose of the monitoring framework is to review changes from year to year, these are not necessarily going to be useful indicators. They however have been retained in order to set a baseline and further work will be carried out throughout the year to see if other sources of information can be found.

The information contained within the monitoring framework was gathered from various different sources and agencies, some provided the information in time for the AMR while the Authority is still waiting on information from other agencies, and this has been noted at the relevant indicators within the framework. It may also be possible in subsequent years to introduce additional useful indicators on which data is readily available.

TABLE 1 Sustainability Appraisal Monitoring Framework

7.4 This year’s report contains 2018/2019 and 2019/2020 data for comparative purposes

	SA Objective	Monitoring Indicators	Data Source	Analysis
1	Manage the effects of climate change through mitigation and adaptation	Ratio of renewable energy (solar, domestic wind and hydro) project planning permissions granted against planning applications per year.	SNPA	<p>2018/2019</p> <p>Of all the planning permissions granted during this period, 4% have been for Hydro. 1% for Solar, 1% for other renewable energy schemes. Through planning policies in the LDP, the Authority supports small-scale domestic renewable energy applications. Of the 29 applications received for renewable energy schemes the Authority granted permission for 26.</p> <p>2019/2020</p> <p>Of all the planning permissions granted during this period, 0% have been for Hydro. 0% for Solar, 0% for other renewable energy schemes. Through planning policies in the LDP, the Authority supports small-scale domestic renewable energy applications. Of the 3 applications received for ‘other’ renewable energy schemes the Authority granted permission for 3. These 3 included an air-source heat pump, and two biomass boilers.</p>
2	Ensure that the location and design of new development is acceptable in terms of the potential consequences of flooding	Number of planning permissions contrary to NRW advice on flooding.	NRW	<p>2018/2019 No planning application were permitted contrary to NRW advice on flooding during this AMR period.</p> <p>2019/2020 During this monitoring period, no planning application were permitted contrary to NRW advice on flooding.</p>
		Number of new developments incorporating SuDS as a ratio of total planning permissions granted.	SNPA	<p>2018/2019 From 7th January 2019, all new developments of more than one dwelling house or where the construction area is 100m² or more, will require Sustainable Drainage Systems (SuDS) for surface water. SuDS on new developments must be designed and built in accordance with the Statutory SuDS Standards published by the Welsh Ministers and SuDS Schemes must be approved by the local authority acting in its SAB role, before construction work begins. The application permitted for the demolition of the former Aberdyfi primary school and construction of 11 dwellings with new access road and parking submitted a drainage strategy that complies with the relevant legislation of TAN 15, SuDS hierarchy and Approved Document H of the Building Regulations 2010.</p> <p>2019/2020 From 7th January 2019, all new developments of more than one dwelling house or where the construction area is 100m² or more, will require Sustainable Drainage Systems (SuDS) for surface water. SuDS on new developments must be designed and built in accordance with the Statutory SuDS Standards published by the Welsh Ministers and SuDS Schemes must be approved by the local authority acting in its SAB role, before construction work begins.</p>

3	Promote the use of sustainable locally sourced material including energy	Number and type of renewable energy schemes with planning permission per annum.	SNPA	<p>2018/2019 Of the 29 applications received for renewable energy schemes between 2018 and 2019, the Authority granted permission for 26. Through planning policies in the LDP, the Authority supports small-scale domestic renewable energy applications.</p> <p>2019/2020 Of the 9 applications received for renewable energy schemes between 2019 and 2020, the Authority granted permission for 9. 3 applications were for new renewable energy schemes whilst 6 applications were for alterations to existing schemes. Through planning policies in the LDP, the Authority supports small-scale domestic renewable energy applications.</p>
		Number of developments granted planning permission achieving green design awards, as a percentage of the total number of planning applications granted each year.	SNPA	<p>2018/2019 This is not an indicator that can be monitored easily by the Authority. The Authority will report on any green design awards it becomes aware of.</p> <p>2019/2020 This is not an indicator that can be monitored easily by the Authority. The Authority will report on any green design awards it becomes aware of.</p>
4	Promote the use of sustainable transport modes and reduce the impact of cars, road freight and infrastructure	Distance of new developments from a public transport service.	SNPA	<p>2018/2019 53 out of 111 new developments were located within 0.5km of a bus stop, while 93 out of 111 were located within 1.5km of a bus stop. 29 out of 111 were also located within 1.5km of a Rail Station.</p> <p>2019/2020 69 out of 107 new developments were located within 0.5km of a bus stop, while 93 out of 107 were located within 1.5km of a bus stop. 39 out of 107 were also located within 1.5km of a Rail Station.</p>
		Journey to work by mode	Census	<p>2018/2019 No change</p> <p>2019/2020 This information is not yet available for the National Park from the 2011 census. This data would need to be commissioned in order to fit the Park boundaries which is something the Authority might have to consider.</p>
		Average distance travelled to work	Census	<p>2018/2019 No change</p> <p>2019/2020 This information is not yet available for the National Park from the 2011 census. This data would need to be commissioned in order to fit the Park boundaries which is something the Authority might have to consider.</p>
		Number of bus services running in the National Park	SNPA, Gwynedd, Conwy	<p>2018/2019 According to the Gwynedd and Conwy Council bus timetables, there are currently 32 bus services running through the National Park (duplication has been avoided so that the same journeys running through Gwynedd and Conwy have only been counted once). There are four bus services from the figure noted which are run by 'Snowdon Sherpa', which are only available during the Summer. There are also two train services which serve some towns and areas within the Park, which are the Cambrian Coast and the Conwy Valley raliway lines.</p>

