

# NOTICE OF MEETING



*Snowdonia National Park Authority*

*Emyr Williams*

*Chief Executive*

*Snowdonia National Park Authority*

*Penrhyndeudraeth*

*Gwynedd LL48 6LF*

*Phone: (01766) 770274*

*E.mail: [parc@eryri.llyw.cymru](mailto:parc@eryri.llyw.cymru)*

**Meeting:** Planning & Access Committee

**Date:** Wednesday 29 June 2022

**Time:** 10.00 a.m.

***Members are asked to join the meeting 15 minutes before the designated start time***

***Members appointed by Gwynedd Council***

*Councillor: Elwyn Edwards, Annwen Hughes, Louise Hughes  
June Jones, Kim Jones, Edgar Wyn Owen, Elfed Powell Roberts,  
John Pughe Roberts, Meryl Roberts;*

***Members appointed by Conwy County Borough Council***

*Councillor: Ifor Glyn Lloyd, Jo Nuttall, Dilwyn Owain Roberts;*

***Members appointed by The Welsh Government***

*Mr. Brian Angell, Ms. Tracey Evans, Mrs. Sarah Hattle,  
Mr. Tim Jones, Ms. Naomi Luhde – Thompson, Mr. Owain Wyn.*

***\*This Agenda is also available in Welsh***

## A G E N D A

		Page Nos.
1.*	<b>Chairman</b> To elect a Chairman of the Committee for the ensuing year.	
2.*	<b>Vice-Chairman</b> To elect a Vice-Chairman of the Committee for the ensuing year.	
3.	<b>Apologies for absence and Chairman’s Announcements</b> To receive any apologies for absence and Chairman’s announcements.	
4.	<b>Declaration of Interest</b> To receive any declaration of interest by any members or officers in respect of any item of business.	
5.	<b>Minutes</b> The Chairman shall propose that the minutes of the meeting of this Committee held on 18 <sup>th</sup> May, 2022 be signed as a true record (copy herewith) and to receive matters arising, for information.	3 - 5
6.	<b>Appointment of Members to serve on the Planning and Access Committee Inspection Panels</b> To submit a report by the Director of Planning and Land Management. (Copy herewith)	6
7.	<b>Report by the Director of Planning and Land Management</b> To Submit a report by the Director of Planning and Land Management on policy matters. (Copy herewith) - Supplementary Planning Guidance: The Slate Landscapes of Northwest Wales World Heritage Site	7 - 86
8.	<b>Report by the Director of Planning and Land Management</b> To submit a report by the Director of Planning and Land Management on applications received. (Copies herewith)	87 - 109
9.	<b>Update Reports</b> To submit update reports, for information. (Copies herewith)	110 - 135
10.	<b>Appointment of a Casual Vacancy for Southern Snowdonia Local Access Forum</b> To submit a report by the Access & Well Being Manager and Local Access Forums Secretary. (Copy herewith)	136 - 137
11.	<b>Delegated Decisions</b> To submit the list of applications which have been determined in accordance with delegated authority, for information. (Copy herewith)	138 - 144
12.	<b>Appeal Decision</b> To submit an oral report by the Director of Planning and Land Management on the Inspector’s decision to dismiss an appeal by Mr. George Borthwick in relation to a planning refusal issued by the Authority “for the storage of one touring caravan which has planning permission to be used as living accommodation for twenty-eight days in any one year”, Land opposite Quaker Burial Ground, Llwyngwrl. (A copy of the Inspector’s decision is enclosed – Copy herewith)	145 - 147

\* Your attention is drawn to standing order 5.8 which states that “No Member shall serve as Chairman or Vice-Chairman of more than one Committee”.

**SNOWDONIA NATIONAL PARK PLANNING AND ACCESS COMMITTEE  
WEDNESDAY 18<sup>th</sup> MAY 2022**

Councillor Elwyn Edwards (Gwynedd) (Chairman)

**PRESENT:**

**Members appointed by Gwynedd Council**

Councillors Annwen Hughes, Judith Humphreys, Edgar Wyn Owen, Elfed Powell Roberts, John Pughe Roberts, Gethin Glyn Williams;

**Member appointed by Conwy County Borough Council**

Councillor Philip Capper, Wyn Ellis Jones, Ifor Glyn Lloyd;

**Members appointed by the Welsh Government**

Mr. Brian Angell, Ms. Tracey Evans, Mr. Tim Jones, Ms. Naomi Luhde-Thompson, Mr. Owain Wyn;

**Officers**

Mr. G. Iwan Jones, Mr. Jonathan Cawley, Ms. Jane Jones, Ms. Emma Watkins, Mr. Dafydd Thomas, Ms. Anwen Gaffey.

**Apologies**

Councillors Alwyn Gruffydd, Mike Stevens; Ms. Sarah Hattle.

As the meeting was being held remotely, the Director of Corporate Services stated:-

- that the meeting was subject to Covid-19 Regulations on how the Authority conducts its business, and
  - o that a Notice of the Meeting had been published and the Agenda and reports were available on the Authority's website.
  - o the meeting was not open to the public.
  - o the meeting was being recorded to assist in verifying the minutes and will be available on the Authority's website at a later date.

**1. Chairman's Announcements**

i) Welcome

The Chairman welcomed Ms. Naomi Luhde-Thompson, the newly appointed Welsh Government Member, to her first meeting of the Planning and Access Committee. The Director of Planning and Land Management confirmed that Ms. Thompson had been provided with planning training prior to the meeting.

ii) Best Wishes

The Chairman conveyed best wishes and thanks to the Members who were attending their final meeting of the Planning and Access Committee.

**2. Declaration of Interest**

Councillor John Pughe Roberts declared an interest in item 4 (2) on the Agenda and withdrew from the meeting when the item was under discussion.

**3. Minutes**

Subject to correcting the minutes to record that Councillor Wyn Ellis Jones was present at the meeting, the minutes of the Planning and Access Committee meeting held on 2<sup>nd</sup> March 2022 were accepted and the Chairman signed them as a true record.

4. **Reports by the Director of Planning and Land Management Submitted** – Reports by the Director of Planning and Land Management on planning applications and compliance matters.

Please see the Schedule of Planning Decisions attached.

5. **Update Reports Submitted** – Update reports by the Director of Planning and Land Management on planning applications and compliance matters.

Please see the Schedule of Planning Decisions attached.

6. **Delegated Decisions Submitted and Received** – List of applications determined in accordance with delegated authority.

**RESOLVED to note the report.**

7. **Planning Appeal Submitted and Received** – copy of the following appeal decision:-  
Appeal by Ms. Jill Hughes against the Authority's decision to refuse planning permission for the conversion of the former annex store / bunkhouse into a one-bedroom annex accommodation to the main hostel building at the Snowdonia Mountain Hostel, Tai Newyddion, Nant Ffrancon, Bethesda. LL57 3DQ  
(Appeal allowed)

Members and officers noted that the Authority's list of traditional buildings would be re-examined as part of the annual monitoring work carried out by Planning Policy officers.

**The meeting ended at 11.15**

## SCHEDULE OF PLANNING DECISIONS – 18<sup>th</sup> MAY 2022

### Item No.

#### 4. **Report by the Director of Planning and Land Management**

- (1) NP5/57/1058B – Erection of extension to provide additional workshop and classroom space, and additional car parking, Unit 1, Marian Mawr Enterprise Park, Dolgellau. LL40 1UU

**Reported** – Case Officer presented the report and background. In response to a question, officers confirmed that Natural Resources Wales use the latest data available to them when assessing applications and that the Welsh Government will be re-publishing TAN 15 and the new maps next year.

**RESOLVED to refuse** permission in accordance with the recommendation.

- (2) NP5/74/498 – Construction of track to provide access to peatlands in association with peatlands restoration project, Pennant, Llanymawddwy. SY20 9AJ

**Reported** – Case officer presented the report and background.

**RESOLVED to grant** permission in accordance with the recommendation.

#### 5. **Update Reports**

- (1) Enforcement Notices, Listed Building Enforcement Notices served under delegated powers and List of Compliance Cases – **For Information**

NP5/65/ENF115A – Land at Hengwrt, Llanelltyd

Members were provided with an oral update. The Acting Planning Manager will provide an update report to the next meeting of the Planning and Access Committee.

NP5/55ENFL142A – 3 Glandwr, Brynchrug.

Members were advised upon the latest position and that the matter was being progressed. A follow up report will be presented in due course.

NP5/54/ENFLB33M – Nannau Hall, Llanfachreth

Members were provided with an oral update. The Acting Planning Manager will provide an update report to the next meeting of the Planning and Access Committee.

**RESOLVED to note the report.**

- (2) Section 106 Agreements – **For Information**

NP5/61/632 – Merthyr Isaf, Hwylfa'r Nant, Harlech.

The Acting Planning Manager agreed to discuss with the case officer and provide the Member with a separate update.

**RESOLVED to note the report.**

- (3) Outstanding Applications where more than 13 weeks have elapsed – **For Information**

NP5/61/T558D – Former Tabernacl Chapel, High Street, Harlech.

The Acting Planning Manager would ask the case officer to provide an update.

NP5/74/496 – Gwastadgoed, Aberangell.

The Acting Planning Manager would ask the case officer to provide an update.

**RESOLVED to note the report.**

<b>MEETING</b>	Planning and Access Committee
<b>DATE</b>	29 June 2022
<b>TITLE</b>	<b>APPOINTMENT OF MEMBERS TO SERVE ON THE PLANNING &amp; ACCESS COMMITTEE INSPECTION PANELS</b>
<b>REPORT BY</b>	Director of Planning and Land Management
<b>PURPOSE</b>	To appoint Members

1. **SUMMARY**

The Planning and Access Committee is invited to nominate Members to serve on the following Inspection Panels. The Panels are fully vacant with names of previous membership included, for information only, to assist members.

2. **RECOMMENDATION**

**To appoint Members to serve on the following:-**

**Inspection Panels**

(Potential for 8 meetings each a year)

If previous Members wish to now serve on a different inspection panel, it would be appreciated if notice could be given before the Committee.

**Northern Area**

(9 Members)

- 1) Cllr. Ifor Glyn Lloyd
- 2) Cllr. Edgar Wyn Owen
- 3) Mr. Owain Wyn
- 4) Ms. Tracey Evans

**with 5 Vacancies**

**Southern Area**

(9 Members)

- 1) Cllr. Elwyn Edwards
- 2) Cllr. Annwen Hughes
- 3) Cllr. Elfed Powell Roberts
- 4) Cllr. John Pughe Roberts
- 5) Mr. Brian Angell
- 6) Ms. Sarah Hattle
- 7) Mr. Tim Jones

**with 2 Vacancies**

## ITEM NO 7.1

<b>MEETING</b>	Planning and Access Committee
<b>DATE</b>	June 29 <sup>th</sup> 2022
<b>TITLE</b>	<b>Supplementary Planning Guidance: The Slate Landscapes of Northwest Wales World Heritage Site</b>
<b>REPORT BY</b>	Rebeca Jones (Anglesey and Gwynedd Council Planning Policy Manager) and Elen Hughes (SNPA Historic Environment Planning Officer)
<b>PURPOSE</b>	To approve the Supplementary Planning Guidance: The Slate Landscapes of Northwest Wales World Heritage Site for adoption.

### 1. Introduction

Both Gwynedd Council and the Snowdonia National Park Authority are committed to preparing a range of Supplementary Planning Guidance to support their respective Local Development Plans, which contain strategic and development policies as a basis for deciding planning applications. Supplementary Planning Guidance documents (SPGs) provide further detailed information, in support of the Local Development Plan policies. SPGs should expand and interpret planning policies and not in themselves, form new areas of policy. The aim and purpose of this Planning and Access Committee is to therefore agree upon the current content of the SPG, for it to be adopted. Once adopted it will be a material planning consideration in determining planning applications.

### 2. Purpose

The Purpose of this Guidance is to:

- assist the public and their agents in preparing planning applications and in guiding them in discussions with officers before submitting planning applications,
- assist officers to assess planning applications, and officers and councillors to make decisions about planning applications within the Gwynedd Council Local Planning Authority area and Snowdonia National Park Authority area, and
- help Planning Inspectors make decisions on appeals and,

- give specific advice on planning issues relating to the Slate Landscape of Northwest Wales World Heritage Site (WHS).

The general aim is to improve the quality of new developments and facilitate a consistent and transparent way of making decisions.

### **3. Current Position**

A draft version of this SPG was approved for public consultation during a meeting of the Gwynedd Council Cabinet on October 12<sup>th</sup> 2021 and by the SNPA's Planning and Access Committee on October 20<sup>th</sup> 2021.

The approved draft of this SPG was the subject of an 8 week public consultation between the 15<sup>th</sup> December 2021, and the 9<sup>th</sup> February 2022.

Appendix 1 of this report contains a Consultation Report containing details of the public consultation, and a summary of the comments received together with a joint officer response including any proposed changes to the SPG. The Supplementary Planning Guidance document has now been updated to consider the representations received. The amendments can be seen as track changes (see Appendix 2).

### **4. RECOMMENDATION**

For Members to:

- 1) Note the contents of the Consultation Report; and
- 2) Formally adopt the Slate Landscapes of Northwest Wales World Heritage Sites SPG to be used as material planning consideration in decision making within the Snowdonia National Park and
- 3) Delegate the right for the Director of Planning and Land Management to make any non-material modifications, which may be required to the draft SPG before it is published on the website.



# SNOWDONIA NATIONAL PARK AUTHORITY



## **CONSULTATION REPORT: SUPPLEMENTARY PLANNING GUIDANCE: THE SLATE LANDSCAPE OF NORTHWEST WALES WORLD HERITAGE SITE**

## Contents

1	<b>BACKGROUND</b> .....	3
	The Policy Context.....	3
	The need for a Supplement Planning Guidance .....	3
2	<b>PUBLIC CONSULTATION</b> .....	5

[APPENDIX 1: Summary of Comments received and the responses](#)

# 1 BACKGROUND

## The Policy Context

- 1.1 The SNPA adopted the Eryri Local Development Plan (ELDP) 2016-2031 on the 6<sup>th</sup> February 2019. The ELDP 2016-2031 contains Strategic Policies and Development Policies as a basis for deciding planning applications. The Gwynedd and Anglesey Joint Local Development Plan was adopted on 31 July 2017. It relates to the Gwynedd and Anglesey Planning Authority areas. The Plan provides wide-ranging policies along with allocations. Supplementary Planning Guidance documents (SPGs) provide further detailed information, in support of LDP policies.
- 1.2 SPGs will be a material planning consideration during the process of assessing and determining planning applications. Welsh Government and the Planning Inspectorate will place considerable weight on supplementary planning guidance that stem from, and are consistent with the LDPs. SPGs should expand and interpret planning policies and not in themselves, form new areas of policy.

## The need for a Supplement Planning Guidance

- 1.3 The Slate Landscape of Northwest Wales which comprises of six Component Parts was added to the UNESCO World Heritage Sites in July 2021. The World Heritage Site (WHS) is considered to represent an exceptional example of an industrial cultural landscape that was profoundly shaped by large-scale slate quarrying and underground mining, and by the working and transport of slate for national and international markets. This industry transformed both the environment and the way of life of those who lived and worked in the mountains of Snowdonia and Gwynedd.
- 1.4 The six Component Parts are as follows:
  - ❖ Component Part 1: Penrhyn Slate Quarry and Bethesda, and the Ogwen Valley to Port Penrhyn
  - ❖ Component Part 2: Dinorwig Slate Quarry Mountain Landscape
  - ❖ Component Part 3: Nantlle Valley Slate Quarry Landscape
  - ❖ Component Part 4: Gorseddau and Prince of Wales Slate Quarries, Railway and Mill
  - ❖ Component Part 5: Ffestiniog: its Slate Mines and Quarries, 'city of slates' and railway to Porthmadog
  - ❖ Component Part 6: Bryneglwys Slate Quarry, Abergynolwyn Village and the Talyllyn Railway
- 1.5 The majority of the World Heritage Site is primarily located within the county of Gwynedd, with some of the areas also sitting within and adjacent to the Snowdonia National Park boundary.
- 1.6 For over a decade, with Gwynedd Council leading on the project to secure the North West Wales Slate Landscape 'World Heritage Site' status to protect and promote the

special qualities of these areas for future generations. As the process evolved it became clear that a policy would be required within both the Gwynedd and Anglesey Joint Local Development Plan and the Eryri Local Development Plan to protect the slate landscape while the work to secure WHS status continued. As a result of this policies were included to protect and enhance the then 'Candidate World Heritage Site' within their historic environment policies. Since its inscription as a WHS, the protection and enhancement of the designated landscapes continues to be protected by policies within the LDPs. The SPG provides further detailed information, in support of these Local Development Plan policies.

- 1.7 Gwynedd Council Policy Officers, and National Park Authority Policy Officers have been working together to prepare the SPG since the summer of 2019 and have received extensive input from key stakeholders. These include the Historic Environment Services, Land and Business Owners.