				2019/2020 No change
5	Protect and enhance landscape character and quality	Quantity of Outstanding and High value landscape as defined under LANDMAP's five aspects: cultural, geological, landscape habitat and visual and sensory.	SNPA CCW	<p>2018/2019 The results for the areas defined under LANDMAP are as follows;</p> <ul style="list-style-type: none"> • Visual and Sensory - 54.8% (63 out of 115 areas) of visual areas within the National Park were classed as High or Outstanding • Cultural - 96.0% (48 out of 50 areas) of cultural areas within the National Park were classed as High or Outstanding • Geological - 93.9% (107 out of 114 areas) of geological areas within the National Park were classed as High or Outstanding • Historical - 89.3% (134 out of 150 areas) of historical areas within the National Park were classed as High or Outstanding • Landscape Habitats- 38.9% (145 out of 373 areas) of landscape areas within the National Park were classed as High or Outstanding <p>2019/2020 No change</p>
		Number of planning applications granted permission in areas of outstanding and high value as defined by LANDMAP.	LANDMAP	<p>2018/2019 The number of new planning applications for the areas defined under LANDMAP are as follows;</p> <ul style="list-style-type: none"> • Visual and Sensory - 62 in High and 6 in Outstanding areas • Cultural - 46 in High and 63 in Outstanding areas • Geological - 13 in High and 91 in Outstanding areas • Historical - 54 in High and 49 in Outstanding areas • Landscape Habitats - 27 in High and 26 in Outstanding areas <p>2019/2020 The number of new planning applications for the areas defined under LANDMAP are as follows;</p> <ul style="list-style-type: none"> • Visual and Sensory - 44 in High and 6 in Outstanding areas • Cultural - 44 in High and 50 in Outstanding areas • Geological - 6 in High and 107 in Outstanding areas • Historical - 31 in High and 51 in Outstanding areas • Landscape Habitats - 10 in High and 27 in Outstanding areas
			SNPA	2018/2019

		Extent of tranquil areas in the National Park		<p>No change. However, the Authority is currently working on re-evaluating and re-mapping the tranquil areas of the National Park.</p> <p>2019/2020 No change. However, the Authority is currently working on re-evaluating and re-mapping the tranquil areas of the National Park.</p>
6	Protect and enhance air quality	Air pollutant levels in the National Park – based upon Air Quality Review and Assessments for Gwynedd and Conwy.	Gwynedd and Conwy Councils	<p>2018/2019 No new information.</p> <p>2019/2020 Due to its geographical location on the periphery of north-west Europe and the south-westerly prevailing winds that are experienced for most of the year, the air quality in Snowdonia is generally very good. Occasionally, however, in stable weather conditions with high pressure over the UK, eastern winds can bring pollutants from more industrialized areas, and the levels of some pollutants can go up as a result.</p> <p>Figure 6.1 Maps Showing Background Concentrations of Nitrogen Dioxide, Ozone, PM₁₀ and PM_{2.5}</p>
7	Conserve the quality of soils through reducing contamination and protecting soil function	<p>Number of planning applications which include site remediation and the area of land remediated.</p> <p>Percentage of new developments granted planning permission on previously developed land.</p>	SNPA	<p>2018/2019 No change</p> <p>2019/2020 While this is not monitored by the Authority, there are very few contaminated sites within the National Park. If a site that required remediation came forward as an application, it would be flagged up. No applications requiring remediation have been granted planning permission during the period of this AMR.</p> <p>2018/2019 The number of new housing units granted permission on previously developed land during the period of this AMR is 24/40 that is 60%.</p> <p>2019/2020 The number of new housing units granted permission on previously developed land during the period of this AMR is 5/14 that is 36%.</p>
8	Safeguard National Park geology and geomorphology	The condition of RIGS in the National Park.		<p>2018/2019 No change</p> <p>2019/2020 RIGS were designated as Regionally Important Geological/Geomorphological Sites in the UK Nature Conservancy “Earth Science Conservation in Great Britain: A Strategy” (1990), being of a standard worthy of recognition and</p>

				<p>protection as non-statutory sites, to complement the SSSIs and NNRs under statutory protection. RIGS sites in Wales are now known as Regional Geodiversity Sites.</p> <p>Natural Resources Wales have contributed to the all Wales audit of RIGS through financial and technical support. The audit which began in 2003, is the first comprehensive national assessment of second-tier sites in Wales. It was undertaken largely by the local RIGS groups and NRW Earth Scientists with the majority of the funding coming from the Aggregates Levy Sustainability Fund, but with a financial contribution by NRW to the project in North Wales. The audit led to the standardisation of the site documentation, digitisation of site boundaries to a common format and ensured that the landowners and planning authorities were informed of the RIGS. A major input from NRW was the development of the GIS database for the project where all of the 600 or so sites registered so far were digitised by NRW. NRW currently hosts these GIS data. There are 47 RIGS in the National Park</p>
9a	Protect and enhance biodiversity	Condition of Designated sites including SPAs, SACs, Ramsar, SSSI, NNR, LNR.	SNPA NRW	<p>2018/2019</p> <p>Information received from Natural Resources Wales indicate the following.</p> <p>SAC</p> <ul style="list-style-type: none"> No sites / units are under appropriate conservation management in the National Park for 2018-2019 572 units (100%) are defined as needing action No sites / units need more research to base decisions <p>SPA</p> <ul style="list-style-type: none"> No sites / units are under appropriate conservation management 162 units (100.0%) are defined as needing action No sites / units need more research to base decisions <p>SSSI</p> <ul style="list-style-type: none"> 143 units (17%) are under appropriate conservation management 693 units (82.60%) are defined as needing action 3 units (0.4%) need more research to base decisions <p>RAMSAR</p> <ul style="list-style-type: none"> 2 units (100%) are defined as needing action
				<p>2019/2020 This information was not received by NRW for this monitoring period.</p>