## 2 PUBLIC CONSULTATION

- 2.1 A draft version of this SPG was approved for public consultation during a meeting of the Gwynedd Council Cabinet on October 12<sup>th</sup> 2021 and by the SNPA's Planning and Access Committee on October 20<sup>th</sup> 2021.
- 2.2 The approved draft of this SPG was the subject of a 8 week public consultation between the 15<sup>th</sup> December 2021, and the 9<sup>th</sup> February 2022.
- 2.3 Details of the public consultation were available on both Gwynedd Council's and SNPA websites. Paper copies were also available for inspection in Siop Gwynedd (Caernarfon, Pwllheli and Dolgellau), as well as the local libraries located in Gwynedd and the Snowdonia National Park. Emails/letters were also sent to all Councillors, Community Councils, and those on the Authorities Contact Databases.
- 2.4 Interested parties were informed to respond to the consultation through submitting comments by emailing [polisicynllunio@gwynedd.llyw.cymru](mailto:polisicynllunio@gwynedd.llyw.cymru) or by post.
- 2.5 A total of 23 comments were received, resulting in 7 amendments.
- 2.6 Appendix A of this report, summarises the comments received, the Authorities Joint response to the comments and, where appropriate, any changes required to the SPG.

## APPENDIX 1 - SUMMARY OF REPRESENTATIONS RECEIVED AND OFFICER RECOMMENDATIONS

Resp ID	Rep ID	First Name	Surname	Organisation	Chapter	Paragraph number	Officer Summary	Officer Response	Changes Proposed
SNPA001	001	Grace	Lewis	Network Rail	4	4.23	<p>Consideration should be given to the impact on the existing nearby Network Rail capacity and facilities in assessing development proposals. This should be done in consultation with Network Rail where relevant. Network Rail is a statutory consultee for any planning applications near relevant railway land and Network Rail. Therefore, appreciate the Council providing Network Rail with an opportunity to comments on any future pre-application or planning applications should they be submitted for sites adjoining the railway or within close proximity to the railway as we may have more specific comments to make.</p>	<p>Network Rail is a statutory consultee where applications affect the railway. Where necessary Network Rail will be consulted. Therefore, no changes are proposed to this specific SPG as this is general practice for all relevant planning applications, not just those specific to the World Heritage Site.</p>	No changes proposed.
SNPA002	001			Woodland Trust	General		<p>Should clarify within the SPG that the premature removal of any mature tree or shrub may adversely affect the health and welfare of residents, and cause biodiversity loss and environmental degradation. This cannot be fully or quickly mitigated by new planting. Where development intersects with Woodland Trust land, and all woods open to public access, consultation is required. It is expected for an environmental assessment to be submitted that considers the potential impact of construction and subsequent use, in particular any impact on ancient woodlands or ancient trees, the loss of mature street trees, fragmentation and disturbance of native habitats, and the introduction of street lighting into areas of native habitat.</p> <p>Proposes to include the following overarching principles to establish and</p>	<p>No change. The overarching principles proposed are relevant to all planning applications not only those which will be considered within the designated World Heritage Site Component Areas. Therefore, no changes are proposed to this specific SPG as these are principles which should be considered for all relevant planning applications, not just those specific to the World Heritage Site.</p>	No changes proposed.

Resp ID	Rep ID	First Name	Surname	Organisation	Chapter	Paragraph number	Officer Summary	Officer Response	Changes Proposed
							<p>highlight within the SPG:</p> <ul style="list-style-type: none"> <li>• That active travel networks are co-designed with green infrastructure networks and nature recovery networks.</li> <li>• That hard-surfaced active travel tracks are not routed through sensitive and irreplaceable habitats including ancient woodland.</li> <li>• That route selection and design processes ensures that routes retain wildlife habitat and street-side green infrastructure and enhance existing road space with new planting.</li> <li>• That opportunities are sought to work with communities to identify sites along active travel routes for additional tree and shrub planting and carry out that planting.</li> <li>• That appropriate ecological expertise is available in teams responsible for the delivery of Active Travel Plans.</li> </ul>		
SNPA003	001	Ben	Lewis	Barton Willmore LLP	1	1.8	<p>Propose minor amendment for accuracy:</p> <p>under 'SECTION 2' – 'Part' should be 'Parts'</p>	Agree to amend grammatical error for accuracy (English only)	SECTION 2 - The World Heritage Site - defines WHS in Northwest Wales. It states that the area comprises six separate Component Parts or areas and these are shown on maps in Appendix 1 together with further information on the history, Outstanding Universal Value and physical and social attributes of the WHS.
SNPA003	002	Ben	Lewis	Barton Willmore LLP	2	2.7	<p>Propose minor amendment for accuracy:</p> <p>last sentence of paragraph should be '...seven well-being goals', rather than '...seen well-being goals'.</p>	Agree to amend grammatical error for accuracy (English only)	These themes consider the needs of residents and businesses in the region and identify opportunities to support the goals of the Well-being of future generations (Wales) Act 2015. The Themes set out in the management plan contribute to the seven well-being goals.
SNPA003	003	Ben	Lewis	Barton Willmore LLP	2	2.14	<p>Propose to include the following within para 2.14:</p>	As this SPG does not include Anglesey or the relevant areas in	No changes proposed.

Resp ID	Rep ID	First Name	Surname	Organisation	Chapter	Paragraph number	Officer Summary	Officer Response	Changes Proposed
							“Large scale renewable <b>and low carbon energy</b> schemes provide economic benefit through direct employment and tourism as in the case at Dinorwig Power Station. Both Local Development Plans contain policies to support the development of appropriate renewable <b>and low carbon</b> energy developments”.	Snowdonia, the inclusion of "and low carbon energy" is not considered appropriate.	
SNPA003	004	Ben	Lewis	Barton Willmore LLP	3	3.4	Propose reference to be made to 'Future Wales: the National Plan to 2040' as this is the highest tier of the development hierarchy in Wales and is the principal policy against which energy projects of 10 – 250MW (as Developments of National Significance) are determined.	Agree, reference should be made to Future Wales in para 3.4. Future Wales outlines that managing the North's outstanding historic and natural resources is a priority for the region. The region's distinctive heritage should be preserved and enhanced by high quality development. The Local Development Plans policies will be considered if any development of national significance is proposed and therefore it is not considered appropriate to include specific reference to Developments of National Significance within this SPG.	3.4 In this section the most relevant and useful national policies in relation to WHS are discussed, <b>which are material planning consideration when determining planning application. Future Wales (p.121) states that “managing the North's outstanding historic and natural resources is a priority for the region”, and “the region's distinctive heritage should be preserved and enhanced by high quality development”.. They are contained in Planning Policy Wales (PPW) and are a material planning consideration when determining planning applications.</b> Local planning policies, although more locally specific are based on the national <b>planning</b> policy framework.
SNPA003	005	Ben	Lewis	Barton Willmore LLP	3	3.16	Propose to include the following within para 3.16:  “Local Development Plans are required to be in accordance with 'Future Wales: the national plan to 2040' which is the highest tier of the development plan hierarchy”.	This is not considered to be a necessary change as Future Wales is part of the suite of National Policies and any specific reference to Future Wales would	No changes proposed.



Resp ID	Rep ID	First Name	Surname	Organisation	Chapter	Paragraph number	Officer Summary	Officer Response	Changes Proposed
								omit and exclude any other future policies.	
SNPA003	006	Ben	Lewis	Barton Willmore LLP	4	4.9 (now para 4.12)	<p>Propose to include the following to reflect the revised PPW Edition 11:</p> <p>"Design is not just about the architecture of a building but the relationship between all elements of the natural and built environment and between people and places. To achieve sustainable development, design must go beyond aesthetics and include the social, economic, environmental, cultural aspects of the development, including how space is used, how buildings and the public realm support this use, as well as its construction, operation, management, and its relationship with the surrounding area."</p>	<p>Agree to reflect updated PPW Edition 11</p>	<p>In PPW design is defined as:-  <del>"the relationship between all elements of the natural and built environment. To create sustainable development, design must go beyond aesthetics and include the social, environmental, and economic aspects of the development, including its construction, operation and management, and its relationship to its surroundings"</del></p> <p>"Design is not just about the architecture of a building but the relationship between all elements of the natural and built environment and between people and places. To achieve sustainable development, design must go beyond aesthetics and include the social, economic, environmental, cultural aspects of the development, including how space is used, how buildings and the public realm support this use, as well as its construction, operation, management, and its relationship with the surrounding area."</p>

Resp ID	Rep ID	First Name	Surname	Organisation	Chapter	Paragraph number	Officer Summary	Officer Response	Changes Proposed
SNPA004	001	Nick	Horsley	Mineral Products Association Wales	Foreword		Propose to include the following within the foreword:  '...slate from the area is still of global importance contributing to the export market.'	No change. The foreword introduces the World Heritage Site and the history of the designated area and recognised the contribution the slate industry continues to make to the economy, local and global. Therefore, this is not considered to be a necessary change.	No changes proposed.
SNPA004	002	Nick	Horsley	Mineral Products Association Wales	1	1.1	Supporting the principle of the SPG	Noted.	No changes proposed.
SNPA004	003	Nick	Horsley	Mineral Products Association Wales	1	1.3	Propose to include reference to PPW, Future Wales: The National Plan 2040 and other developing regional plans in para 1.3	No change. This is covered in Section 3, specifically para 3.4 and 3.5, with para 1.3 referring specifically to the Local Planning Policy context.	No changes proposed.
SNPA004	004	Nick	Horsley	Mineral Products Association Wales	2	2.5	Support	Noted.	No changes proposed.
SNPA004	005	Nick	Horsley	Mineral Products Association Wales	2	2.8	Support	Noted.	No changes proposed.
SNPA004	006	Nick	Horsley	Mineral Products Association Wales	2	2.13	Support	Noted.	No changes proposed.
SNPA004	007	Nick	Horsley	Mineral Products Association Wales	4		Propose to include information on the EIA process, particularly the screening and scoping of projects and how these dovetail with the Pre-application enquiry process.	Agree to include guidance on the EIA process	Include as new paras 4.5 and 4.6 in SPG  <b>4.5 Proposals for development will need to take into account any potential</b>

Resp ID	Rep ID	First Name	Surname	Organisation	Chapter	Paragraph number	Officer Summary	Officer Response	Changes Proposed
									<p>effect on the Slate Landscape of Northwest Wales World Heritage Site Designation. An Environmental Impact Assessment (EIA) may be required for developments that are located in, or partly within a 'sensitive area' or fall within Schedule 2 of the Regulations 3 and exceed the relevant thresholds. The effect on the visual landscape is a consideration in this respect and therefore proposals close to or within the World Heritage Site may be considered to require EIA as a result of the EIA screening process, and the EIA would need to have regard to the designation. Large or significant proposals which have received confirmation that EIA is not required would need consider landscape designations by way of a Landscape and Visual Impact Assessment (LVIA) undertaken by a landscape professional. Smaller proposals may require a Landscape Statement. This would entail a short report with a description of the site, its landscape characteristics, natural and built heritage features, night-time character and the location and nature of public/residential views of the site. Photographs, an annotated site layout plan, and sketch illustrations are helpful to explain the existing site and the development proposal. The report would need to demonstrate how the planning proposal positively addresses the landscape and visual issues.</p>

Resp ID	Rep ID	First Name	Surname	Organisation	Chapter	Paragraph number	Officer Summary	Officer Response	Changes Proposed
									4.6 Developers are encouraged to engage with the Local Planning Authority via the pre-application advice service at the earliest opportunity, in order that the requirements for EIA screening and/or a LVIA or Landscape Statement can be advised accordingly. LVIA should be undertaken in accordance with the Guidelines for Landscape and Visual Impact Assessment, 3rd Edition (Landscape Institute and Institute of Environmental Management and Assessment (2013) or any subsequent updates and be undertaken by a landscape professional.
SNPA005	001	Zoe	Pritchard	Cyngor Tref Ffestiniog	2	2.5	Recommend rewording part of paragraph 2.5 to avoid misunderstanding regarding the capacity of the Ffestiniog slate quarries to continue to excavate in future, as well as not adequately explaining that the existing Bro Ffestiniog quarries were outside the designated boundary, and therefore not affected.	No change. This extract is from the approved Property Management Plan for the Slate Landscape of Northwest Wales World Heritage Site and therefore can not be amended.	No changes proposed.
SNPA005	002	Zoe	Pritchard	Cyngor Tref Ffestiniog	2	2.8	Recommend rewording 'Objective 7' of paragraph 2.8 to avoid misunderstanding regarding the capacity of the Ffestiniog slate quarries to continue to excavate in future, as well as not adequately explaining that the existing Bro Ffestiniog quarries were outside the designated boundary, and therefore not affected.	No change. This extract is from the approved Property Management Plan for the Slate Landscape of Northwest Wales World Heritage Site and therefore can not be amended.	No changes proposed.

Resp ID	Rep ID	First Name	Surname	Organisation	Chapter	Paragraph number	Officer Summary	Officer Response	Changes Proposed
SNPA005	003	Zoe	Pritchard	Cyngor Tref Ffestiniog	2	2.13	Recommend rewording part of paragraph 2.13 to avoid misunderstanding regarding the capacity of the Ffestiniog slate quarries to continue to excavate in future, as well as not adequately explaining that the existing Bro Ffestiniog quarries were outside the designated boundary, and therefore not affected.	It is considered that para 2.13 reflects the existing mineral workings both within and outside the boundary. The World Heritage Site boundary for each component part are included within Appendix 1. However, for clarification purposes, the maps will be replaced with maps which clearly show the areas within and outside the World Heritage Site.	See appendix (i) for the replacement maps.
SNPA005	004	Zoe	Pritchard	Cyngor Tref Ffestiniog	General		The guidance should not hinder the future development of the slate quarrying industry, especially in an area such as Bro Ffestiniog.	No change. As is set out in para 1.1 of the SPG, the purpose of this Guidance is to: <ul style="list-style-type: none"> <li>• assist the public and their agents in preparing planning applications and in guiding them in discussions with officers before submitting planning applications,</li> <li>• assist officers to assess planning applications, and officers and councillors to make decisions about planning applications within the Gwynedd Council Local Planning Authority area and Snowdonia National Park Authority area, and</li> <li>• help Planning Inspectors make decisions on appeals</li> </ul>	No changes proposed.

Resp ID	Rep ID	First Name	Surname	Organisation	Chapter	Paragraph number	Officer Summary	Officer Response	Changes Proposed
								and, <ul style="list-style-type: none"> <li>give specific advice on planning issues relating to the Slate Landscape of Northwest Wales World Heritage Site (WHS).</li> </ul> <p>The general aim is to improve the quality of new developments and facilitate a consistent and transparent way of making decisions. The purpose of the guidance is therefore not to hinder development.</p>	
SNPA005	005	Zoe	Pritchard	Cyngor Tref Ffestiniog	General		Support	Noted.	No changes proposed.
GWY006	001	Michael	Hartill		General		<p>Concern in relation to new build houses or changing/developing existing houses in Abergynolwyn for residents.</p> <ol style="list-style-type: none"> <li>What specifically does this area of the document mean?</li> <li>Are there going to be further restrictions or conditions if people wish to apply for planning to amend or alter their houses?</li> <li>Is Abergynolwyn village now going to have more restrictions than the rest of Gwynedd?</li> </ol> <p>The document needs to provide some detail so as an informed decision can be made</p>	<p>No change. As is set out in para 1.1 of the SPG, the purpose of this Guidance is to:</p> <ul style="list-style-type: none"> <li>assist the public and their agents in preparing planning applications and in guiding them in discussions with officers before submitting planning applications,</li> <li>assist officers to assess planning applications, and officers and councillors to make decisions about planning applications within the Gwynedd Council Local Planning Authority area and Snowdonia National Park Authority area, and</li> </ul>	No changes proposed.

Resp ID	Rep ID	First Name	Surname	Organisation	Chapter	Paragraph number	Officer Summary	Officer Response	Changes Proposed
								<ul style="list-style-type: none"> <li>• help Planning Inspectors make decisions on appeals and,</li> <li>• give specific advice on planning issues relating to the Slate Landscape of Northwest Wales World Heritage Site (WHS).</li> </ul> <p>The general aim is to improve the quality of new developments and facilitate a consistent and transparent way of making decisions. The purpose of the guidance is therefore not to hinder development. Decisions on any developments will be made in accordance with the relevant LDP policies and the SPG. The SPG does not introduce new policy, it only provides further guidance to existing policy.</p>	
GWY007	001	Shaun	Denny	Breedon Group	General		Recognises and welcomes the Guidance's acknowledgment that the slate industry in Gwynedd remains a vibrant and dynamic industry with a strong future as well as an unrivalled history. Indeed, Welsh Slate continue to make a premium roofing product used not only throughout the UK and exported globally, giving Gwynedd a global profile. It is important to the Company's future, however, that the Guidance is unequivocal in seeing the desired	No change. The SPG recognises the importance of tourism, and this is reflected in paras 2.11, 2.12, 2.15 and 2.16. This is in accordance with the Property Management Plan and both Local Development Plans expanding on adopted Policy and Guidance.	No changes proposed.

Resp ID	Rep ID	First Name	Surname	Organisation	Chapter	Paragraph number	Officer Summary	Officer Response	Changes Proposed
							development of tourism as being on a par with the extant slate industry in terms of its economic and cultural contribution. A statement to this effect within the adopted version of the Guidance would be most welcome.		
GWY008	001	Cerian	Davies	Comisiynydd y Gymraeg	4		<p>The Guidance refers to the vision published in the Management Plan, which includes "strengthening the Welsh language". We support this aim and contribute to the consultation with a view to strengthening the Guidance itself in this context.</p> <p>The importance of the Welsh language is mentioned several times throughout the document. However, it is unclear how the Planning Authorities would take action to ensure that the Welsh language is considered in all proposed developments within the World Heritage Site. For example, are applicants for planning permission required to answer the Question for consideration which refers to the Welsh language? Do the Authorities provide advice on how to consider the Welsh language appropriately? Do they have criteria for deciding whether Welsh was considered appropriate? It would be helpful for the Authorities to issue such advice and criteria.</p>	Noted. Both Local Planning Authorities and SPGs specifically relating to development and the Welsh Language. The SPGs provide detailed guidance on how the Welsh Language should be considered when assessing planning applications. It is not appropriate to repeat this guidance in its entirety within this specific SPG, however to ensure that those using this SPG are aware of the guidance and requirements in relation to Welsh Language, reference will be made in the SPG to both LPAs Policies and SPGs.	Include as new para 4.7 in the SPG  <b>4.7 The Welsh Language must be considered when preparing and determining planning applications. Further guidance is available within Maintaining and Creating Distinctive and Sustainable Communities SPG (Gwynedd Council) and Planning and the Welsh Language SPG (SNPA).</b>



The Slate Landscape of Northwest Wales World Heritage Site  
Draft Supplementary Planning Guidance

DRAFT

December 2021

## Foreword

Gwynedd Council is extremely proud to be the lead body for The Slate Landscape of Northwest Wales World Heritage. For over a decade now, we have been working with several partners across the region on this exciting project.

The slate industry of this area was a hugely important part of the global economy in the eighteenth, nineteenth and twentieth centuries, with the hard efforts of local workers being exported globally and whose labour is still visible on palace and terrace roofs across the world.

Today, the industry continues to make an important contribution to Gwynedd's economy, with quarries at work and secondary processing taking place adjacent to the UNESCO World Heritage Site, and continuing to supply the world with the best quality products. They continue an important tradition and positively contribute to our understanding of the past.

Here in Gwynedd, the legacy of the quarries remains extremely evident around us, from the striking landscape, the industrial buildings and steam railways to our villages and towns. This is a living legacy where people can experience and learn about our story through museums, archives, interpretative tours, long-distance paths, volunteering, archaeology and adrenalin-fuelled activities such as zip-wires and down-hill biking. Not only is the influence of the quarrying industry visible, but its heritage is still heard strongly in the language, traditions and rich histories of these areas.

Our aim is to celebrate this heritage and landscape and recognise their historic and industrial importance in the world. By celebrating our history, we want to regenerate our communities and create exciting opportunities for the benefit of our citizens.

This Supplementary Planning Guidance (SPG) outlines how Gwynedd Council and its partners will manage the World Heritage Site in the future, by protecting our heritage and by ensuring high-quality and appropriate development within the compelling landscape that we have inherited.

By implementing projects such as LleCHI we have engaged with communities and supported cultural events, renewing and reviving interest in our children, young people and adults for our outstanding local and international story.

With enthusiastic collaboration between local government, the Welsh Government, partners, stakeholders, quarry-operators, landowners and communities, we will be able to fulfil the ambitious but realistic aims and policies set out in this SPG and the World Heritage Site Management Plan.

As part of fulfilling the objectives of the Management Plan this Supplementary Planning Guidance has been produced in partnership with Gwynedd Council and Snowdonia National Park, which outlines the important features of the WHS which will need to be considered when preparing and determining planning applications. It offers useful guidance for both applicants and officers on the type of information which will need to be submitted alongside applications.

Furthermore it provides the link between the objectives of the management plan and the objectives of both the Anglesey and Gwynedd Joint Local Development Plan and the Eryri Local Development Plan.

DRAFT

## CONTENTS

SECTION 1 – PURPOSE.....	4
SECTION 2 – THE WORLD HERITAGE SITE.....	6
SECTION 3 – NATIONAL AND LOCAL PLANNING POLICIES.....	<a href="#">1413</a>
SECTION 4 – SUBMITTING DEVELOPMENT PROPOSALS.....	<a href="#">1918</a>

## APPENDICES

APPENDIX 1 – EXTRACTS FROM THE WORLD HERITAGE MANAGEMENT PLAN 2020 - 2030 .....	20
APPENDIX 2 – LOCAL PLANNING POLICIES.....	42
APPENDIX 3 – DEVELOPMENT SCENARIOS.....	<a href="#">6048</a>

This Supplementary Planning Guidance is funded by the European Agricultural Fund for Rural Development through the Welsh Government



## SECTION 1 – PURPOSE

1.1 The Purpose of this Guidance is to:

- assist the public and their agents in preparing planning applications and in guiding them in discussions with officers before submitting planning applications,
- assist officers to assess planning applications, and officers and councillors to make decisions about planning applications within the Gwynedd Council Local Planning Authority area and Snowdonia National Park Authority area, and
- help Planning Inspectors make decisions on appeals and,
- give specific advice on planning issues relating to the Slate Landscape of Northwest Wales World Heritage Site (WHS).

1.2 The general aim is to improve the quality of new developments and facilitate a consistent and transparent way of making decisions.

### The Policy Context

1.3 Under planning legislation, the planning policies for every area are contained within the 'development plan'. The Anglesey and Gwynedd Joint Local Development Plan was adopted on 31 July 2017. It relates to the Gwynedd and Anglesey Planning Authority area. The Eryri Local Development Plan 2016 – 2031 was adopted on the 6th February 2019 and applies to the Snowdonia National Park Authority area.

1.4 Both plans provide wide-ranging policies along with allocations for the main land uses, such as housing, employment and retail. These will help shape the physical and environmental future of the areas, and will encourage a positive impact on their economy, and on their cultural and social attributes. The Plans, therefore, attempt to:

- guide the Local Planning Authorities (LPA's) to make rational and consistent decisions on planning applications by providing a policy framework that is consistent with national policy; and
- guide developments to suitable areas during the relevant plan period.

### The need for Supplementary Planning Guidance

1.5 Although both Plans contain policies that enable the Local Planning Authorities to make consistent and transparent decisions on development applications, they cannot provide all the detailed advice required by officers and prospective applicants to steer proposals locally. In order to provide this detailed advice, the Planning Authorities are preparing a range of Supplementary Planning Guidance to support the Plans that will provide more detailed guidance on a variety of topics and matters to help interpret and implement the Plan policies and proposals.

## The Status of Supplementary Planning Guidance

- 1.6 Supplementary Planning Guidance (SPG) is a material planning consideration during the process of assessing and determining planning applications. Welsh Government and the Planning Inspectorate will place considerable weight on supplementary planning guidance that stem from, and are consistent with, a development plan. The SPGs do not introduce any new planning policies. It has been jointly prepared by Gwynedd Council and the Snowdonia National Park Authority.
- 1.7 In accordance with Welsh Government advice, the SPG has been the subject of a public consultation and a resolution to adopt by the relevant authorities. A draft version of this SPG was approved for public consultation on [date by Committee name]. The Supplementary Planning Guidance was the subject of a public consultation exercise between [date]. The [x] observations presented to the Authorities were considered and, where appropriate, appropriate changes have been included in the final draft approved by the [relevant committee on date] to be used as a material consideration when assessing and determining planning applications and appeals. A summary of the observations and the Councils' response are given in [include within appendix or reference to the relevant Committee report].

## Using this Guidance

- 1.8 This guidance is split into four main sections. They are:-

**SECTION 1 - Purpose** - explains why the SPG has been produced and how it supports the Local Development Plans.

**SECTION 2 - The World Heritage Site** - defines WHS in Northwest Wales. It states that the area comprises six separate Component Parts or areas and these are shown on maps in Appendix 1 together with further information on the history, Outstanding Universal Value and physical and social attributes of the WHS.

**SECTION 3 - National and Local Planning Policies** – introduces the planning policy background which is relevant to guiding new development within the WHS or its essential setting. The relevant local planning policies are shown in Appendix 2.

**SECTION 4 – Submitting Development Proposals** – gives guidance on which issues are important when developing new proposals and how the information should be submitted to the Local Planning Authority. Appendix 3 refers to specific types of development proposals that may come forward.

## SECTION 2 – THE WORLD HERITAGE SITE

- 2.1 The United Nations Educational, Scientific and Cultural Organization (UNESCO) is responsible for designating World Heritage Sites. UNESCO’s mission is to build peace through international cooperation in Education, the Sciences and Culture. It defines World Heritage Sites as “**places of Outstanding Universal Value to the whole of humanity. This means that their cultural and/or natural significance is so exceptional as to transcend national boundaries and to be of common importance for present and future generations of all humanity**”.
- 2.2 The Slate Landscape of Northwest Wales WHS, comprises of six Component Parts, located in Gwynedd. It represents an exceptional example of an industrial cultural landscape that was profoundly shaped by large-scale slate quarrying and underground mining, and by the working and transport of slate for national and international markets. This industry, particularly in the period from 1780 to 1940, dominated the world production of roofing slates, opened up new slate quarries and mines across the world through the cultural transfer of technology and skills, and transformed both the environment and the way of life of those who lived and worked in the mountains of Snowdonia.



*'Australia' Gallery Mill Saw Tables, Dinorwig Slate Quarry (Component Part 2)*  
© Gwynedd Archaeological Trust



*Ynyspandy Slate Slab Mill (Component Part 4)*  
© Crown Copyright

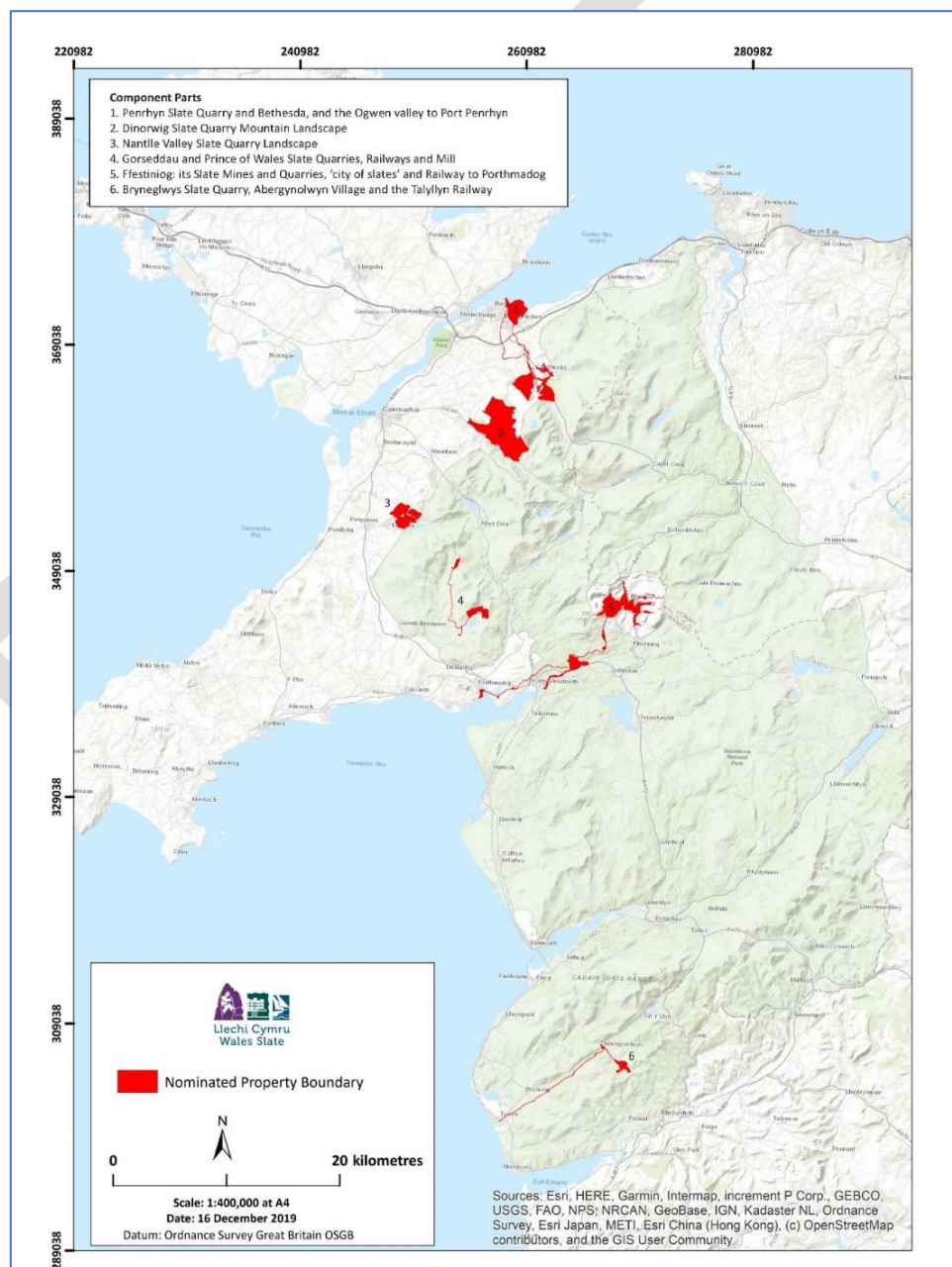
### Location

- 2.3 The World Heritage Site is located within the county of Gwynedd and the Snowdonia National Park, historically the heartland of the Welsh slate industry, and comprises six separate Component Parts, chosen to reflect the full nature of this cultural landscape, in which quarrying once flourished in valley communities. The six Component Parts are as follows:-

- Component Part 1: Penrhyn Slate Quarry and Bethesda, and the Ogwen Valley to Port Penrhyn
- Component Part 2: Dinorwig Slate Quarry Mountain Landscape
- Component Part 3: Nantlle Valley Slate Quarry Landscape

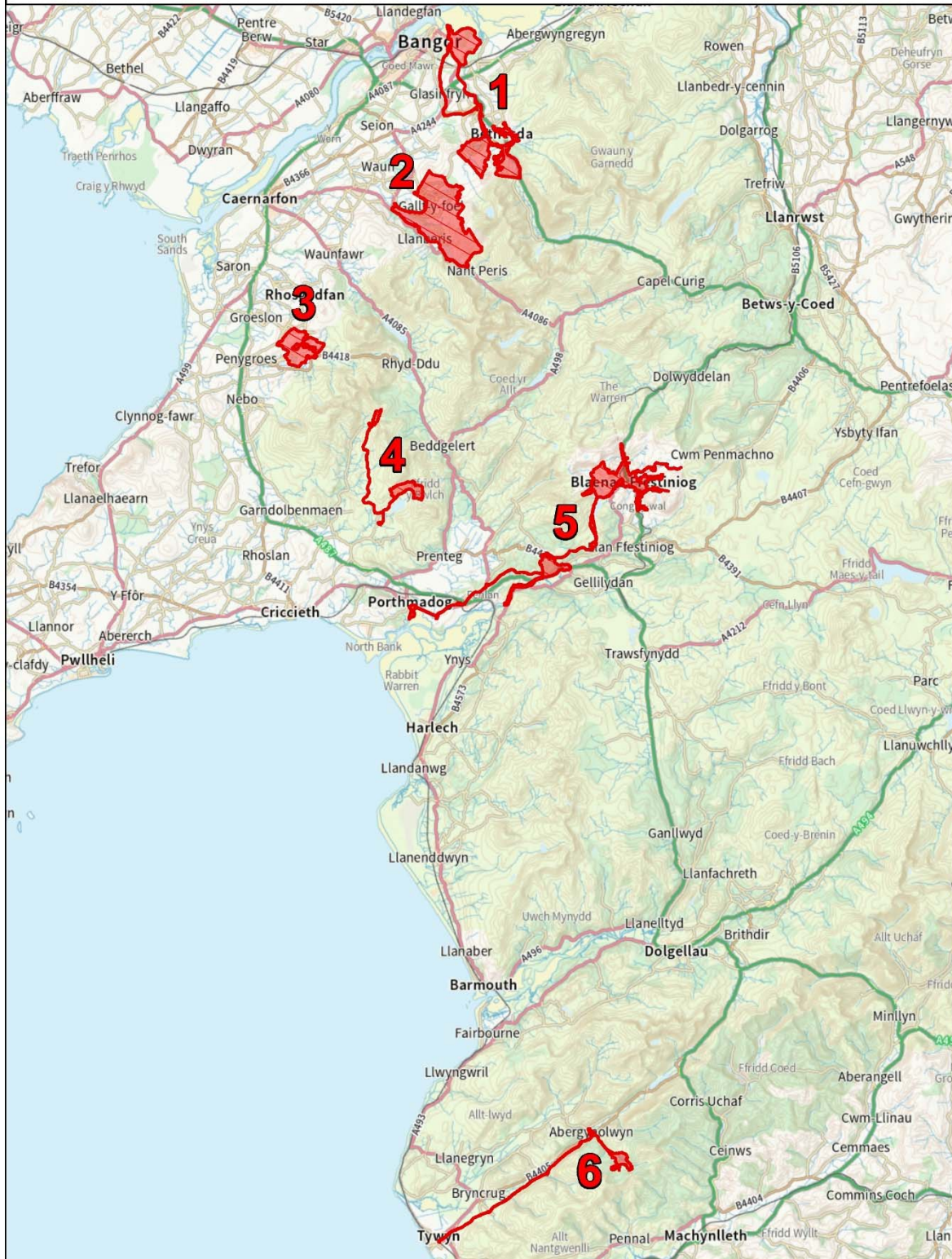
- Component Part 4: Gorseddau and Prince of Wales Slate Quarries, Railway and Mill
- Component Part 5: Ffestiniog: its Slate Mines and Quarries, ‘city of slates’ and railway to Porthmadog
- Component Part 6: Bryneglwys Slate Quarry, Abergynolwyn Village and the Talyllyn Railway

2.4 Within each Component Part, physical features which embody the attributes of Outstanding Universal Value have been identified. Each Component Part has its own unique character. They have been chosen for their scale (all of the largest relic quarries and quarrying areas are represented), for their significant landscape impact, for their integrity, and for the way in which they exemplify technology transfer and the transformation of a minority rural culture into a modern industrial society.