9b	Protect and enhance biodiversity	Condition and status of LBAP species and habitats.		<p>2018/2019 No new information, however the development of the new ERAMMP (The Environment & Rural Affairs Monitoring and Modelling Programme) will provide a future mechanism to measure and monitor against its baseline.</p> <p>2019/2020 No new information.</p>																		
9c	Protect and enhance biodiversity	Number of planning permissions affecting LBAP species and habitats		<p>2018/2019 No new information, however the development of the new ERAMMP monitoring program will provide a future mechanism to measure and monitor against its baseline.</p> <p>2019/2020 No new information.</p>																		
9d	Protect and enhance biodiversity	Number of planning applications resulting in the loss of hedgerows and field boundaries (where this occurs the length of loss of details about species should be collated).		<p>2018/2019 Hedge planting schemes – 39 schemes resulted in 11,308 metres of 79,156 hedgerows being planted. There has been an increase in the number of hedge planting schemes due to the increase in the source of funding for this work, such as Sustainable Management Scheme (SMS) Eden Grants, Young Farmers SMS, Woodland Park Scheme, National Grid Maentwrog West Landscape Enhancement Initiative (LEI), National Grid Maentwrog East LEI, and National Grid Traditional Boundaries LEI. Planted woodlands – 2.81ha of 4,496 woodland re-planted after 16 schemes.</p>																		
10a	Value and protect and enhance the historic environment including built heritage, archaeology and historic landscape	Condition of Conservation Areas and the extent to which new development is consistent with the Conservation Area Management Plans.	SNPA Cadw Gwynedd Archaeological	<p>2018/2019 No change</p> <p>2019/2020 There is only one management plan in place within the National Park currently. Developments within the Dolgellau Conservation areas are consistent with the Management Plans for the area. Work has also been carried out by Gwynedd Archaeological Trust on the remaining Conservation Areas and progress will be reported in next year's monitoring framework.</p>																		
10b	Value and protect and enhance the historic environment including built heritage, archaeology and historic landscape	Condition of Scheduled Ancient Monuments.	CADW	<p>2018/2019 Data provided by Cadw during June 2019 shows the following:</p> <p>279 of the 377 Scheduled Monuments in the Park have been visited during the current (5th) round of visits, which started on 01/04/2011</p> <table border="1"> <thead> <tr> <th>Condition</th> <th>Number of sites</th> <th>%</th> </tr> </thead> <tbody> <tr> <td>Improved</td> <td>15</td> <td>5</td> </tr> <tr> <td>Stable</td> <td>181</td> <td>65</td> </tr> <tr> <td>Worsened</td> <td>83</td> <td>30</td> </tr> </tbody> </table> <p>Monuments at Risk levels (MaR):</p> <table border="1"> <tbody> <tr> <td>Low</td> <td>129</td> </tr> <tr> <td>Medium</td> <td>119</td> </tr> <tr> <td>High</td> <td>31 (2x High Immediate, 29x High)</td> </tr> </tbody> </table> <p>MaR levels:</p> <ul style="list-style-type: none"> <i>High – Immediate: Active identifiable threat or threats, which are having a severe impact upon the monument, require immediate</i> 	Condition	Number of sites	%	Improved	15	5	Stable	181	65	Worsened	83	30	Low	129	Medium	119	High	31 (2x High Immediate, 29x High)
Condition	Number of sites	%																				
Improved	15	5																				
Stable	181	65																				
Worsened	83	30																				
Low	129																					
Medium	119																					
High	31 (2x High Immediate, 29x High)																					

				<p><i>mitigation and implementation of a long-term management plan.</i></p> <ul style="list-style-type: none"> • <i>High: Active identifiable threat or threats, which are or have the potential to impact severely upon the monument, require repair and implementation of a long-term management plan</i> • <i>Medium: Active identifiable threat or threats, which are endangering the long-term preservation of the monument, require implementation of a long-term management plan.</i> • <i>Low: The monument and any threat are being managed effectively.</i> <p>The following information provides the most recent data on the condition of all monuments in the SNPA. Monuments at Risk levels for sites were not assessed during the 4th round (2002-2011), therefore, this data is provided in relation to the “condition trend” of monuments.</p> <table border="1"> <thead> <tr> <th>Condition</th> <th>Number of sites</th> <th>%</th> </tr> </thead> <tbody> <tr> <td>Improved</td> <td>18</td> <td>5</td> </tr> <tr> <td>Stable</td> <td>251</td> <td>67</td> </tr> <tr> <td>Worsened</td> <td>108</td> <td>28</td> </tr> </tbody> </table> <p>2019/2020 Data provided by Cadw during 2019 shows the following: 279 of the 377 Scheduled Monuments in the Park have been visited during the current (5th) round of visits, which started on 01/04/2011:</p> <table border="1"> <thead> <tr> <th>Condition</th> <th>Number of sites</th> <th>%</th> </tr> </thead> <tbody> <tr> <td>Improved</td> <td>15</td> <td>5</td> </tr> <tr> <td>Stable</td> <td>181</td> <td>65</td> </tr> <tr> <td>Worsened</td> <td>83</td> <td>30</td> </tr> </tbody> </table> <p>Monuments at Risk levels (MaR):</p> <table border="1"> <tbody> <tr> <td>Low</td> <td>129</td> </tr> <tr> <td>Medium</td> <td>119</td> </tr> <tr> <td>High</td> <td>31 (2x High Immediate, 29x High)</td> </tr> </tbody> </table> <p>MaR levels: High – Immediate: Active identifiable threat or threats, which are having a severe impact upon the monument, require immediate mitigation and implementation of a long-term management plan. High: Active identifiable threat or threats, which are or have the potential to impact severely upon the monument, require repair and implementation of a long-term management plan Medium: Active identifiable threat or threats, which are endangering the long-term preservation of the monument, require implementation of a long-term management plan. Low: The monument and any threat are being managed effectively.</p>	Condition	Number of sites	%	Improved	18	5	Stable	251	67	Worsened	108	28	Condition	Number of sites	%	Improved	15	5	Stable	181	65	Worsened	83	30	Low	129	Medium	119	High	31 (2x High Immediate, 29x High)
Condition	Number of sites	%																																
Improved	18	5																																
Stable	251	67																																
Worsened	108	28																																
Condition	Number of sites	%																																
Improved	15	5																																
Stable	181	65																																
Worsened	83	30																																
Low	129																																	
Medium	119																																	
High	31 (2x High Immediate, 29x High)																																	

				<p>The following information provides the most recent data on the condition of all monuments in the SNPA. Monuments at Risk levels for sites were not assessed during the 4th round (2002-2011), therefore, this data is provided in relation to the "condition trend" of monuments.</p> <table border="1"> <thead> <tr> <th>Condition</th> <th>Number of sites</th> <th>%</th> </tr> </thead> <tbody> <tr> <td>Improved</td> <td>18</td> <td>5</td> </tr> <tr> <td>Stable</td> <td>251</td> <td>67</td> </tr> <tr> <td>Worsened</td> <td>108</td> <td>28</td> </tr> </tbody> </table>	Condition	Number of sites	%	Improved	18	5	Stable	251	67	Worsened	108	28
Condition	Number of sites	%														
Improved	18	5														
Stable	251	67														
Worsened	108	28														
10c	Value and protect and enhance the historic environment including built heritage, archaeology and historic landscape	Number of Listed Buildings at risk	SNPA	<p>2018/2019 Data regarding the condition of Listed Buildings in the National Park is collected regularly.</p> <ul style="list-style-type: none"> Total number of buildings at risk (Category 1 - Extreme Risk) = 51 Total number of buildings at risk (Category 2 - Grave Risk) = 52 Total number of buildings at risk (Category 3 - At Risk) = 200 Total number of buildings at risk (Category 4 - To be watched) = 321 <p>2019/2020 Due to the lack of resources and COVID-19 circumstances, there is no update for the number of listed building at risk for this monitoring period.</p>												
12	Conserve, promote and enhance Snowdonia's cultural heritage and the Welsh language	Percentage of Welsh speakers in the National Park and their distribution	SNPA and Census	<p>2018/2019 Census information, so no annual update available.</p> <p>2019/2020 Census information, so no annual update available. However, the information displayed below is taken from the 2011 Census;</p> <ul style="list-style-type: none"> 58.6% of people within Snowdonia National Park could speak Welsh, higher than the national average of 19% 49.7% of people could read, write and speak Welsh within the National Park, higher than the national average of 14.6% <p>In terms of distribution, the lowest percentage of Welsh speakers are on in the western coastal areas of Barmouth, Tywyn and Aberdyfi. 54.6% of people living in Llangelynnin did not have any Welsh language skills at all.</p> <p>The areas with the highest percentages of Welsh speakers included Llanuwchllyn and Y Bala 78.6% of people living in Llanuwchllyn could speak Welsh.</p> <p>According to the 2001 Census, the percentage of Welsh speakers in the National Park was 62.1%. This means there has been a 3.5% decrease in the number of Welsh speakers in the area since 2001. Also during the previous Census, 54.5% of the Park's population could speak, read and write in Welsh. This had decreased 4.8% by the 2011 Census.</p> <p>Policies within the Local Development Plan take in to account the needs and interests of the Welsh Language. The LDP supports development which maintains or enhances the Welsh Language. Any development which causing significant harm to the Welsh Language will be refused. Developments</p>												