## Safle Treftadaeth y Byd Tirwedd Llechi Gogledd-orllewin Cymru The Slate Landscape Of Northwest Wales World Heritage Site



Map: World Heritage Site and Component Parts

## Property Management Plan

2.5 There is a Property Management Plan for the Slate Landscape of Northwest Wales World Heritage Site, the management plan sets out the Partnership's vision:

To protect, conserve, enhance and transmit the Outstanding Universal Value of The Slate Landscape of Northwest Wales to reinforce cultural distinctiveness and strengthen the Welsh language, and become a significant driver for economic regeneration and social inclusion.

- A thriving regional economy with high quality skilled all-year employment opportunities across all sectors, including the tourism sector, and within that acknowledging the critical importance of heritage and adventure tourism.
- Harnessing the heritage of slate to create skilled jobs.
- The continuation of the slate extraction industry and associated activities as a significant contributor to the economy of Northwest Wales, and ensuring the continued supply of slate materials for the future.
- Ensuring a sustainable, evolving landscape which will support the economic development of the area.
- Ensuring that the communities within and around The Slate Landscape of Northwest Wales remain viable and vibrant places to live, both now and in the future.
- Celebrating the heritage of slate and its role in the development of the landscapes, towns and communities of today.
- Utilising existing legislation and planning policy to form the foundations of the Designation.
- Promoting the cultural heritage of The Slate Landscape of Northwest Wales to the world.
- Linking individuals and communities to their past.
- Conserving and enhancing the physical heritage of the landscape by adhering to the vision and objectives of the Management Plan and any thematic or Local Management Plans.

2.6 The Management Plan outlines that, the Slate landscapes of Northwest Wales are cultural landscapes subject to the processes of evolution, growth, decline and regeneration which are common to all living places. It is an evolving landscape. In moving forward the principles of sustainable development will be applied to meet the needs of the slate communities today and in the future.

2.7 The Management Plan sets out 5 themes for the management of the World Heritage Site. Theme 2 and 3 are most relevant to this document.

*Theme 2. Caring for The Slate Landscape of Northwest Wales to ensure that the Outstanding Universal Value of the World Heritage Site is effectively protected, conserved and managed.*

*Theme 3. Supporting the Sustainable Development of The Slate Landscape of Northwest Wales to ensure that the designation helps to sustain a living, thriving landscape.*

These themes consider the needs of residents and businesses in the region and identify opportunities to support the goals of the *Well-being of future generations (Wales) Act 2015*. The Themes set out in the management plan contribute to the seven well-being goals.

2.8 In addition to the vision, the management plan outlines a number of objectives for the World Heritage site in the future. The most relevant Objectives to the SPG are as follows:

*Objective 6: Protect and enhance the Outstanding Universal Value of the World Heritage Site by sustaining a living landscape and thriving communities.*

A principle outlined to support this objective is that slate heritage will be a priority within the Gwynedd Council strategic plan for economic regeneration. An action outlines that, the slate landscape of North West Wales will continue to be identified as a priority within the economic regeneration priorities of the Gwynedd Council Strategic Plan.

*Objective 7: Maintaining a sustainable mineral industry.*

While primary mineral extraction does not take place within the boundary of the World Heritage Site or within the Boundary of the Snowdonia National Park Authority, primary mineral extraction and secondary working outside the World Heritage Site will be managed through the existing mineral planning process.

*Objective 8 - Ensure renewable energy ambitions are developed in harmony with the Outstanding Universal Value of the World Heritage Site.*

The principles outlined under this objective state that proposals that make use of natural resources without impacting on Outstanding Universal Value will be supported subject to the requirements of the Eryri Local Development Plan 2016-2031: Development Policy 3 and where relevant, Strategic Policy B (February 2019), and the Anglesey and Gwynedd Joint Local Development Plan.

*Objective 9: The Partnership Steering Group will promote The Slate Landscapes of Northwest Wales to support economic diversity and heritage-led regeneration.*

The principles which support this objective outline that regeneration opportunities that complement or enhance the world heritage site and comply with the policies of the Local Development Plans will be encouraged.

*Objective 10 - Sustainable communities.*

The principles outlined under this objective are to ensure that all new housing within of adjacent to the World heritage site will need to take account of the need to protect and enhance the outstanding universal value.

Both the Anglesey and Gwynedd Joint Local Development Plan and the Eryri Local Development Plan aim to create sustainable mixed communities. Both contain policies which encourage the appropriate types of housing and also support the appropriate re-use of redundant historic buildings, including places of worship.

*Objective 11: Sustainable agriculture and forestry.*

The principles outlined under this objective state that agricultural diversification will be welcomed.



*Ffestiniog Railway 9 (Component Part 5)  
© Ffestiniog & Welsh Highland Railway*



*Talyllyn Railway crossing Dolgoch viaduct  
(Component Part 6)  
© Rheilffordd Talyllyn Railway*

2.9 In order to provide further information for applicants and decision makers extracts from the Property Management Plan for the WHS<sup>1</sup> are included in Appendix 1 and include

- A description of the six component parts with location maps
- The statement of Outstanding Universal Value
- Individual attributes
- Information on the setting

2.10 Before submitting any development proposals, it is important to read Appendix 1 in order to gain an understanding and empathy with the “universal value” of the WHS and its individual attributes.

### **Sustainable Economic Development**

2.11 Sustainable development meets the needs of the present without compromising the aspirations of future generations. It is at the core of the planning system in Wales and is implemented by both Gwynedd Council and Snowdonia National Park Authority. Policies contained within the LDPs enable the Outstanding Universal Value to be balanced with the

<sup>1</sup> [The Slate Landscape of Northwest Wales Property Management Plan 2020-2030](#)

need to sustain communities, now and in the future. As outlined within the Property Management Plan for the World Heritage Site *‘Development that is sensitive to the slate landscape and to the local character of our settlements will be encouraged, as will proposals that respect and enhance the values of the World Heritage Site.*

*The fundamental ambition of Gwynedd Council and its partners is the development of sustainable and viable communities that provide housing and employment as foundations to safeguard a thriving and living Welsh language and culture’*

- 2.12 As has been outlined previously the WHS and the surrounding areas are an evolving, living landscape. Outlined below are the current activities that are taking place within the WHS today.

#### *Mineral Workings*

- 2.13 While no mineral working takes place within the boundary of the World Heritage Site, the active mineral extraction, tipping processing and secondary re working that takes place outside the boundary and are managed under existing mineral planning legislation and do not impact on the attributes of Outstanding Universal Value. They contribute positively to the local economy by providing continued employment to local people and sustain an existing mineral industry that meets the priority of Planning Policy Wales Edition 11 and Mineral Technical Advice Note 1 (MTAN 1) which note the importance of the secondary aggregates sector as a source of materials for the construction industry. The Mineral Industry will continue to be supported and managed through application of the policies of the Local Development Plans (relevant policies are contained within appendix 2)

#### *Renewable Energy*

- 2.14 UNESCO’s Sustainable Development Goals, specifically Goal 7, Affordable Clean Energy, highlight the importance of renewables in achieving a sustainable future. Large scale renewable energy schemes provide economic benefit through direct employment and tourism as in the case at Dinorwig Power Station. Both Local Development Plans contain policies to support the development of appropriate renewable energy developments.

#### *Sustainable Tourism*

- 2.15 Gwynedd Council will be producing a Destination Management Plan and this plan will take account of the United Nations World Tourism Organisations aim of seeing tourism as a driver for economic growth, inclusive development and environmental sustainability. The redevelopment or construction of new buildings for commercial uses to support these economic activities will be supported where they conform to the relevant planning policies set out in the Local Development Plans.

#### *Adventure Tourism*

- 2.16 Adventure tourism is a growing market which is leading to an increased number of visitors to the area. Parts of the World Heritage site have benefitted from the introduction of adventure tourism facilities including mountain biking, underground exploration and zip wires. Such activities have had minimal impact on the Outstanding Universal Value of the

World Heritage Site. The redevelopment and construction of new buildings to support these tourism facilities have been supported by policies in the local development plans.

Further development to support new and existing tourism facilities will be supported where they conform to relevant policies within the Local Development Plans.

### *Agricultural Diversification*

2.17 Diversification has already led to farmhouses and outbuildings being used for bed- and-breakfast or converted into self-catering accommodation, and farmers increasingly embrace tourism-related and other commercial activities. Both the Anglesey and Gwynedd Joint Local Development Plan and the Eryri Local Development Plan contain policies which support agricultural diversification to benefit the rural economy.

DRAFT

## SECTION 3 – NATIONAL AND LOCAL PLANNING POLICIES

### The role of the Planning System

- 3.1 The planning system seeks to manage change in the environment in a sustainable, consistent, and fair manner. Today’s environment is the result of the interaction between people and places through time, including all surviving physical remains of past human activity, whether visible, buried or submerged, and deliberately planted or managed. Managing change must respect the past but also look at the social and economic well-being of future generations. Conservation is the careful management of change. This is encompassed in the overall vision of the WHS contained in its Management Plan which is **“To protect, conserve, enhance and transmit the Outstanding Universal Value of the Slate landscape of Northwest Wales to reinforce cultural distinctiveness and strengthen the Welsh language, and become a significant driver for economic regeneration and social inclusion”**
- 3.2 The role of the planning system, in this context, is to balance protection and conservation against allowing development without adversely impacting the overall inherent values and attributes of the WHS which have been identified in Appendix 1. The two need not be incompatible. It is succinctly put in Planning Policy Wales (PPW)<sup>2</sup> regarding the historic environment - **“It is central to Wales’s culture and its character, whilst contributing to our sense of place and identity. It enhances our quality of life, adds to regional and local distinctiveness and is an important economic and social asset”**
- 3.3 There is a recognition within national planning policy that historic assets do contribute to economic and social life and that the overall vision for the WHS is fundamentally sound and compatible with planning policy. Furthermore, detailed information on how national and local policies should be applied in the WHS is expanded in the following paragraphs.

### National Planning Policy

- 3.4 In this section the most relevant and useful national policies in relation to WHS are discussed, [which are material planning consideration when determining planning application](#). [Future Wales \(p.121\) states that “managing the North's outstanding historic and natural resources is a priority for the region”, and “the region's distinctive heritage should be preserved and enhanced by high quality development”](#). ~~They are contained in Planning Policy Wales (PPW) and are a material planning consideration when determining planning applications.~~ Local planning policies, although more locally specific are based on the national [planning](#) policy framework. In paragraph 6.0.2 of PPW it states that **“special and unique characteristics and intrinsic qualities of the natural and built environment must be protected in their own right, for historic, scenic, aesthetic and nature conservation reasons”**. Examples of historic assets include World Heritage Sites, listed

---

<sup>2</sup> [Planning Policy Wales \(Edition 11\)](#)

buildings, conservation areas, historic parks and gardens, townscapes, historic landscapes and archaeological remains. These are physical tangible attributes, and many have been identified as specific elements within the Component Areas in Appendix 1.

Intangible attributes such as the Welsh language or social values and emotional attachments also contribute to the sense of place and character and are strongly identified with the WHS.

3.5 The overall objectives of the Welsh Government for the historic environment are to:-

- Protect the Outstanding Universal Value of World Heritage Sites.
- Conserve archaeological remains, both for their own sake and for their role in education, leisure, and the economy.
- Safeguard the character of historic buildings and manage change so that their special architectural and historic interest is preserved.
- Preserve or enhance the character or appearance of conservation areas, whilst the same time helping them remain vibrant and prosperous.
- Preserve the special interest of sites on the register of historic parks and gardens
- Protect areas on the register of historic landscapes in Wales.

### **Technical Advice Note (TAN 24)<sup>3</sup> Historic Environment**

3.6 TAN 24 explains and interprets national policies in more practical detail. It states that significant weight should be given to protect WHSs for the benefit of future generations and this should be reflected in local planning policies. Local Planning Authorities should also adhere to specific Management Plans for a WHS. It refers to a WHS as a “sensitive area” for the purposes of the Environmental Impact Assessment Regulations<sup>4</sup> Schedule 3(2) (viii). This means that certain developments within the WHS may require an Environmental Impact Assessment to accompany a planning application. It mentions the importance of assessing the impact of development within the immediate setting of the WHS and on important views.

### **Managing Change in World Heritage Sites in Wales<sup>5</sup>**

3.7 *Managing Change in World Heritage Sites* is a best practice guide, produced by Cadw on behalf of the Welsh Government. It states that the government’s approach to the sustainable management of WHSs are based on three principles which are:

- The statutory designation of specific historic assets
- The implementation of Management Plans
- The use of the spatial planning system to guide appropriate development.

---

<sup>3</sup> [Technical Advice Note 24 Historic Environment](#)

<sup>4</sup> [The Town and Country Planning \( Environmental Impact Assessment\) \(Wales\) Regulations 2017](#)

<sup>5</sup> [Managing Change in World Heritage Sites, Cadw 2017](#)



- 3.8 It states that change is inevitable and should not be prevented but be managed to allow the sustainable use of the landscape, while retaining what is important from the past. The WHS has preserved many of its key physical elements due to the slowdown of the economic activity in the twentieth century. The cultural landscape has also remained relatively intact which adds to the integrity and authenticity of the designation (see pages \*, \* of Appendix 1)
- 3.9 The Cadw guidance further expands on some of the procedures required for applications for scheduled monument, listed building, conservation area consent and planning applications. The impact of development on a WHS is a material planning consideration including its setting and buffer zones. In the case of this WHS there are no defined buffer zones. The setting of the World Heritage Site within the wider cultural landscape of Gwynedd and the wider protected area provides the context to its Outstanding Universal Value. Appropriate modern design that respects its location and contributes positively should be allowed. Planning Authorities will need to consult Cadw (acting on behalf of the Welsh Ministers) on planning applications which are likely to have an impact on the WHS.

### **Heritage Impact Assessments**

- 3.10 Heritage Impact Assessments set out the general principles to consider when planning changes to historic assets and applying for listed building, conservation area consent and scheduled monument consent. Heritage Impact Assessments (HIA's) are not required when applying for planning permission in a WHS. However, it is good practice to adopt the principles of the HIA process to help identify the most appropriate way to accommodate change in any new development proposal within the WHS. Cadw has produced a best practice guidance<sup>6</sup> on how to prepare HIA and for which types of development.
- 3.11 Although a HIA may not be required for a specific planning application within the WHS they can be incorporated within a Design and Access Statement<sup>7</sup> which may be a requirement.
- 3.12 The process of preparing an assessment should follow five stages and is explained in more detail in the Cadw guidance. The five basic stages which should be followed are:-
- Explanation of the objective and why changes are desirable or necessary
  - Understanding the significance of the historic asset
  - Identifying the proposed changes
  - Assessing the impact of the proposals
  - Setting out reasoning behind the preferred design
- 3.13 The overall impact on an individual historic asset or, the WHS, may have the following consequences.

---

<sup>6</sup> [Heritage Impact Assessments in Wales, Cadw 2017](#)

<sup>7</sup> [Design and Access Statements in Wales 2017 Welsh Government](#)

**Positive** – repair of damage to a building or bringing a building back to beneficial use. Possible erection of a new building sympathetically designed and located.

**Neutral** – small changes to a building which are less sensitive or possibly new build in a less sensitive part of the WHS.

**Negative** – an important physical fabric is removed, or design altered of a historic building or structure which impacts on the building and possibly on the integrity of the WHS.

- 3.14 A minor proposal is likely to have a minimal impact and therefore an assessment will be relatively short and focus on part of the historic asset which is changing. On larger proposals a more detailed analysis will be required on how the integrity and attributes of individual historic assets or the WHS may be compromised and how they can be overcome.
- 3.15 A formal Heritage Impact Assessment (HIA), following the ICOMOS guidance<sup>8</sup>, will be required for larger-scale development within the World Heritage Site and its setting, and/or where there is the potential for significant impacts on the Site's Outstanding Universal Value (OUV).

### Local Planning Policies

- 3.16 Local planning policies reflect national policies at a local level in adopted local development plans and supplementary planning guidance. The WHS straddles the local planning areas of Gwynedd Council and the Snowdonia National Park Authority – both have adopted development plans<sup>9</sup> with specific policies relating to the WHS. For the purposes of this document the most relevant policies discussed are included in Appendix 2. However, in determining planning applications the Local Planning Authorities will read their plans as a whole and apply other policies to specific forms of development such as industrial or mining proposals.
- 3.17 Both Local Development Plans contain strategic objectives which support economic development within the Local Planning Authority areas. The Strategic objectives which are most relevant to economic development are set out below.