				which may have a significant impact are required to submit community linguistic statements, or assessments to enable the Authority to make an informed decision on their impacts. The authority encourages the use of Welsh or bilingual signage on new and existing developments.
13a	To safeguard the quality and quantity of water resources	Percentage of Snowdonia's rivers that are classified as Very Good, good, or Fairly Good chemical and biological quality	NRW	<p>2018/2019 According to data received from Natural Resources Wales based on the 2105? dataset, there were 90 rivers assessed in the National Park. The information below details the assessments made on those rivers; Chemical:</p> <ul style="list-style-type: none"> • 83 rivers were classed as being of 'Good' quality • 7 rivers failed to achieve a 'Good' status <p>Ecological Status:</p> <ul style="list-style-type: none"> • 31 rivers were classed as being of 'Good' quality • 56 rivers were classed as being of 'Moderate' quality • 3 rivers were classed as being of 'Poor' quality
				<p>2019/2020 According to data received from Natural Resources Wales based on the 2015 dataset, there were 90 rivers assessed in the National Park. The information below details the assessments made on those rivers; Chemical:</p> <ul style="list-style-type: none"> • 83 rivers were classed as being of 'Good' quality • 7 rivers failed to achieve a 'Good' status <p>Ecological Status:</p> <ul style="list-style-type: none"> • 31 rivers were classed as being of 'Good' quality • 56 rivers were classed as being of 'Moderate' quality • 3 rivers were classed as being of 'Poor' quality
				<p>2014/2015 Snowdonia National Park had no Blue Flag Beaches during 2013 - 2014. However, Harlech beach qualified for a Green Coast 2014 award.</p>
				<p>2015/2016</p> <ul style="list-style-type: none"> • Blue Flag – No Blue Flag beaches • Green Coast Award – Harlech, Llandanwg and Bennar beach were given Green Coast Awards during 2015/2016 <p>Seaside Award (Rural) – Harlech, Llandanwg, Bennar and Aberdyfi beaches were given a Seaside Award during 2015/201</p>
				<p>2016/2017</p> <ul style="list-style-type: none"> • Blue Flag – No Blue Flag beaches

				<p>Green Coast Award – Within the National Park Llandanwg, Harlech and Bennar were given Green Coast Awards.</p> <p>2017/2018 There were no Blue Flag beaches in Snowdonia in this monitoring year, however the Green Coast Award was awarded to Harlech beach.</p>
13b	To safeguard the quality and quantity of water resources	Blue Flag and Green Coast Award beaches in Snowdonia	NRW / Keep Wales Tidy	<p>2018/2019 There were no Blue Flag beaches in Snowdonia in this monitoring year, however the Green Coast Award was awarded to Harlech beach.</p> <p>2019/2020 No beaches within the Snowdonia National Park Area were Blue Flag beaches nor awarded the Green Coast Award during this monitoring period.</p>
			Keep Wales Tidy https://www.keepwalestidy.cymru/ein-traethau	<p>2014/2015 Data from NRW, for bathing water is detailed below;</p> <ul style="list-style-type: none"> • Harlech - Excellent • Dyffryn (Llanenddwyn) - Excellent • Llandanwg - Excellent • Tal y Bont - Excellent • Aberdyfi – Sufficient
				<p>2015/2016 Data from the NRW website (based on 2015 figures), for bathing water is detailed below;</p> <ul style="list-style-type: none"> • Harlech - Excellent • Dyffryn (Llanenddwyn) - Excellent • Llandanwg - Excellent • Tal y Bont - Excellent • Aberdyfi – Sufficient
				<p>2016/2017 This data was received from NRW for bathing water (the data is based on 2016 figures)</p> <ul style="list-style-type: none"> • Harlech - Excellent • Dyffryn (Llanenddwyn) - Excellent • Llandanwg - Excellent • Tal y Bont - Excellent • Aberdyfi – Sufficient
				<p>2017/2018 This data was received from NRW for bathing water (the data is based on 2017 figures)</p> <ul style="list-style-type: none"> • Harlech - Excellent • Dyffryn (Llanenddwyn) - Excellent • Llandanwg - Excellent • Tal y Bont - Excellent • Aberdyfi – Good <p>Successfully over the last year, Aberdyfi's bathing water quality has achieved a 'Good' designation rather than 'Sufficient', resulting in a positive finding for this monitoring period.</p>
13c	To safeguard the quality and quantity of water resources	Bathing and estuary water quality	NRW	<p>2018/2019 This data was received from NRW for bathing water (the data is based on 2018 figures)</p> <ul style="list-style-type: none"> • Harlech - Excellent • Dyffryn (Llanenddwyn) - Excellent • Llandanwg - Excellent • Tal y Bont - Excellent • Aberdyfi – Good

				<p>2019/2020 This data was received from NRW for bathing water (the data is based on 2019 figures)</p> <ul style="list-style-type: none"> • Harlech - Excellent • Dyffryn (Llanenddwyn) - Excellent • Llandanwg - Excellent • Tal y Bont - Excellent • Aberdyfi – Good 																								
13d	To safeguard the quality and quantity of water resources	Estimated household water consumption (litres per head per day)	Dŵr Cymru	<p>2018-2019</p> <table border="1"> <thead> <tr> <th>COMPONENT</th> <th>VALUE</th> <th>UNIT</th> </tr> </thead> <tbody> <tr> <td>Household Per Capita Consumption</td> <td>149.36</td> <td>Litres/head/day</td> </tr> <tr> <td><i>Measured</i></td> <td>129.54</td> <td>Litres/head/day</td> </tr> <tr> <td><i>Unmeasured</i></td> <td>161.39</td> <td>Litres/head/day</td> </tr> </tbody> </table> <p>2019/2020</p> <table border="1"> <thead> <tr> <th>COMPONENT</th> <th>VALUE</th> <th>UNIT</th> </tr> </thead> <tbody> <tr> <td>Household Per Capita Consumption</td> <td>164.545</td> <td>Litres/head/day</td> </tr> <tr> <td><i>Measured</i></td> <td>162.065</td> <td>Litres/head/day</td> </tr> <tr> <td><i>Unmeasured</i></td> <td>166.207</td> <td>Litres/head/day</td> </tr> </tbody> </table>	COMPONENT	VALUE	UNIT	Household Per Capita Consumption	149.36	Litres/head/day	<i>Measured</i>	129.54	Litres/head/day	<i>Unmeasured</i>	161.39	Litres/head/day	COMPONENT	VALUE	UNIT	Household Per Capita Consumption	164.545	Litres/head/day	<i>Measured</i>	162.065	Litres/head/day	<i>Unmeasured</i>	166.207	Litres/head/day
COMPONENT	VALUE	UNIT																										
Household Per Capita Consumption	149.36	Litres/head/day																										
<i>Measured</i>	129.54	Litres/head/day																										
<i>Unmeasured</i>	161.39	Litres/head/day																										
COMPONENT	VALUE	UNIT																										
Household Per Capita Consumption	164.545	Litres/head/day																										
<i>Measured</i>	162.065	Litres/head/day																										
<i>Unmeasured</i>	166.207	Litres/head/day																										
14a	To promote mechanisms for waste minimisation, increased re-use and recycling.	Number of sustainable waste management facilities granted planning permission in the National Park and their distance from settlements.	SNPA	<p>2018/2019 There have been no applications for sustainable waste management facilities during this monitoring period.</p> <p>2019/2020 There have been no applications for sustainable waste management facilities during this monitoring period.</p>																								
14b	To promote mechanisms for waste minimisation, increased re-use and recycling.	Percentage of household and industrial/commercial waste recycling.	Stats Wales	<p>2018/2019 <u>Percentage of household waste re-used/re-cycled:</u> Gwynedd – 30.1 Conwy – 32.6</p> <p><u>Percentage of household waste composted:</u> Gwynedd – 17.9 Conwy – 24.8</p> <p>2019/2020 The data for this year's percentage of household and industrial / commercial waste recycling in Gwynedd and Conwy will be updated in October 2020.</p>																								
15	Improve the quantity and quality of publicly open space	Areas of open space lost to new development within the National Park.	SNPA	<p>2018/2019 Three applications were permitted for the erection of supporters control barrier on either side of the rugby field and creation of footway behind, an advertisement consent to display up to 25 non-</p>																								

				<p>illuminated boards of the supporters control barrier around the rugby pitch, and for the creation of new access and alteration to layout to allow buses to use the car park. None of these applications resulted in areas lost from open space land.</p> <p>2019/2020 11 applications were permitted during this monitoring period either intersecting or within areas designated as open space. However these applications were for householder developments and are not new developments, for instance, alterations such as cladding and extensions. None of these applications resulted in areas lost from open space land.</p>
16a	To provide housing to meet local need	Affordable dwellings completed as a percentage of all new housing completions	SNPA	<p>2018/2019 35% of all completions within the SNPA were affordable dwellings. During the AMR period there were 17 dwellings completed and 6 of these were affordable.</p> <p>2019/2020 21% of all completions within the SNPA were affordable dwellings. During the AMR period there were 14 dwellings completed and 3 of these were affordable.</p>
16b	To provide housing to meet local need	House price to income affordability ratio	Land Registry and CACI	<p>2018/2019 The details for the median annual income to median house price ratio, per Housing Market Assessment area, are listed below. (<i>Median house prices are representative of houses sold within the NP boundaries of the HMA areas</i>). The ratios are based on 2018 annual income, and as 2019 is not yet over, it focuses on 2018 housing prices.</p> <ul style="list-style-type: none"> • HMA 11 (Conwy Valley) – 5.9:1 • HMA 10 (Ffestiniog & Porthmadog) – 5.1:1 • HMA 9 (Machynlleth & Aberdyfi) - 6.8:1 • HMA 8 (Bala, Dolgellau & Ardudwy) – 6.1:1 • HMA 6 (Llandudno & Conwy) – 5.8:1 • HMA 4 (Caernarfon) – 6.0:1 • HMA 3 (Bangor) - 7.1:1
17a	To promote improved access to local services and amenities for all	WIMD – Geographical Access to Services Deprivation Domain	WIMD	<p>2018/2019 No new up to date information</p> <p>2019/2020 Presently, there is no new up to date information. This data was only available to a Gwynedd and Conwy council level and also LSOA level. The most recent MALIC was published in 2014.</p>
17b	To promote improved access to local services and amenities for all	Number of new community facilities granted	SNPA	<p>2018/2019 Between 2018 and 2019, there were 5 applications approved for new or improved community facilities in Local Service Centres and Secondary Settlements. These applications were for the change of use from</p>