Anglesey and Gwynedd Joint Local Development Plan 2011-2026

*SO12 – Diversify the Plans area's rural economy, building on opportunities, offering local employment opportunities with good quality jobs that are suitable for the local community and respects environmental interests*

*SO14 – Manage the area and an alternative and sustainable destination for tourists by providing facilities of a high standard that meet modern day needs and offer benefits throughout the year.*

---

<sup>8</sup> [Guidance on Heritage Impact Assessments for Cultural World Heritage Properties](#)

<sup>9</sup> [Anglesey and Gwynedd Joint Local Development Plan 2011-2026](#)  
[Eryri Local Development Plan 2016-2031](#)

Eryri Local Development Plan 2017-2031

*Encourage sustainable economic growth by supporting a rural economy that provides employment opportunities and maintains thriving communities.*

*Support tourism and outdoor recreation which maximise local economic benefits, minimise environmental impact and are in sympathy with the 'Special Qualities' of the National Park.*

- 3.18 In the Anglesey and Gwynedd Joint Local Development Plan **Policy PS 20: Preserving and Where Appropriate Enhancing Heritage Assets**, the emphasis is on enhancing and preserving historic assets, including candidate world heritage sites, their setting and significant views. It is also implied in the policy that managing change in these areas is part of a wider economic and social initiative. More detail is provided in **Policy AT 1: Conservation Areas, World Heritage Sites and Registered Historic Landscapes, Parks and Gardens** where regard must be given to World Heritage Site Management Plans. Reference is also made to Parks and Gardens of Special Historic Interest in Wales<sup>10</sup> which are designated in areas immediately outside the WHS. There is reference to the need for Heritage Impact Assessments in paragraph 6.5.38 and to provide sufficient information proportionate to the significance of the heritage asset.
- 3.19 Three of the more remote component areas 4, 5 (part) and 6 are located within the Snowdonia National Park. Similar planning policies to those in Gwynedd apply in the National Park although with an overall emphasis on national park purposes and sustainable development. These principles are included in **Strategic Policy A : National Park Purposes and Sustainable Development** The emphasis is on giving the highest priority to the protection and enhancement of the natural beauty, wildlife and cultural heritage whilst affording the opportunities for the understanding and enjoyment of the “special qualities” of the area. Furthermore there is a duty to foster the economic and social well-being of local communities which is reflected in criterion (iii) to the policy **Strategic Policy Ff: Historic Environment** refers to candidate and designated WHSs and the need to avoid the impact of adverse development affecting the designation, their setting or significant views. The emphasis is on conservation and enhancement as heritage and cultural aspects are part of the Park’s “special qualities”.

---

<sup>10</sup> [Registered Historic Parks and Gardens, Cadw](#)

## SECTION 4 – SUBMITTING DEVELOPMENT PROPOSALS

### Introduction

- 4.1 As well as applying the relevant national and local planning policies, the local planning authorities (LPA's) will look at the overall impact of the proposal and require sufficient information to reach an informed decision. The amount of information required, either for a pre-application enquiry or planning application, will depend on the scale and location of the proposal. LPA's can assist applicants in progressing their proposals by providing advice through the statutory pre-application process and developers are encouraged to make use of this system prior to submitting a planning application .
- 4.2 This guidance is primarily aimed at new proposals which require planning permission. In some cases, scheduled ancient monument consent (a list of designated historic assets can be found on the [Cadw](#) website) listed building consent or conservation area consent may be required. The pre-application process will assist in determining what consents are necessary.
- 4.3 Certain types of work can be undertaken without the requirement to apply for planning permission. These are called "permitted development rights". Work classified as permitted development undertaken within the World Heritage Site and its setting should be mindful of preserving and enhancing the local historic character. Further guidance on design principles can be found in The Slate Landscape of Northwest Wales Community Design Guide<sup>11</sup>.
- 4.4 Small scale proposals are more likely to have a minimal impact on the WHS or individual historic assets therefore less information is likely to be required by the LPA's. Some component areas such as **Component Part 4 Gorseddau and Prince of Wales Slate Quarries, Railways and Mill** are in more remote rural areas where new development proposals are less likely, but their impact could be significant within the wider landscape. Proposals may also have a limiting impact depending on their location – they could be within the WHS, the essential setting or affect significant views. If a proposal is more extensive and in a sensitive location the impact will be more significant, and a more detailed assessment will need to be carried out in any pre-application enquiry or in the submission of a planning application.
- [4.5 Proposals for development will need to take into account any potential effect on the Slate Landscape of Northwest Wales World Heritage Site Designation. An Environmental Impact Assessment \(EIA\) may be required for developments that are located in, or partly within a 'sensitive area' or fall within Schedule 2 of the Regulations 3 and exceed the relevant thresholds. The effect on the visual landscape is a consideration in this respect and therefore proposals close to or within the World Heritage Site may be considered to require EIA as a result of the EIA screening process, and the EIA would need to have regard to the designation. Large or significant proposals which have received confirmation that](#)

---

<sup>11</sup> [Insert link to the document after it's been prepared]

EIA is not required would need consider landscape designations by way of a Landscape and Visual Impact Assessment (LVIA) undertaken by a landscape professional. Smaller proposals may require a Landscape Statement. This would entail a short report with a description of the site, its landscape characteristics, natural and built heritage features, night-time character and the location and nature of public/residential views of the site. Photographs, an annotated site layout plan, and sketch illustrations are helpful to explain the existing site and the development proposal. The report would need to demonstrate how the planning proposal positively addresses the landscape and visual issues.

4.6 Developers are encouraged to engage with the Local Planning Authority via the pre-application advice service at the earliest opportunity, in order that the requirements for EIA screening and/or a LVIA or Landscape Statement can be advised accordingly. LVIA should be undertaken in accordance with the Guidelines for Landscape and Visual Impact Assessment, 3rd Edition (Landscape Institute and Institute of Environmental Management and Assessment (2013) or any subsequent updates and be undertaken by a landscape professional.

4.7 The Welsh Language must be considered when preparing and determining planning applications. Further guidance is available within Maintaining and Creating Distinctive and Sustainable Communities SPG (Gwynedd Council) and Planning and the Welsh Language SPG (SNPA).

~~4.8~~ 5 For development within conservation areas and the WHS a Design and Access Statement<sup>12</sup> (DAS) will be required with a planning application for one or more dwellings or the creation of 100m<sup>2</sup> (gross) or more of floorspace. The guidance provided on the preparation of a DAS should be followed to ensure adequate information is provided within a formal structure. For smaller proposals within the WHS and within its essential setting there will be no need for a DAS (see Appendix 3 table 1). The LPA's will however require sufficient information to process either a pre-application enquiry or a planning application and there is guidance on this on their respective websites.

~~4.9~~ 6 In planning and developing a new proposal an applicant should consider the following factors which will assist in identifying key issues and impacts. This may lead to possible alternative options and designs to overcome or mitigate and harmful impacts and give a better chance for obtaining the necessary consents. The information and plans developed during this process can eventually form part of a pre-application enquiry for discussion with the LPA or a formal planning application.

## **Factors to Consider in developing New Proposals**

### **Site Context and Analysis**

~~4.10~~ 7 This element should look at what currently exists on the site rather than what is proposed. This will be particularly important if the site includes an ancient monument or listed building. It may also identify ecological or landscape constraints or possible impacts on the

---

<sup>12</sup> [Design and Access Statements in Wales – Welsh Government 2017](#)

community and culture of the area. It should identify if there is a need for further information on for example ecological or historical issues and whether consultation with neighbours or the wider community would be desirable or in some cases statutory<sup>13</sup>.

4.118 Clearly identifying the proposal and its location is a fundamental requirement. For smaller projects such as house extensions this will be relatively straightforward. For more complex projects a brief may be developed with an overall vision for the proposal. Whatever the project it should be clearly defined and explained with sketch plans and drawings and more detailed plans when submitting a planning application. There should be an understanding of the WHSs key attributes and universal value and how this has shaped and influenced the project. This may conclude at the outset that the proposal should be moved to a less sensitive area. Some types of development i.e. mineral working are restricted to a specific location and therefore are not able to move to a less sensitive area. Development proposals relating to mineral workings (for example) will need to give due consideration to any potential impact on the WHS.

#### Questions to Consider

1. Has the proposal been properly defined and explained?
2. Is the site suitable or is there a better alternative site available?
3. Has the potential impact on the WHS been assessed?
4. Is the scale of the proposal proportionate to the site and its surroundings?
5. Is there a need for further studies on specific issues?
6. Is statutory public consultation required?

#### Design and Character

4.129 Attention to design details will assist in enhancing the value of the WHS. On the other hand, the cumulative impact of poor design or the lack of attention to detail can erode distinctiveness and quickly cause harm to individual attributes and ultimately the overall universal value of the WHS. Good quality design does not need to be elaborate or expensive, - usually the best design solutions are those simply conceived and executed. They are respectful of their immediate surroundings and the setting in which they are placed be that in the open countryside or amongst other buildings. The guidance on Managing Change in World Heritage Sites states that modern good design can be appropriate and the juxtaposition of old and new can work in the most sensitive sites if undertaken sympathetically. For example, many castle sites in Wales have new modern interpretation centres or cafés. Indeed, such examples are found in the National Slate Museum in Component Area 2. In PPW design is defined as:-

~~“the relationship between all elements of the natural and built environment. To create sustainable development, design must go beyond aesthetics and include the social, environmental, and economic aspects of the development, including its construction, operation and management, and its relationship to its surroundings”~~

<sup>13</sup> [Pre-application Community Consultation :Best Practice Guidance for Developers – Welsh Government](#)

[“Design is not just about the architecture of a building but the relationship between all elements of the natural and built environment and between people and places. To achieve sustainable development, design must go beyond aesthetics and include the social, economic, environmental, cultural aspects of the development, including how space is used, how buildings and the public realm support this use, as well as its construction, operation, management, and its relationship with the surrounding area.”](#)

4.103 To sustain or enhance local character a proposal would need to take into account historic street patterns, listed building features, archaeological features and historic monuments, prevalent materials, architectural quality and features, distinctive views (in and out of the site), skylines and vistas, prevailing land uses and locally distinctive features and traditions. Appendix 1 lists the attributes of the WHS and individual physical features. These are an obvious starting point to see how these features create a sense of place and how the proposal might add to this and the quality of life of those interacting with the development. Equally important are the intangible attributes including the Welsh language, traditions, spirit, social values and feeling, all of which contribute to the character of a place.

4.141 With even smaller proposals the LPA’s will want to ensure that small extensions to traditional cottages are in scale and in keeping with the existing architectural design and materials and do not adversely impact on the amenity of neighbouring properties.

4.152 Further information on design issues is included in Technical Advice Note 12 Design<sup>14</sup> produced by the Welsh Government along with *The Slate Landscapes of North West Wales – Community Design Guide*<sup>15</sup> along with the *Caring for Slate Landscapes*<sup>16</sup> document.

#### Questions to consider

7. Is the design enhancing the value of the WHS and has due consideration been given to the Outstanding Universal Value (OUV)?
8. Does the design consider existing architectural features and materials?
9. Can a more modern design approach be sympathetically achieved and justified?
10. Does the proposal impact on surrounding land or neighbours?
11. Does the proposal include suitable material – type and colour?
12. Has due consideration been given to intangible factor such as the Welsh language and cultural activities?

#### Environmental Sustainability

4.136 This element should consider site assets and resources such as development form, soils slope drainage, landscape context biodiversity and natural habitats. This would possibly

<sup>14</sup> [Technical Advice Note 12 – Design \(Welsh Government\)](#)

<sup>15</sup> [Insert link to the document after it’s been prepared]

<sup>16</sup> [Insert link to the document after it’s been prepared]

include opportunities for renewable energy to lessen effects relating to climate change and to find environmentally resilient sustainable solutions. Opportunities to achieve for the efficient use of natural resources and enhancing biodiversity will have to demonstrate compatibility with sustaining and enhancing the special qualities of the area. This could include sustainable forms of drainage and the re-use of materials and resources on the site.

4.147 There may be opportunities to improve existing landscape and biodiversity quality and how these will be managed. The initial assessment of the site will have indicated whether ecological surveys are required and as a result how the proposal can accommodate any protected species and other biodiversity interests.

#### Questions to consider

13. Is the site making the best sustainable use of its location?
14. Are natural resources and biodiversity interests enhanced and maintained?
15. Is the proposal resilient to climate change?

#### Landscape and Setting

4.158 All the component parts of the WHS are located within attractive rural settings with surrounding spectacular panoramic views. Larger proposals which have a visual impact will need to be assessed within their overall landscape context and setting (setting is explained in more detail starting on page 14 of Appendix1). As a starting point, is the proposal within the WHS, its essential setting or affecting significant views. It has not been possible to physically define the essential setting areas on a map or those comprising of significant views. In some cases, the LPA's will need to discuss with applicants on whether individual proposals fall into these areas and as a result whether additional landscape appraisals will be required. Appendix 1 also includes the term "sense of arrival" and again these areas are not defined on a map.

They describe the approaches to the component areas on public roads and comprise part of the overall setting, giving an immediate impression of opening vistas upon arrival.

4.169 Both Gwynedd Council and Snowdonia National Park have identified local landscape character areas - these are included in their respective landscape strategies.<sup>17</sup> In these documents, The WHS and surrounding areas have been identified within specific local character areas and what contributes to this character within different landscape types. They describe in some detail the inter-relationship between natural and built landforms and give some information on habitats and historic landscapes. An understanding of individual character areas will assist an applicant in assessing whether there is any impact

<sup>17</sup> [Landscapes and Seascapes of Eryri – SNPA](#)  
[Landscape Sensitivity and Capacity Assessment – SNPA](#)  
[Landscape Sensitivity and Capacity Study, Gwynedd Council](#)  
[Special Landscape Areas Review Anglesey and Gwynedd](#)  
[Gwynedd Landscape Strategy \(Update\) 2012](#)



from a proposal and whether this could be mitigated in some way whilst some proposals will have very limited landscape implications others may have significant impact on views possibly from surrounding higher ground and therefore a more detailed visual assessment will be required.

4.1720 The Historic Landscapes Register provides a national overview of the historic content of the Welsh landscape. On a local level, information provided within the Historic Landscape Character Area<sup>18</sup> provides further guidance and detailed information about the character of the historic landscape along with guidance in relation to conservation and management.

4.2118 Any new development should be assessed against its immediate environment and within its wider landscape setting. This is especially true in a protected landscape<sup>19</sup> where long distance views are important and need to be protected. Higher ground opens wider vistas over the surrounding countryside allowing the eye to scan greater distances. Very often the visibility of development from greater distances is overlooked and although scale is diminished by distance, from certain viewpoints, development can look out of place and prominent. The same can apply when looking up at higher ground which is visible from valley bottoms.

4.1922 Care should therefore be taken to steer development away from the skyline, open elevated ground or sites overlooked from higher ground. The visible impact of new development will be minimised if sited in more enclosed landscapes, hidden by existing landforms and a screen of hedgerows, trees and woodland. Development should work with the contours/flow of the landform and prevailing patterns of landcover to minimise disturbance. Whilst elements of the landscape may be locally changed to accommodate development, the prevailing character of the landscape should remain intact. Visual prominence is when development forms a new focal point in the landscape which detracts from the general scene, visual focus, and sense of place.

#### Questions to consider

**16. Is the proposal within the WHS, its essential setting, affecting significant views or immediately adjacent?**

**17. Is the proposal visually intrusive in the landscape from near and distant views?**

**18. Is the proposal located on the skyline or highly visible from surrounding higher ground?**

**19. Could the proposal be relocated to a less visible position?**

**20. Is the overall setting of the WHS compromised?**

<sup>18</sup> <http://www.heneb.co.uk/hlc/hlc.html>

<sup>19</sup> Protected landscapes are defined as areas which are designated on an International, National, regional and local level as a means of ensuring the conservation and enhancement of their natural beauty for future generations..

## Sustainable Employment

4.230 Economic Development is an important pillar of sustainable development. An important part of the vision for the World Heritage Site is the creation of sustainable employment, providing high quality skilled all-year round employment. This vision is one that is shared by the objectives outlined in both Local Development Plans.

4.241 A thriving regional economy is an important theme for management of the WHS and there are already examples within the component parts of successful developments which have provided sustainable employment for the local area. The adventure tourism developments of recent years are a good example, alongside the longstanding businesses which provide local employment opportunities.

### Questions to consider

**21. Will the development offer employment opportunities that have not been available in the area before?**

**22. How will the development ensure opportunities for local people to stay in their communities?**

**23. How many full and/ or part time jobs will be created?**

**24. Will high quality all-year round employment opportunities be provided?**

## Access and Movement

4.252 A proposal should ensure ease of access for all into the development and within the site. Access arrangements should make reasonable provision to ensure all users will have equal convenient access. Circulation between buildings should be considered, together within gradients and types of materials used to create routes. The use of new buildings or facilities which will be open to the public will need more careful consideration and possibly management solutions if access is restricted

4.263 Movement to the site will need to consider how people will get to and from the site and movement within it. The principles of sustainable development that promote walking, cycling and the use of public transport and less reliance on the private car should be reflected in the proposal. Vehicular access arrangements will need to be safe and adequate for the likely volume and size of vehicles that will use the site, together with approach roads.