		planning permission per annum and their proximity to public transport facilities.		<p>law court to a dental surgery, a construction of a lychgate on site of existing gated access to churchyard to house World War I Memorial Tablet, extensions to two cemeteries, and an erection of supporters control barrier on either side of the rugby field and creation of footway behind.</p> <p>2019/2020 Between 2019 and 2020, there were 2 applications approved for new or improved community facilities in Local Service Centres and Secondary Settlements. These applications were a Listed Building Consent for alterations to a former Chapel in Llanbedr, for a continuing religious use, and Cylch Meithrin Frongoch received permission improvements consisting of a cabin, play & parking areas.</p>
18a	To promote safe, healthy and sustainable communities	Percentage of persons with long-term limiting illness in Snowdonia	WAG SNPA	<p>2018/2019 No new up to date information</p> <p>2019/2020 No new up to date information. Data from the 2011 census contained information on the health and wellbeing of the population. Information on persons with long term limiting illness in Snowdonia National Park is shown below;</p> <ul style="list-style-type: none"> • Day-to-day activities limited a lot - 9.4% (2,410) • Day-to-day activities limited a little - 12.0% (3,086)
18b	To promote safe, healthy and sustainable communities	Percentage of persons whose health was 'good' over the last 12 months in Snowdonia	Census	<p>2018/2019 No new up to date information</p> <p>2019/2020 No new up to date information. Data from the 2011 census contained information on the health and wellbeing of the population. Information on the health of people living in Snowdonia National Park is shown below; 32.8% (8,419) of people living in Snowdonia National Park noted that their health was 'Good' at the time of the 2011 Census</p>
18c	To promote safe, healthy and sustainable communities	WIMD – Health Deprivation Domain	WIMD	2018/2019 No new up to date information
19a	To promote and facilitate improved community involvement	WIMD – Geographical Access to Services Deprivation Domain	SNPA	<p>2018/2019 No new up to date information</p> <p>2019/2020 No new up to date information. This data was only available to a Gwynedd and Conwy council level and also LSOA level. The most recent MALIC was published in 2014</p>
19b	To promote and facilitate improved	Number of new community facilities	SNPA	2018/2019 Between 2018 and 2019, there were 5 applications approved for new or improved community facilities in Local Service Centres and Secondary Settlements.

	community involvement	granted planning permission in the National Park.		<p>These were for the change of use from law court to a dental surgery in Dolgellau, a construction of a lychgate on site of existing gated access to churchyard to house World War I Memorial Tablet, extensions to two cemeteries, and an erection of supporters control barrier on either side of the rugby field with a creation of footway behind.</p> <p>2019/2020 Between 2019 and 2020, there were 2 applications approved for new or improved community facilities in Local Service Centres and Secondary Settlements. These applications were a Listed Building Consent for alterations to a former Chapel in Llanbedr, for a continuing religious use, and Cylch Meithrin Frongoch received permission improvements consisting of a cabin, play & parking areas.</p>
19c	To promote and facilitate improved community involvement	The distance of new community facilities granted planning permission from public transport services.	SNPA	<p>2018/2019 One new community facility was granted during this monitoring period. This was for the change of use from law court to a dental surgery in Dolgellau. This new development is located within 0.1 miles of the nearest bus stop, and as there is no train station in Dolgellau, the nearest station would be in Barmouth that is located roughly 8.2 miles away.</p> <p>2019/2020 Between 2019 and 2020, there were 2 applications approved for new or improved community facilities in Local Service Centres and Secondary Settlements. These applications were a Listed Building Consent for alterations to a former Chapel in Llanbedr for a continuing religious use, located within 120ft of a bus stop and 0.5 mile of a train station. The second application was for Cylch Meithrin Frongoch received permission improvements consisting of a cabin, play & parking areas located within 2.6 miles to the nearest bus stop and 3.5 miles from a train station.</p>

APPENDIX 2 SUPPLEMENTARY PLANNING GUIDANCE PROGRESS

SPG no.	Name	Progress
1	Sustainable Design in the National Parks of Wales	Adopted September 2011
2	Development Guidance	Adopted September 2011
3	Planning and the Welsh Language	Currently under revision
4	Affordable Housing	Adopted January 2020
5	Planning Obligations	Currently under revision
6	Nature Conservation and Biodiversity	Adopted April 2012
7	Landscapes and Seascapes of Eryri	Adopted July 2014
8	Visitor Accommodation	Adopted January 2020
9	Farm Diversification	Adopted October 2012
10	Renewable and Low Carbon Energy	Adopted November 2013
11	Annexe Accommodation	Adopted July 2014
12	Enabling Sustainable Development in the Welsh National Parks	Adopted May 2015
13	Landscape Sensitivity and Capacity Assessment	Adopted October 2016
14	Obtrusive lighting	Adopted October 2016
	The Historic Environment	Being drafted
	Adverts and Signage	Being drafted
	Locally Distinct Sustainable Design	Being drafted
	Telecommunications and Masts	Being drafted

APPENDIX 3: PROGRESS ON ALLOCATED HOUSING SITES

Allocations	Units Proposed	Monitoring Progress (pre-app discussions / planning permission / completion)
Land behind the Red Lion, Y Bala (50% open market, 50% affordable housing to meet local need). Release of 30 units up to 2016 and, if built, the remaining 25 units from 2016 to 2022	55	Contact made with landowner. The site has no constraints and the owner intends to develop the site in the next five years. Formal pre-application enquiry submitted to the Authority (January 2019) outlining site layout and proposed plans.
Land at Cysgod y Coleg, Y Bala (100% affordable housing to meet local need)	10	30 units completed 2012-13. Planning permission granted in June 2020 for the construction of 9 affordable dwellings (3 two bed roomed bungalows and 6 two bed houses)
Land adjacent to Pentre Uchaf, Dyffryn Ardudwy (100% affordable housing to meet local need)	10	Contact made with landowner (Adra) and they are keen to develop the site in the near future with pre-application discussions underway. They foresee the whole site will be completed within the next 5 years
Land adjacent to Capel Horeb, Dyffryn Ardudwy (50% open market, 50% affordable housing to meet local need)	5	No progress to date
Former Primary School, Aberdyfi (100% affordable housing to meet local need).	6	Planning permission has been granted for 11 units on site which includes 4 flats. Work has commenced on site and is near completion.
Llanfrothen (100% affordable housing to meet local need)	6	This is a new allocation within the ELDP 2016-31. Adra foresee the site being completed within the next five years. –
Dolgellau (100% affordable housing to meet local need)	15	This is a new allocation within the ELDP 2016-31. Contact made with landowner - Cartrefi Cymunedol Gwynedd Housing Association. They foresee the site being completed within the next five years.
Llanuwchllyn (100% affordable housing to meet local need)	7	Land in the ownership of Grwp Cynefin Housing Association. They foresee the site being completed by 2022.

Land adjacent to Lawnt y Plas, Dinas Mawddy (100% affordable housing to meet local need)	6	This is a new allocation within the ELDP 2016-31. Site owned by Adra. They foresee the site being completed within 5 – 10 years.
Trefriw, land next to Ty Capel Peniel (50% open market, 50% affordable housing to meet local need)	5	Owner has stated an intention to develop within 5 years.
Dolwyddelan (100% affordable housing to meet local need)	6	This is a new allocation within the ELDP 2016-31. Intention to develop site following internal consultations by owner, Natural Resources Wales.
Land adjacent to Penyrhwylfa, Harlech (67% open market, 33% affordable housing for local need)	24	This is a new allocation within the ELDP 2016-31. 12 units are foreseen to be completed within the next 5 years.
Llanegryn (50% open market, 50% affordable housing to meet local need)	8	Landowner is in discussion with the Rural Housing Enabler who have completed a Housing Needs Survey for the community.
Land adjacent to Bryn Deiliog, Llanbedr, (100% to meet local need)	6	This is a new allocation within the ELDP 2016-31. The site is foreseen to be completed within the next 5 – 10 years.
Land adjacent to Bro Prysor, Trawsfynydd, (100% to meet local need)	10	This is a new allocation within the ELDP 2016-31. The site is foreseen to be completed within the next 5 – 10 years.
Land adjacent to Maesteg, Pennal (100% affordable housing to meet local need)	5	This is a new allocation within the ELDP 2016-31. The site is foreseen to be completed within the next 5 years..
Total	184	

ITEM NO. 8.0

MEETING	Planning and Access Committee
DATE	20 th January 2021
TITLE	TPO – Pen y Cefn, Dolgellau
REPORT BY	Tree and Woodland Officer
PURPOSE	To approve confirmation of this Tree Preservation Order

BACKGROUND

Local residents of Pen-y-Cefn were concerned that a local Landowner was planning to fell trees located at the upper section of Pen-y-Cefn, Dolgellau (see aerial photos, site plan, additional photos and objection letters in the document bundle). These trees were worthy of the TPO and a provisional order was put in place.

DETAILS OF THE TPO

The authority has made this order to safeguard 15 individual trees and 4 groups of trees located on the upper (Northern) edge of the Pen Cefn locality, Dolgellau. The individual trees are all mature Oaks (of variable health) and are highly visible from nearby housing, public roads and footpaths. The addition of this new TPO ensures that the individual trees and groups identified will have a valuable contribution to the visual amenity of Dolgellau and this area of Snowdonia for many years to come.

There are two objections on file within the specified objection period and by the same landowner affected by the TPO. The two objections means that confirmation of the TPO is now passed on to member of the Planning Committee for consideration and recommendation by the National Park Tree and Woodland Officer is to approve this TPO by the Committee.

RECOMMENDATION

To approve and confirm this Tree Preservation Order.



**PLANNING AND ACCESS
COMMITTEE 20 JANUARY 2021**

DELEGATED DECISIONS

SNOWDONIA NATIONAL PARK AUTHORITY

PLANNING AND ACCESS COMMITTEE 20 JANUARY 2021

DELEGATED DECISIONS

Applications Approved

	Application No.	Proposed	Location	Decision Date	Case Officer
1.	NP2/11/722A	Discharge Condition 5 (Archaeological watching brief) attached to planning approval notice NP2/11/722 dated 17/03/2020	Land at Gerhynt Quarry, Beddgelert. LL55 4NL	19/11/20	Mr Richard Thomas
2.	NP2/16/152B	Extensions and installation of package sewage treatment plant	Cerrig Pryfaid, Golan, Garndolbenmaen. LL51 9AQ	03/12/20	Mr Richard Thomas
3.	NP3/15/LB80C	Conversion, alteration and extension of garage to form annex incidental to dwelling	Glandwr, Llanberis. LL55 4UD	19/11/20	Mr Richard Thomas
4.	NP3/15/LB80D	Listed Building Consent for conversion, alteration and extension to garage to form annex incidental to dwelling	Glandwr, Llanberis. LL55 4UD	19/11/20	Mr Richard Thomas
5.	NP3/16/28A	Discharge of Condition 4 (Scheme of landscaping) attached to decision notice NP3/16/28 dated 22/01/2020	Land adjacent to Ogwen Car Park, Nant Ffrancon, Bethesda.	03/12/20	Mr Richard Thomas
6.	NP4/11/AD341A	Installation of fisheries information board	Pont y Pair Car Park, Betws-y-Coed.	01/12/20	Mr Richard Thomas
7.	NP4/11/AD342A	Installation of fisheries information board	Royal Oak Hotel Car Park, Betws y Coed.	01/12/20	Mr Richard Thomas
8.	NP4/11/AD344A	Installation of fisheries information board	Land near Llyn yr Afanc, Afon Conwy, Betws-y-Coed.	01/12/20	Mr Richard Thomas
9.	NP4/12/112E	Non-material amendment to Planning Approval NP4/12/112D dated 23/08/2018 to omit 3 x windows and stone facing to north elevation	Pant yr Afon, Rowen. LL32 8YT	19/11/20	Mr Richard Thomas
10.	NP4/32/L222C	Extension to visitor accommodation bunkhouse barn	Hafod Gras, Crafnant Road, Trefriw. LL27 0JZ	26/11/20	Mr Richard Thomas

11.	NP5/50/375C	Erection of garage and new driveway	2 Corbett Lane, Aberdyfi. LL35 0RB	08/12/20	Mrs. Iona Roberts
12.	NP5/52/LB232	Listed Building Consent for restoration of fire damaged byre to include a new traditional roof structure with conservation roof lights, new timber stairs leading to kitchen / living room on new first floor, construction of open roof space at the North end. New bedroom & bathroom facilities and new limecrete ground floor construction with a new air source heat pump heating system located in rear store area	Henddol Old Farm, Friog. LL38 2RZ	30/11/20	Mr. Arwel Ll Thomas
13.	NP5/53/132P	Non-material amendment to Planning Consent NP5/53/132J dated 20/02/2013 to increase the area of the terrace adjacent to the main entrance	Bala Rugby Club, Maes Gwyniad, Bala. LL23 7DZ	04/12/20	Mrs. Sara Thomas
14.	NP5/54/LB76D	Listed Building Consent for additional bathroom facilities to ground floor plan, behind the post and panel partition erected on raised floor for the provision of services and waste connection to existing system, form access through door opening within 'modern' partition, block up opening to the right within the existing partition, adapt opening within recessed glazing of existing window	Cae'r March, Llanfachreth. LL40 2DS	30/11/20	Mr. Arwel Ll Thomas
15.	NP5/55/211D	Discharge of Condition No. 2 of Planning Consent NP5/55/211 dated 27/05/2010	Penowern Farm, Brynchrug. LL36 9NU	24/11/20	Mrs. Iona Roberts
16.	NP5/57/159A	Demolition of existing garage and construction of single storey side extension with solar panels on the front roof elevation	3 Garreg Feurig, Dolgellau. LL40 2YA	07/12/20	Mrs. Iona Roberts
17.	NP5/58/LB317D	Conversion of stable and carhouse to a single holiday unit. Conservation roof lights (4) and forming new window opening to West Elevation, flue extending through roof North Elevation and parking area on South side	Stables, Bron y Foel Isaf, Dyffryn Ardudwy. LL44 2HZ	09/12/20	Mr. Arwel Ll Thomas