### Questions to consider

**25. Are access arrangements easily available for all users?**

**26. Does the proposal incorporate sustainable transport considerations?**

**27. Is the site access and approach roads adequate for the purpose proposed?**

## Archaeology

4.247 Most archaeological sites are not formally designated (as scheduled monuments, listed buildings, conservation areas or registered historic parks and gardens) but can still be of regional or national importance. In addition to remains associated with the slate industry, the WHS contains archaeological remains of other periods, which are of value in their own right as well as contributing to the historical context of the WHS. Especially in rural areas, there may also be archaeological sites that have not yet been discovered. These remains may be affected by development whether or not there is an impact on components of the WHS or its essential setting.

4.258 Proposals will need to consider whether there will be an impact on archaeological remains and whether any such impact affects the OUV. Impacts can be direct - by demolition or disturbance of buried remains - or indirect - for example where a change in use or management increases the vulnerability of a site to decay or erosion. Measures aimed at offsetting other factors, for example sustainability measures or landscaping enhancements, can also sometimes impact upon archaeology.

4.296 The first step is to identify any archaeology at the site and to understand what is important about it. Information about recorded archaeology in the vicinity of a proposal can be obtained from the regional Historic Environment Record (HER), maintained on behalf of the Welsh Ministers by Gwynedd Archaeological Trust. Specialist advice should be sought on interpretation of the information for development purposes and in some cases, a professional archaeological assessment or survey may be needed. The level of assessment will generally reflect the scale of proposals, combined with the archaeological sensitivity of the site. Where required, archaeological assessment and survey can inform other specialist assessments, e.g. HIAs.

4.3027 The archaeological advisors to the local planning authority and Snowdonia National Park are able to advise applicants on possible archaeological concerns and developers are encouraged to seek advice early in the process. For smaller proposals, it may be that a brief discussion with the archaeological advisor is all that is needed. In other cases, the advisors will be able to advise on any pre-application work that may be required and can discuss possible mitigation options.

4.3128 The guiding principle should be to avoid adverse impact on archaeological remains where possible and to ensure that the contribution made to the WHS is maintained or enhanced. Where appropriate, developers are encouraged to discuss opportunities to increase the public benefits of a development - for example by increasing access to or interpretation of a site, or by undertaking practical conservation work.

### Questions to consider

- 28. Is the character and significance of archaeology at the site sufficiently understood?**
- 29. Are conservation values maintained?**
- 30. Can impact be avoided or lessened?**
- 31. Are there opportunities to enhance the archaeological value of the site?**
- 32. Are there opportunities for educational benefit?**

### Other considerations

4.32~~29~~ The Local Planning Authority may also take other factors into consideration such as noise, light pollution (also refer to Obtrusive Lighting SPG<sup>20</sup> (SNP)), and general impact on residential amenity, depending on the nature of the development. Advice and guidance will also be taken from consultees during the planning process. Wider community impacts such as the creation of new employment opportunities and the possible implications on the Welsh language can also influence the decision-making process.

### Submitting proposals to the Local Planning Authority

4.33~~0~~ A developer should now be able to engage with the local planning authority. Depending on the scale and type of the development, it is advisable before submitting a formal planning application to engage in the statutory pre-application enquiry process.

### Pre- application enquiry

4.34~~1~~ This is a statutory process with a fee attached. Both Gwynedd Council<sup>21</sup> and Snowdonia National Park Authority<sup>22</sup> have pre-application advice guidance notes on their websites with submission forms. Information on what is being proposed with a location plan, sketch details, drawings and photographs should be included. It is likely that more information may be required with larger scale proposals as indicated on page 10 of this guidance, and it is advisable to fully appraise the proposal and prepare a Draft Design and Access Statement.

4.35~~2~~ In response relevant officers will identify any issues that might arise from the application at an early stage and provide advice on how to resolve these issues. This will assist in making changes to the proposal, identifying further investigation or in establishing which other consents may be necessary such as listed building consent. Planning officers will also give an informal view on the merits of the proposal and whether there is the possibility of obtaining planning permission or any other necessary consents. Any advice given however will be entirely without prejudice to any future decision on a planning application which will be subjected to the normal democratic process. Developers proposing projects comprising "major development" will need to undertake statutory pre-application consultation.

<sup>20</sup> [Obtrusive Lighting – Supplementary Planning Guidance \(Snowdonia National Park Authority, 2016\)](#)

<sup>21</sup> [Gwynedd Pre-application Advice Service](#)

<sup>22</sup> [Snowdonia National Park Authority](#)

## Planning Application

4.363 For larger scale proposals it is strongly advised that pre application advice is sought and even for smaller developments it will be beneficial as it could save time and money on abortive work. The information requirements to be submitted with a planning application will vary and for developments affecting listed buildings and scheduled ancient monuments additional assessments and consents will be required. If pre-application advice has already been sought some of the background information and context will have already been gathered and any additional studies identified. Table 1 in Appendix 3 seeks to list types of development and some of the information and planning considerations required in reaching a planning decision.

DRAFT

## APPENDIX 1

### Extracts from the World Heritage Site Property Management Plan 2020 - 2030

#### 2.2 Statement of Outstanding Universal Value

The following is the Statement of Outstanding Universal Value for the site. UNESCO assesses the Statement of Outstanding Universal Value against set criteria, and a World Heritage site must meet at least one of these. The Slate Landscape of Northwest Wales has is designated against two criteria.

##### Brief synthesis

The Slate Landscape of Northwest Wales is located in the United Kingdom, in the mountains of Snowdon massif. Six areas together represent an exceptional example of an industrial landscape which was profoundly shaped by quarrying and mining slate, and transporting it for national and international markets. From 1780 to 1940 this industry dominated world production of roofing slates, transforming both the environment and the communities who lived and worked here. The quarries and mines are monumental in scale, comprising stepped hillside workings, deep pits and cavernous underground chambers, massive cascading tips, ingenious water systems, and a range of industrial buildings. Outstanding technical equipment and major engineering features survive. Innovative transport systems linked quarries and processing sites with purpose-built coastal export harbours and with main-line railways. Grand country houses and estates built by leading industrialists contrast with workers' vernacular settlements, with their characteristic chapels and churches, band-rooms, schools, libraries and meeting-places which retain multiple examples of their traditional way of life and strong minority language.

By the late 19th century, the region produced about a third of the world output of roofing slates and architectural slabs. Its use in terraced houses, factories, warehouses and elite architecture contributed to rapid global urbanization. It influenced building styles, encouraging the shallow-pitched roofs of the Georgian order. Technologies that were innovated, adopted and adapted in the property include the ingenious application of waterpower, the development of bulk handling systems and the first known application of the circular saw for cutting stone. These were diffused by specialists and by emigration of skilled Welsh quarrymen to the developing slate industries of the United States, continental Europe and Ireland. The Snowdon massif's narrow-gauge railway systems gained global influence and were adopted from Asia and America to Africa and Australasia.

##### Justification for Criteria

**Criterion (ii) definition: exhibit an important interchange of human values, over a span of time or within a cultural area of the world, on developments in architecture or technology, monumental arts, town-planning or landscape design.** The Slate Landscape of Northwest Wales exhibits an important interchange, particularly in the period from 1780 to 1940, on developments in architecture and technology.

Slate has been quarried in the mountains of Northwest Wales since Roman times, but sustained large-scale production from the late 18th to the early 20th centuries dominated the global market as a roofing element. This led to major transcontinental developments in building and architecture. Technology, skilled workers and knowledge transfer from this cultural landscape was fundamental to the development of the slate industry of continental Europe and the United States. Moreover, its narrow-gauge railways – which remain in operation under steam today – served as the model for successive systems which contributed substantially to the social and economic development of regions in many other parts of the world.

**Criterion (iv) definition: be an outstanding example of a type of building, architectural or technological ensemble or landscape which illustrates (a) significant stage(s) in human history.**

The Slate Landscape of Northwest Wales is an outstanding example of a stone quarrying and mining landscape which illustrates the extent of transformation of an agricultural environment during the Industrial Revolution. Massive deposits of high-quality slate defined the principal geological resource of the challenging mountainous terrain of the Snowdon massif. Their dispersed locations represent concentrated nodes of exploitation and settlement, of sustainable power generated by prolific volumes of water that was harnessed in ingenious ways, and brought into being several innovative and technically advanced railways that made their way to new coastal ports built to serve this transcontinental export trade. The property comprises the most exceptional distinct landscapes that, together, illustrate the diverse heritage of a much wider landscape that was created during the era of British industrialisation.

#### **Statement of Integrity**

The property contains all of the essential elements that convey attributes of Outstanding Universal Value. Its boundaries capture the principal non-active slate-producing areas in Northwest Wales, together with their associated industrial heritage that includes the most significant processing facilities, settlements and transport routes. The protective mechanisms in place should be consistently used to strengthen the integrity of the property and its setting.

#### **Statement of Authenticity**

The well-preserved cultural landscape retains a high level of authenticity, and has experienced little intervention since the main period of industrial operation. Attributes of Outstanding Universal Value are conveyed by physical elements that are clearly identified and understood in terms of date, spatial distribution, use and function (including living communities and operational railways), form and design, materials and substance, and their interrelationships including connectivity and overall functional and compositional integrity of the series. The serial property further embodies a vibrant cultural tradition, including slate-working skills and the continued widespread use of the Welsh language. Key attributes are reflected in landscape qualities and features of quarrying including the relict working areas, tips and transport routes, together with associated settlements and social infrastructure.

The historical settlements present different yet acceptable levels of authenticity, which need to be closely monitored and controlled by the management system and respective Local Management Plans.

### **2.3 Attributes**

The values of a World Heritage site are expressed by its attributes. These are the essential qualities which make it culturally significant. Attributes can be tangible (physical) or intangible. Retention of attributes is important in order to maintain the values that make the World Heritage Site of international importance.

Examples of tangible attributes include historic assets such as quarries, mines, tips of waste rock, historic buildings and monuments. Attributes of relict quarries include their individual elements and the relationships between them, for example internal railway systems and inclined planes link working quarry faces, with waste tips and mills, and show the operation of the quarries.

Inhabited settlements preserve the historic street patterns, garden-plots and boundaries, which explain their location, ownership, and their relationship to pre-Industrial patterns of landownership. Tiny details are also important, such as traditional wrought-iron gates, slate-slab field boundaries, or the proportions of windows, chimneys and porches in nineteenth-century dwellings. A deserted settlement such as Treforys in Component Part 4 is ruinous but rich in archaeological potential. Owners' houses and parklands retain their nineteenth century form.

The transport routes preserve their eighteenth and nineteenth century engineering; the two active railways, the Ffestiniog and the Talyllyn, preserve the form and design of the routes, along with contemporary station and works buildings and their mechanical engineering. In Component Part 2, the engineering complex of the Dinorwig Slate Quarry is little changed from its 1870s condition and houses the National Slate Museum. At the adjacent Vivian workings, the (V2) inclined plane has been conserved and returned to operation.

The use of slate is widespread within all parts of the World Heritage Site, both as roofing material and as architectural components, field boundaries and walling. Other building materials reflect related international and national trade patterns made possible by the slate trade (e.g. slate-ships returning with Canadian timber, bricks arriving by rail from Northeast Wales).

Equally important are the intangible attributes including the Welsh language, traditions, spirit, social values and feeling, all of which contribute to the character of a place.

The following tables identify some of the key attributes by criteria along with illustrative examples.



2.3.1 Attributes of The Slate Landscape of Northwest Wales:-

<b>Criterion (ii) – <i>The Slate Landscape of Northwest Wales</i> exhibits an important interchange of human values, particularly in the period from 1780 to 1940, on developments in architecture and technology.</b>		
<p>The organisation of sustained large-scale slate production from the late eighteenth century to the early twentieth came to dominate the global market as a roofing element, encouraging major transcontinental developments in building and architecture such as the low-pitched Regency roof, and terraced housing. Other elements within the proposed World Heritage Site demonstrate the various uses of slate.</p> <p>An interchange of human values is strongly evident in the skills and technologies which were disseminated from one Component Part, in the different methods of extracting and processing the rock.</p> <p>The narrow-gauge slate railways exhibit an important interchange of human values in that make evident how the technology was improved within the proposed World Heritage Site.</p>		
VALUES	ATTRIBUTES	EXAMPLES
Developments in building and architecture	Variety of structures and buildings evident in <i>The Slate Landscape of Northwest Wales</i> which demonstrate the various uses of slate.	Slate block walling in Bethesda High Street. Patterned slates on former toll-house, Porthmadog.
Skills transfer	Craft skills of quarrying and processing slate originating within <i>The Slate Landscape of Northwest Wales</i> and adopted by dispersal within it, evident in form and organisation of quarries and processing sites.	Gallery system at Penrhyn, adopted in Dinorwic, Gorseddau and Prince of Wales. Nantlle pit working adopted at Bryneglwys Quarry.
Technology transfer	Innovative technology originating within <i>The Slate Landscape of Northwest Wales</i> and adopted elsewhere, evident in form and organisation of workings, mechanical processing.	Penrhyn Slate Quarry galleried working common in extractive industries.
	Innovative technology originating elsewhere and adopted within <i>The Slate Landscape of Northwest Wales</i> , evident in tunnelling, handling, power generation, pumping, repair and maintenance.	Penrhyn Slate Quarry. Blaen y Cae and Pen yr Orsedd Slate Quarries 'Blondin' ropeways. Pen y Bryn/Cloddfa'r Lôn Slate Quarry water-driven pump system. National Slate Museum.
	Innovative technology originating within <i>The Slate Landscape of Northwest Wales</i> and adopted by dispersal within it, evident in form and organisation of quarries, processing sites and handling systems.	Dorothea Slate Quarry. Bryneglwys Slate Quarry surface landform and chain-incline ropeway bastion.
	Innovative railway technology.	Ffestiniog and Talyllyn railways.

Criterion (iv) – The Slate Landscape of Northwest Wales is an outstanding example of a type of landscape which illustrates, in a dramatic way, the ‘combined works of nature and of man’ through the large-scale exploitation of natural resources.		
<p>The lavish houses and parklands of quarry owners convey the levels of capital available to exploit and transport these natural resources successfully. The monumentality of the quarry landforms in their isolated and challenging mountain settings is intense and compelling.</p> <p>The impact of these quarries and mines on the natural environment, and their own landforms and organisation, are attributes of the generations of physical labour and skill invested in them. Within this mountainous environment both gravity and water-power were ingeniously harnessed to operate machinery. The technically-innovative railways make use of topography, in their use both of rope-worked inclined planes and of graded contour formations. The quarry towns and villages make best use of the natural environment to establish homes for a new workforce beyond the traditional margins of cultivation.</p>		
VALUES	ATTRIBUTES	EXAMPLES
Industrial transformation through capital investment	Aristocratic investment evident in ‘improved’ landscapes including industrial-scale quarrying.	Penrhyn Slate Quarry. Penrhyn Castle and Park. Dinorwig Slate Quarry.
	Capital investment adopting mechanised solutions evident in tunnelling, mechanical processing, handling, power-generation, pumping, maintenance and repair.	Penrhyn Slate Quarry. ‘Australia’ Gallery. V2 Inclined Plane. Pant yr Afon hydro-power station. Dorothea Slate Quarry Cornish beam engine. National Slate Museum.
	Urgent need to house expanding work-force evident in new and varied forms of human settlement introducing and reflecting new forms of social organisation.	All settlements
	Establishment of money economy and working-class consumer choice, evident in shops, public houses and market halls.	Bethesda High Street. Blaenau Ffestiniog market hall.
	Managerial awareness and control of workers’ healthcare, evident in hospitals.	Dinorwig Slate Quarry Hospital.
Industrial transformation through exploitation of natural resources	Scale, form and organisation of workings, evident in human endeavour shaping relict quarry landforms and underground workings.	All quarries
	Use of topography and geology to work quarries and to tip waste rock, evident in relict quarry landforms and underground workings.	All quarries
	Use of hydrology to power mechanical processing, handling, pumping, maintenance and repair, evident in management of water-resources and structures and equipment.	Waterwheel and turbine in National Slate Museum. Pant yr Afon hydro-power station.
	Use of hydrography to move slate evident in river quays and tidal harbours.	Port Penrhyn. Porthmadog Harbour. Dwyrndd River quays.
	Use of topography to move slate evident in innovative railway systems and other transport technologies	Penrhyn Slate Quarry Railroad. Ffestiniog Railway.
Industrial landscape	Strong connectivity evident in the visual relationship between each element in each Component Part	Ffestiniog Component Part – strong sense of the quarries dominating town and wider environment; railway journey connecting quarries to the sea.
	Strong connectivity evident in the visual relationship between each component and the wider landscape of mountains and sea-coast	Nantlle Component Part – defined area of quarrying and settlement within wider setting which includes Snowdon and the sea.

## Summary of key attributes

- Monumental scale of quarries and mines – stepped hillside workings, deep pits, cavernous underground chambers, massive cascading tips, ingenious water systems, bulk handling systems, range of industrial buildings.
- Innovative narrow-gauge railway systems leading to purpose-built coastal export harbours and main-line railways – some remain operational.
- Innovative processing systems – including first known use of circular saw for cutting stone.
- Slate craft skills and use of slate throughout the landscape.
- Grand country houses and estates.
- Workers' vernacular settlements, showing variations in social context, pattern and scale.
- Chapels and churches, band-rooms, schools, libraries and meeting places, indicating cultural identity and linguistic identity, and aspirations for social justice.
- The Welsh language – place-names.
- Literary tradition associated with The Slate Landscape of Northwest Wales.