18.	NP5/58/LB317E	Listed Building Consent for the conversion of stable and carhouse to a single holiday unit including bathroom at the rear of the carhouse and bedroom at the front with glazed to floor double doors to opening. New kitchen/dining to former stable ground floor with spiral stair connection to living room to former stable loft. New door opening between bedroom and kitchen including log burning stove. Conservation roof lights (4) and forming new window opening to West Elevation, flue extending through roof North Elevation including parking area on South side	Stables, Bron y Foel Isaf, Dyffryn Ardudwy. LL44 2HZ	09/12/20	Mr. Arwel LI Thomas
19.	NP5/59/797	Erection of two storey rear extension and alterations to front porch	Bryn Golau, 13 Station Road, Llan Ffestiniog. LL41 4NN	16/11/20	Mr Aled Lloyd
20.	NP5/61/505B	Outline application for erection of a dwelling (Open market)	Morfa Newydd, Beach Road, Harlech. LL46 2UG	04/12/20	Mr Aled Lloyd
21.	NP5/61/560D	Erection of split level 3 bedroom detached dwelling	Land between Trem Arfor and Hiraethog, High Street, Harlech. LL46 2YE	18/12/20	Mr Aled Lloyd
22.	NP5/64/92D	Construction of rural enterprise dwelling, associated hardstanding and installation of package treatment plant (Re-submission)	Llain y Pistyll, Llanegryn. LL36 9LN	15/12/20	Mrs. Iona Roberts
23.	NP5/65/L359	Conversion of chapel to open market dwelling	Capel Coffa, Llanelltyd. LL40 2TA	08/12/20	Mrs. Sara Thomas
24.	NP5/66/67A	Erection of single storey front and side extension	Swn y Dwr, Llandanwg. LL46 2SB	17/11/20	Mr Aled Lloyd
25.	NP5/67/325A	Non-material amendment to Planning Consent NP5/67/325 dated 20/12/2017 to allow repositioning and increased size of one rooflight on the front roof slope and one rooflight on the rear roof slope	Former Boot Shop, Llanegryn Street, Abergynolwyn. LL36 9YL	23/11/20	Mrs. Alys Tatum
26.	NP5/70/6G	Agricultural building for cattle and associated feed store building	Maesyfallen, Rhosygwaliau. LL23 7EY	09/12/20	Mrs. Sara Thomas

27.	NP5/71/116B	Convert and extend barn to Rural Enterprise Dwelling including installation of septic tank	Ty Uchaf, Llanuwchllyn. LL23 7UF	02/12/20	Mrs. Sara Thomas
28.	NP5/71/93C	Construction of single storey side extension and two storey rear extension	Nant Hir, Cynllwyd, Llanuwchllyn. LL23 7DF	17/11/20	Mrs. Sara Thomas
29.	NP5/72/247	Conversion and alteration of outbuilding as additional bedrooms to associated dwelling	Llidiardau Bach, Llidiardau, Bala. LL23 7SG	26/11/20	Mrs. Sara Thomas
30.	NP5/72/LB143K	Listed Building Consent to retain of ground source heat pump, screen and associated ancillary works	Mary Jones World Heritage Centre, Eglwys Beuno Sant, Llanycil. LL23 7YF	30/11/20	Mr. Arwel Ll Thomas
31.	NP5/74/321C	Prior notification under Part 24 of The Town & Country Planning (General Permitted Development) Order 1995 as amended to upgrade to the antennas on the existing 15m high mast and associated ancillary works	Land at Land at Pen y Graig, Cwm Cewydd, Mallwyd.	26/11/20	Mrs. Sara Thomas
32.	NP5/75/79F	Construction of underground workshop	Bettws, Cwrt, Pennal. SY20 9JZ	17/11/20	Mrs. Iona Roberts
33.	NP5/77/343	Erection of two storey rear extension and alterations to front fenestration	Borth Las Bella, Llandecwyn. LL47 6YN	24/11/20	Mr Aled Lloyd
34.	NP5/77/LB59F	Listed Building Consent to change steel framed single glazed windows to purposed made oak doubled glazed windows W11,W12,W14,W15,W16,W18 ground floor level dining room, kitchen and hall also W45,W46,W47 first floor level Blue room and W66 attic level	Glyn Cywarch, Talsarnau. LL47 6TE	30/11/20	Mr. Arwel Ll Thomas
35.	NP5/77/LB59G	Installation of a 'Kingspan Biodisc' unit a domestic sewage treatment and all associated ground, drainage and electrical installation works	Glyn Cywarch, Talsarnau. LL47 6TE	17/11/20	Mr. Arwel Ll Thomas
36.	NP5/77/LB59H	Listed Building Consent for the installation of a 'Kingspan Biodisc' domestic sewage treatment unit including all associated drainage excavation and electrical installation works located to the rear of the Estate Offices and North West from the main house	Glyn Cywarch, Talsarnau. LL47 6TE	17/11/20	Mr. Arwel Ll Thomas

37.	NP5/78/553	Construction of two storey and single storey rear extension in place of existing rear extensions, insertion of dormer into to rear elevation and construction of garage	Argoed, Fronwnion Street, Trawsfynydd. LL41 4SW	23/11/20	Mrs. Sara Thomas
-----	------------	---	---	----------	------------------

Applications Refused

	App No.	Proposed	Location	Reason for Refusal	Case Officer
1.	NP5/64/188	Erection of two storey extension on front elevation and alterations to existing utility	Bodafon, 12 Maesegryn, Llanegryn. LL36 9SH	<p>02/12/20</p> <p>The proposed extension, by virtue of its configuration and location on the front elevation of the dwelling, is considered to be an incongruous addition to the existing dwelling. The proposal is therefore in conflict with the adopted Eryri Local Development Plan 2016-2031, in particular Development Policy 1 and 15, which seeks to ensure that that the development does not detract from the character and form of the existing dwelling or the wider area.</p> <p>No Protected Species Survey has been submitted to identify/address any ecological issues within the proposed development site so that a fully informed decision can be made on this application. In the absence of such a survey report, the proposal fails to satisfy Strategic Policy D Natural Environment of the Eryri Local Development Plan 2016-2031, which seeks to protect local sites of nature conservation and biodiversity importance.</p>	Mrs. Iona Roberts