## The setting of The Slate Landscape of Northwest Wales

### Location and setting

The distinctive qualities of this spectacular environment, which extends from mountain-top to sea-coast, convey the challenges of working and living within it. The functional and social linkages within each Component Part show how these were overcome by independent-minded and resourceful people, and by the investment of capital. These historic linkages remain strongly evident and are important to exploring and understanding The Slate Landscape of Northwest Wales. They include the quarries' visual relationship with workers' settlements established at the margins of cultivation, and which are often defined by the slate-carrying transport routes that run through them. The sea provides a context for the export of slate to global markets and sets The Slate Landscape of Northwest Wales apart from historically significant slate landscapes on the European continent and in North America.

The landscape aesthetics of mountain, valley-slope, woodland, enclosure and parkland, and the sea are also highly important to the World Heritage Site, by bestowing a sense of place and by making it possible to understand how and why the region has come to be visited, settled and cherished by people inspired by its landscape.

### What is setting?

Cadw's *Setting of Historic Assets in Wales* (2017) outlines the method used to assess the potential impact of development proposals or land-management proposals within their settings.

The setting of any heritage asset includes the surroundings within which it is understood, experienced and appreciated, including its present and past relationships to both historic and natural features. Elements of a setting may make a positive, negative or neutral contribution to the significance of an asset.

Setting is not itself a historic asset, though land within a setting may contain other historic assets. The importance of setting lies in what it contributes to the significance of a historic asset.

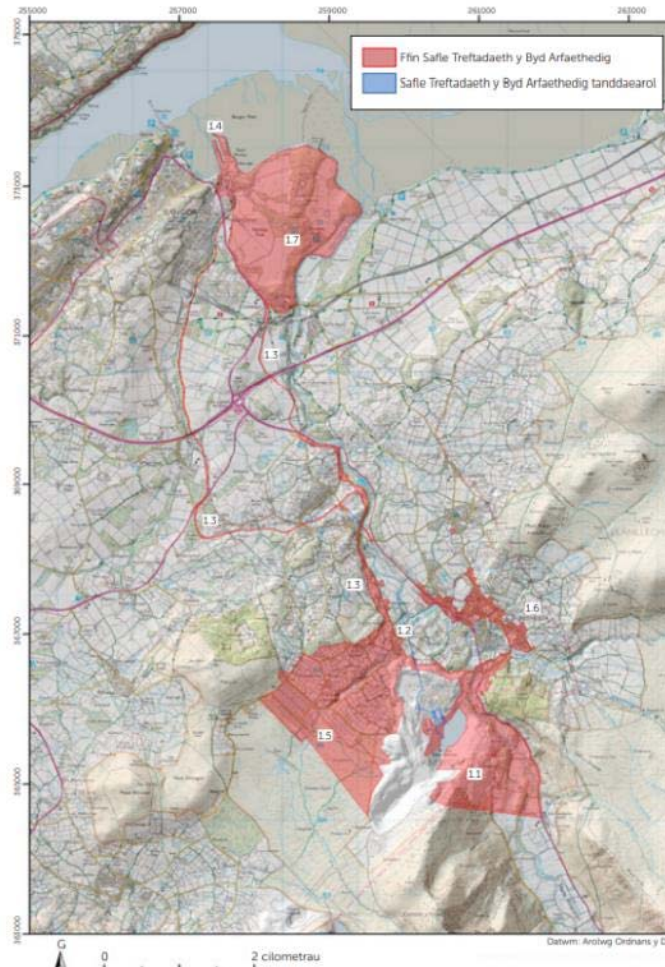
Setting is primarily a visual relationship, but can also include features like noise, activity, or smell associated with the historic asset, or tranquillity or remoteness. In some cases setting can also include functional relationships related to a historic asset such as the extent of a historic estate, a water-catchment area that served historic water-powered machinery, connections between different industrial elements or routes by which industrial materials were transported to markets.

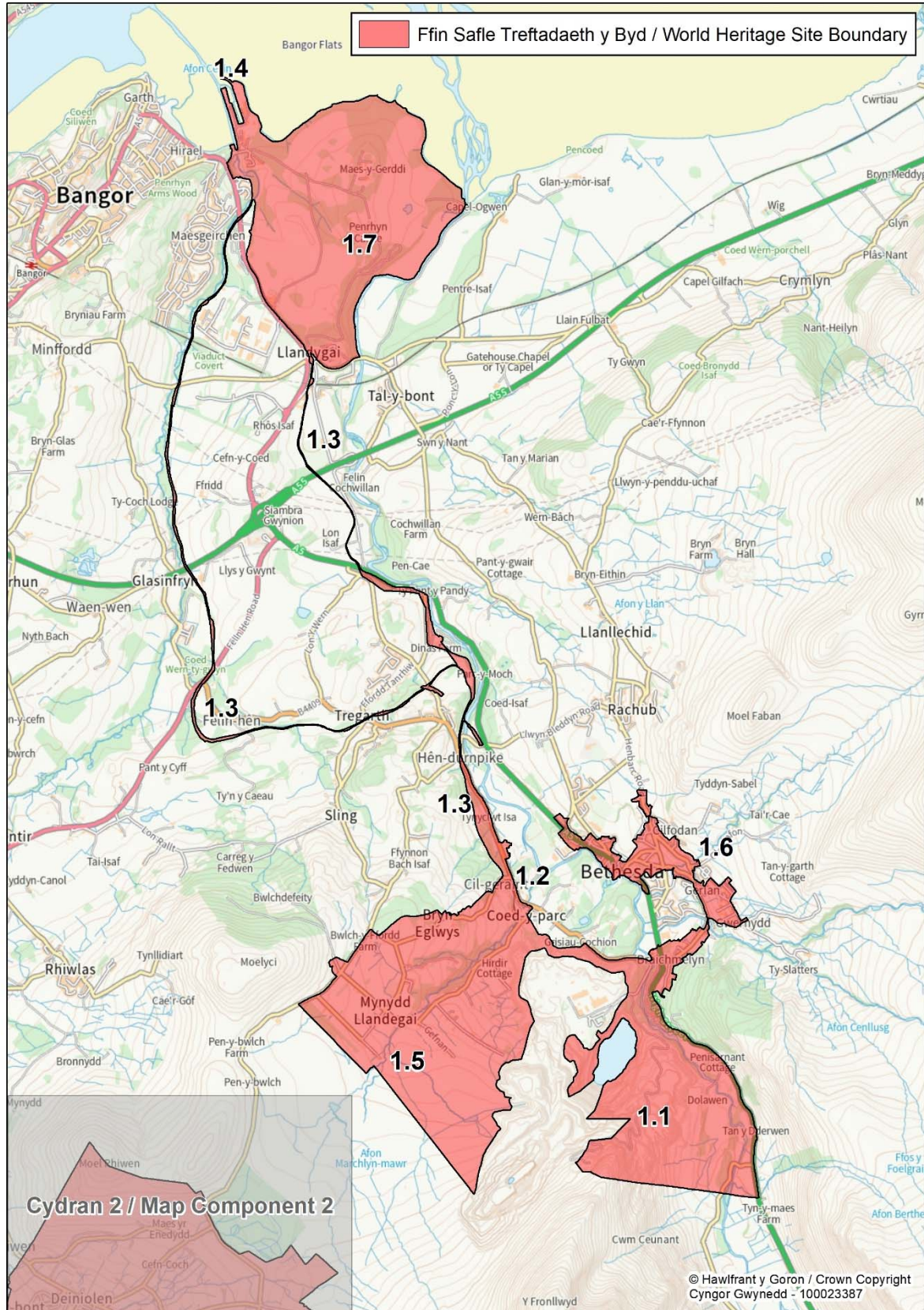
Setting may include a range of factors:

- functional and physical relationships with other structures/historic assets, and how these have changed over time.
- topographic features that influenced its location.
- physical character of the surrounding landscape or townscape, including any formal design or land use.
- the original layout of the historic asset and how this has changed.
- potential buried or archaeological elements surrounding the historic asset.
- views to, from and across the historic asset or place.
- formal or planned vistas.
- the prominence of the historic asset in views throughout the surrounding area.
- views associated with the aesthetic, functional or ceremonial purpose of the asset, for example, defensive sites, beacons or designed landscapes.
- historical, artistic, literary, place-name, cultural or scenic associations might all contribute to the significance of a historic asset.
- other sensory elements — noise, activity, or smell associated with the historic asset.
- tranquillity, remoteness, ‘wildness’. In the mountainous Gwynedd region, the setting is powerful, and the key views are many and expressive; only some of the most significant are described here.

## World Heritage Site – Component Parts

### Component Part 1: Penrhyn Slate Quarry and Bethesda, and the Ogwen Valley to Port Penrhyn





An area that has been quarried for slate since the Medieval period, but which was developed on an extensive scale from the late eighteenth century onwards by Richard Pennant, Lord Penrhyn, and his heirs. The Component Part includes the relict part of the great stepped Penrhyn Slate Quarry, worked continuously since the late eighteenth century, a water-powered mill complex at Felin Fawr, the railroad and railway that transported the slate to the private harbour at Port Penrhyn, the distinctive and contrasting workers' settlements at Bethesda and Mynydd Llandygai and the quarry-owning family's huge Penrhyn Castle and its vast Park.

#### **Elements:**

- 1.1 Penrhyn Slate Quarry - relict stepped benches with extensive areas of slate tipping to either side**
- 1.2 Felin Faw Slate-slab Mills – an historic processing and engineering complex**
- 1.3 The Penrhyn Slate Quarry Railroad and Penrhyn Slate Quarry Railway – two historic systems which exported slate from 1801 to 1962**
- 1.4 Port Penrhyn – the harbour for Penrhyn slates**
- 1.5 Mynydd Llandygai – Settlement; planned housing for quarrymen and their families**
- 1.6 Bethesda – Village; created by quarrymen who preferred not to live on the Penrhyn estate**
- 1.7 Penrhyn Castle and Park – the extravagant neo-Norman dwelling of the Penrhyn family**

#### **Essential Setting**

The essential setting of this Component Part is made up of the Ogwen and Cegin valleys, incorporating the entire landscape of slate production and distribution from the quarry northwards to the port for onward shipment. It extends from the quarrymen's town of Bethesda to the parkland and neo-Norman castle of the owning family; from the steep sided slopes of the Carneddau mountains which define the southern limit, to the Arfon coastal plain and to the Menai Straits adjacent to the castle.

#### **Significant Views**

Views within the quarry convey the immense size of the relict workings. Views from the southern part of the relict quarry take in the settlements associated with it, including Penrhyn Castle, as well as the Menai Straits and Liverpool Bay. The 'moving view' for travellers making their way north on the historic Telford post road (the A5) shows how the giant tips of slate rubble have encroached on the pre-existing farmland of Nant Ffrancon, and for those on the Chester-Holyhead railway and the A55, the Neo-Norman keep of Penrhyn Castle dominates the landscape around the northern, coastal end. Views towards the quarry from the castle are for the most part restricted by the trees in the parkland; however, notably the quarry is visible from the 'slate bedroom', a room with public access, in the castle.

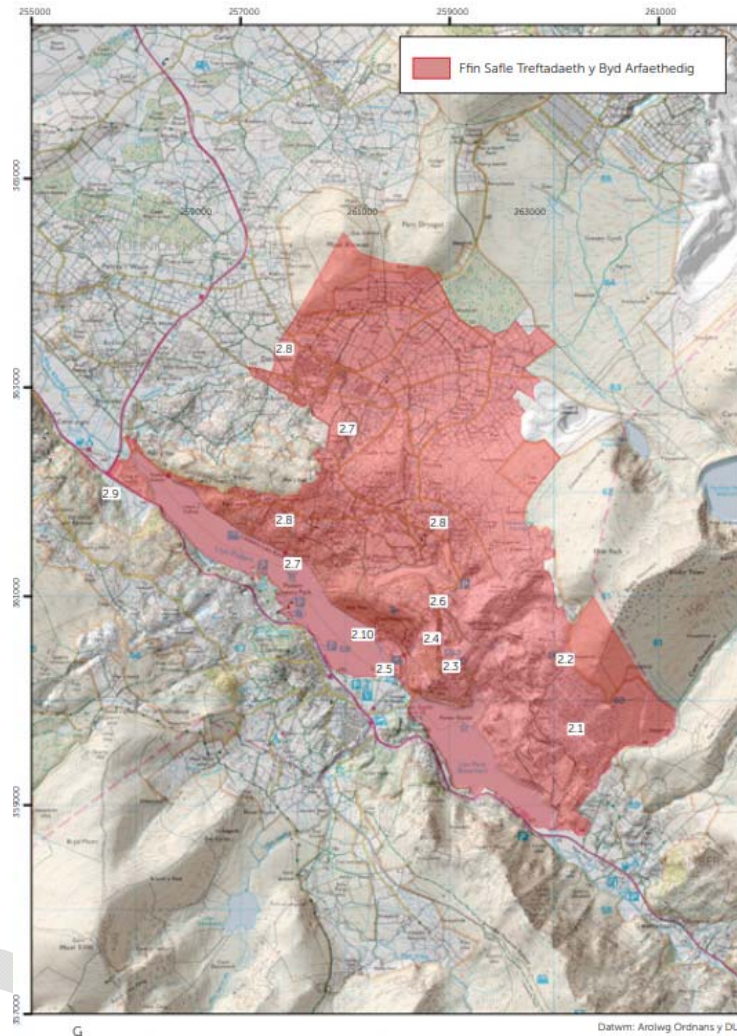
#### **Sense of arrival**

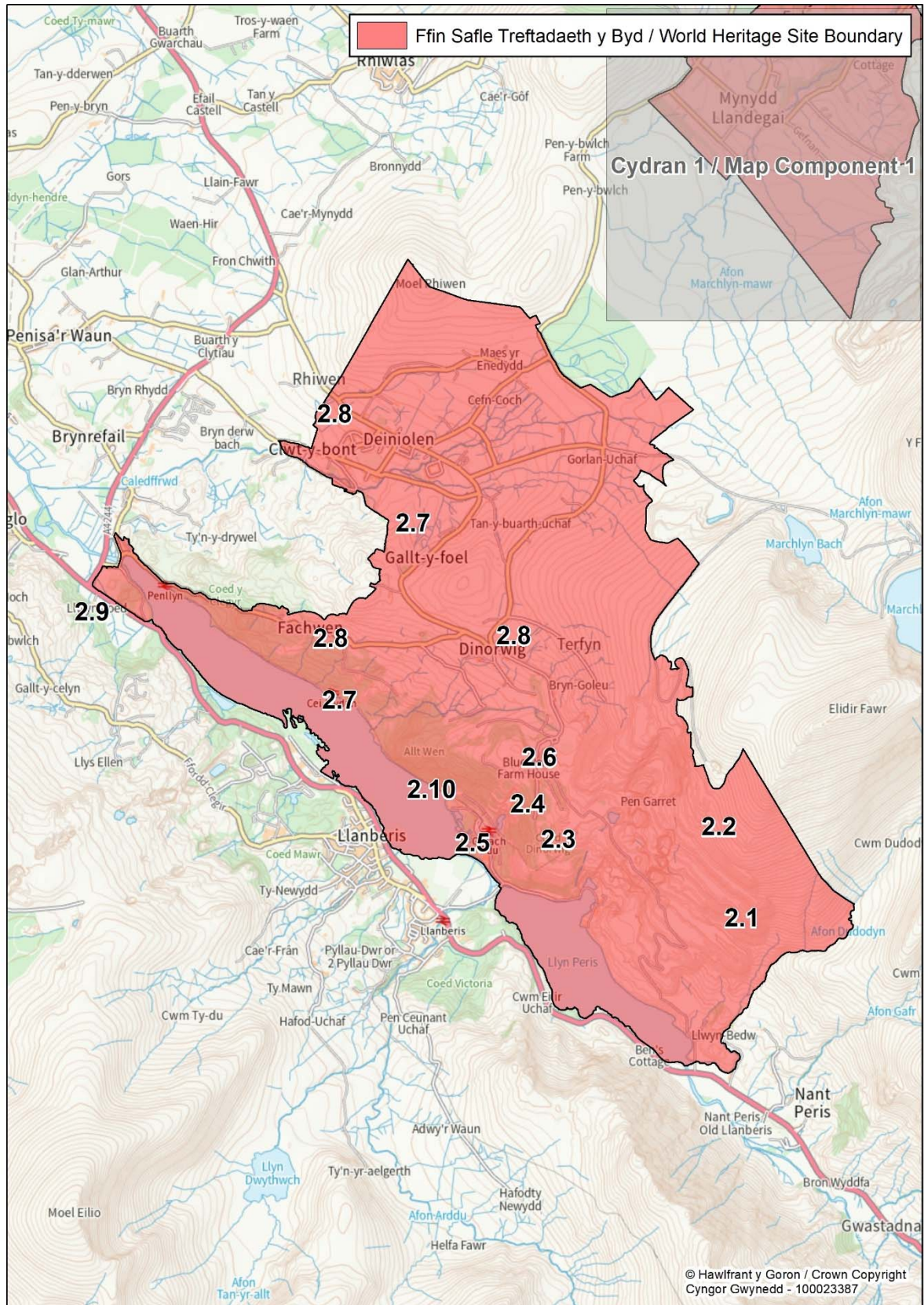
Key arrival points include turning off the B4409 road into the main quarry landform where the vista of a vast industrial landscape opens up. Arriving at Penrhyn Castle through the park. Travelling through Bethesda along the A5 road – a linear industrial settlement built along a carefully-graded road; the spire of Glanogwen church aligns with the road.

DRAFT



## Component Part 2: Dinorwig Slate Quarry Mountain Landscape





This Component Part is dominated by the huge relict Dinorwig Slate Quarry with its stepped galleries, tips of waste rock and processing areas rising 500m from the valley floor at the foot of Snowdon, the former engineering workshops and hospital, now open as museums, extensive worker settlements including barracks, dispersed cottages and the nucleated villages of Deiniolen and Clwt y Bont, and transport systems including the lake, road and railway by which slate was exported

#### **Elements:**

- 2.1 Dinorwig Slate Quarry – an extensive relict slate quarry**
- 2.2 ‘Australia’ Gallery – mills and buildings in an area of the quarry too remote to be scrapped, retaining their machinery**
- 2.3 Anglesey Barracks – in Dinorwig Slate Quarry, accommodation for workmen who lived too far away to commute daily**
- 2.4 V2 Inclined Plane/Vivian Slate Quarry – a working counterbalanced inclined plane in a separate department of the Dinorwig Slate Quarry**
- 2.5 Dinorwig Slate Quarry Engineering Complex Now the National Slate Museum**
- 2.6 Dinorwig Quarry Road Systems – the drag, the Dinorwig quarry road and the Fachwen quarry road**
- 2.7 The Dinorwig Slate Quarry Railroad and Railway which between them exported slate from 1825 to 1961**
- 2.8 Deiniolen, Clwt y Bont, Dinorwig and Fachwen– Settlements; quarry villages and cottages**
- 2.9 Craig yr Undeb – [‘Union rock] - a natural outcrop where the North Wales Quarrymen’s Union meetings were held**
- 2.10 Dinorwig Slate Quarry Hospital – now open as a museum**

#### **Essential Setting**

This Component Part is aligned with the topography of the Elidir and Snowdon mountains and the valley floor between, with its two long, narrow lakes, extending north-west to Penllyn bridge. As well as the very evident impact of industry (hydropower as well as slate-quarrying), the setting is picturesque, with Dolbadarn Castle dominating the spur between the lakes.

The upland quarry settlements of Deiniolen, Clwt y Bont and Dinorwic are located on a natural shelf overlooking the Arfon coastal plain. The settlements at Fachwen are wooded but offer occasional views over Padarn Lake.

#### **Significant Views**

The distinctive landform of the quarry is vividly demonstrated by the view across Peris lake from the A4086 road, as well as by the prospect afforded to people ascending Snowdon on foot or by train. A public viewpoint within the Council owned part of the quarry offers views over the entire Component Part as well as of Snowdon and the Arfon coastal plain to the Menai Straits and to Anglesey. It also demonstrates the distinctive geology of the Cambrian slate vein. The view from Penllyn bridge, on the outflow from Padarn lake, towards to the south-east encompasses the Snowdon and Elidir peaks as well as Dolbadarn Castle and

illustrates Padarn lake's role as a transport axis. These can be seen more clearly, after a short climb, from Craig yr Undeb.

The industrial landscape is evident from the main station at Gilfach Ddu on the Llanberis Lake Railway; the lake-shore route takes in vistas of Snowdon.

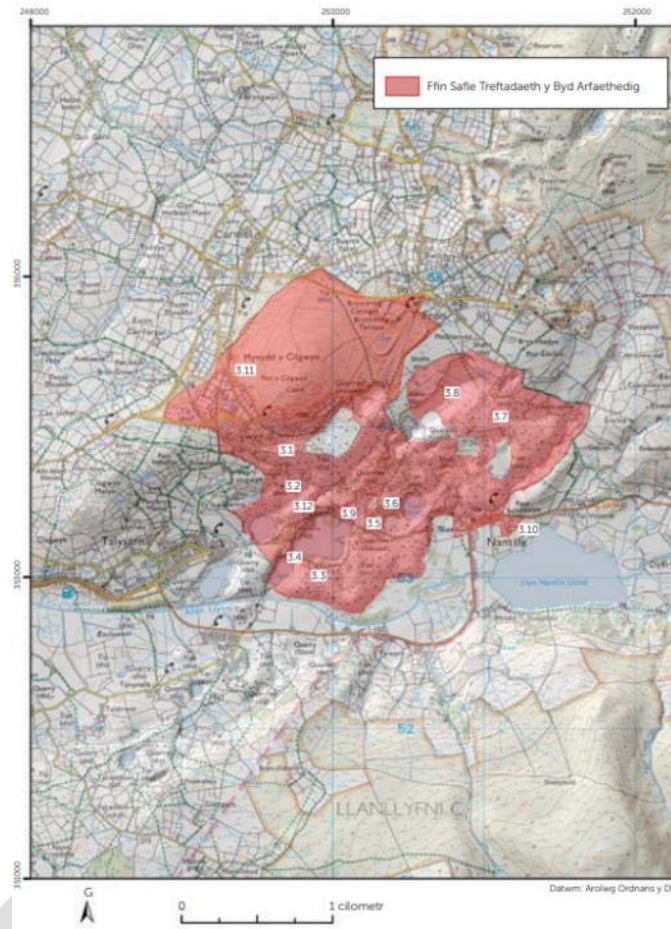
The areas immediately upslope from Deiniolen, Clwt y Bont and Dinorwic offer views which illustrate the distinctive nature of these self-contained quarry villages and scattered small holdings, set in a bowl on the hillside.

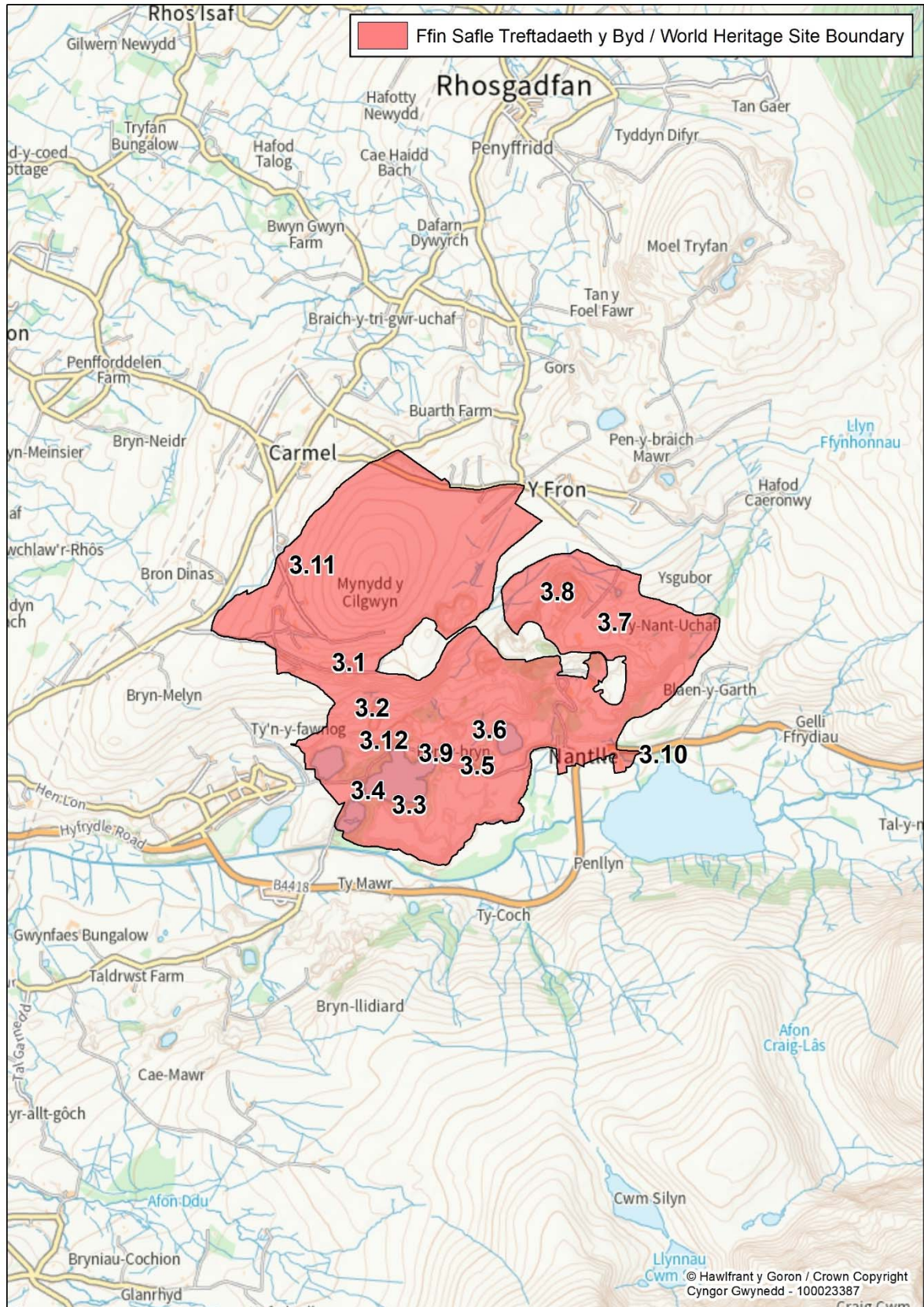
### **Sense of arrival**

Arriving on the A4086 road from Bangor, Caernarfon or Pen y Pass – an industrial landscape opens up within the natural environment of lake and mountain. Arrival at the National Slate Museum – an impressive quadrangular building with echoes both of a stable-block on a country estate and a fort becomes apparent.

DRAFT

### Component Part 3: Nantlle Valley Slate Quarry Landscape





Nantlle Component Part is a multi-period valley which sweeps from the foothills of the Snowdon massif to the Arfon plain and to the sea. It includes the open-pit slate quarries up to 150 meters deep, extensive tips, relict processing buildings, a monumental Cornish steam pumping engine in its original engine-house, associated worker settlements, including a village, squatters' cottages and adapted agricultural buildings, and the Stephenson-engineered railway by which slate was exported.

**Elements:**

- 3.1 Cilgwyn Slate Quarry**
- 3.2 Blaen y Cae Slate Quarry 'Blondin' Ropeway**
- 3.3 Dorothea Slate Quarry**
- 3.4 Dorothea Slate Quarry Cornish Beam Engine**
- 3.5 Pen y Bryn/Cloddfa'r Lôn Slate Quarry – Dwellings, Slate-mill, Barracks and Chain Incline Ropeway**
- 3.6 Pen y Bryn/Cloddfa'r Lôn Slate Quarry Water-driven Pump System**
- 3.7 Pen yr Orsedd Slate Quarry**
- 3.8 Pen yr Orsedd Slate Quarry 'Blondin' Ropeway**
- 3.9 The Nantlle Railway**
- 3.10 Nantlle – Village**
- 3.11 Settlements on Cilgwyn Mountain**
- 3.12 Plas Tal y Sarn and Tal y Sarn farmhouse**

**Essential Setting**

This Component Part is aligned with the east-west ridges of the Nantlle Valley, closed off at its eastern limit by the mountain pass of Drws y Coed, but opening out to the west into a lowland landscape. Some of the quarries are enclosed by tips of slate rubble and by woodland, others, particularly on the upper slopes, look out over the valley

**Significant Views**

The road running on the rubble tips of Cilgwyn Slate Quarry, near the northern limit of the Component Part, offers views which encompass the summit of Snowdon to the east, the Nantlle ridge to the south, and, to the west, the sea extending down the Llŷn Peninsula. On a clear day, Ireland is visible, the historic destination for much of Cilgwyn slate. This also provides a vantage point for the quarries themselves, illustrating their characteristic geology and technology.

Locations on the lower valley sides and valley floor are more enclosed, and an important characteristic of this landscape is the way in which wooded areas and fields from before the period of quarrying survive, where it is occasionally possible to avoid views of industrial activity and experience an earlier period of the valley's history. The village of Nantlle is dominated by tips of waste rock. The vista along the course of the railway into Dorothea Quarry, with its distinctive double arches, is striking. The flooded pits themselves offer spectacular views.

Dorothea Quarry is an enclosed landscape-within-a-landscape, surrounded by tips of waste rock. Tree-growth since the closure of the quarry in 1970 partially obscures the way that the Cornish beam engine stands on a ridge between the two pits it once pumped. The most famous view of the Nantlle valley, depicted by Richard Wilson in 1765-6, is much changed due to the development of quarrying, though the vista it depicts, looking eastwards towards the summit of Snowdon, can be enjoyed from where the B4418 road crosses the outlet of Nantlle lake.

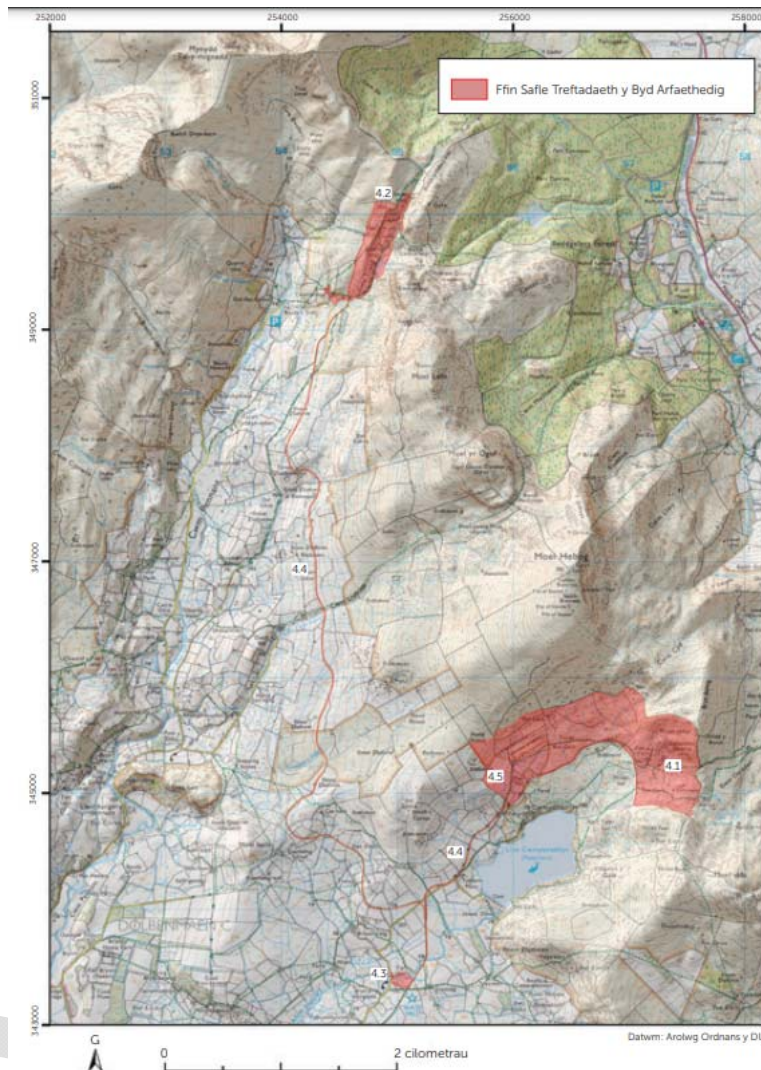
### **Sense of arrival**

Arrival by road at either end of the Nantlle Valley, east or west presents a landscape in which tips of slate rubble dominate, contrasting strongly with the improved farmland to either side and with the picturesque mountain views. Arrival within Dorothea Quarry along the footpaths/Snowdonia Slate Trail is dominated by the sight of the huge flooded quarry pit and towering bastions.

DRAFT



### Component Part 4: Gorseddau and Prince of Wales Slate Quarries, Railways and Mill





This short-lived quarrying area, operating in the mid nineteenth century, is notable for the survival of features often lost at more commercially successful operations. It includes the isolated Gorseddau Slate Quarry and Prince of Wales Slate Quarry both worked on a similar principle to Penrhyn Slate Quarry with stepped galleries with inclined plane access; the railways that served the two quarries, a deserted workersettlement at Treforys and the dramatic Ynyspandy slate-slab mill.

#### **Elements:**

- 4.1 Gorseddau Slate Quarry – a relict slate quarry**
- 4.2 Prince of Wales Slate Quarry – a relict slate quarry**
- 4.3 Ynyspandy Slate-slab Mill – a striking and architecturally ambitious structure**
- 4.4 Gorseddau Railway and Gorseddau Junction and Portmadoc Railway – railways serving the two quarries**
- 4.5 Treforys Village – an abandoned settlement built to house the workforce**

#### **Essential Setting**

This Component Part is defined by two remote valleys, Cwm Pennant and Cwmystradllyn, which unite near the Ynyspandy slate-slab mill. The quarries are located at the heads of their respective valleys; in the case of the Prince of Wales quarry its higher floors are at the level of the pathway from Rhyd Ddu that leads through the mountain pass Bwlch y Ddwy Elor into Cwm Pennant. This is a quiet and remote area with few farms or houses, given over to sheep-grazing, without any of the sense of continued activity that characterises the other Component Parts.

#### **Significant Views**

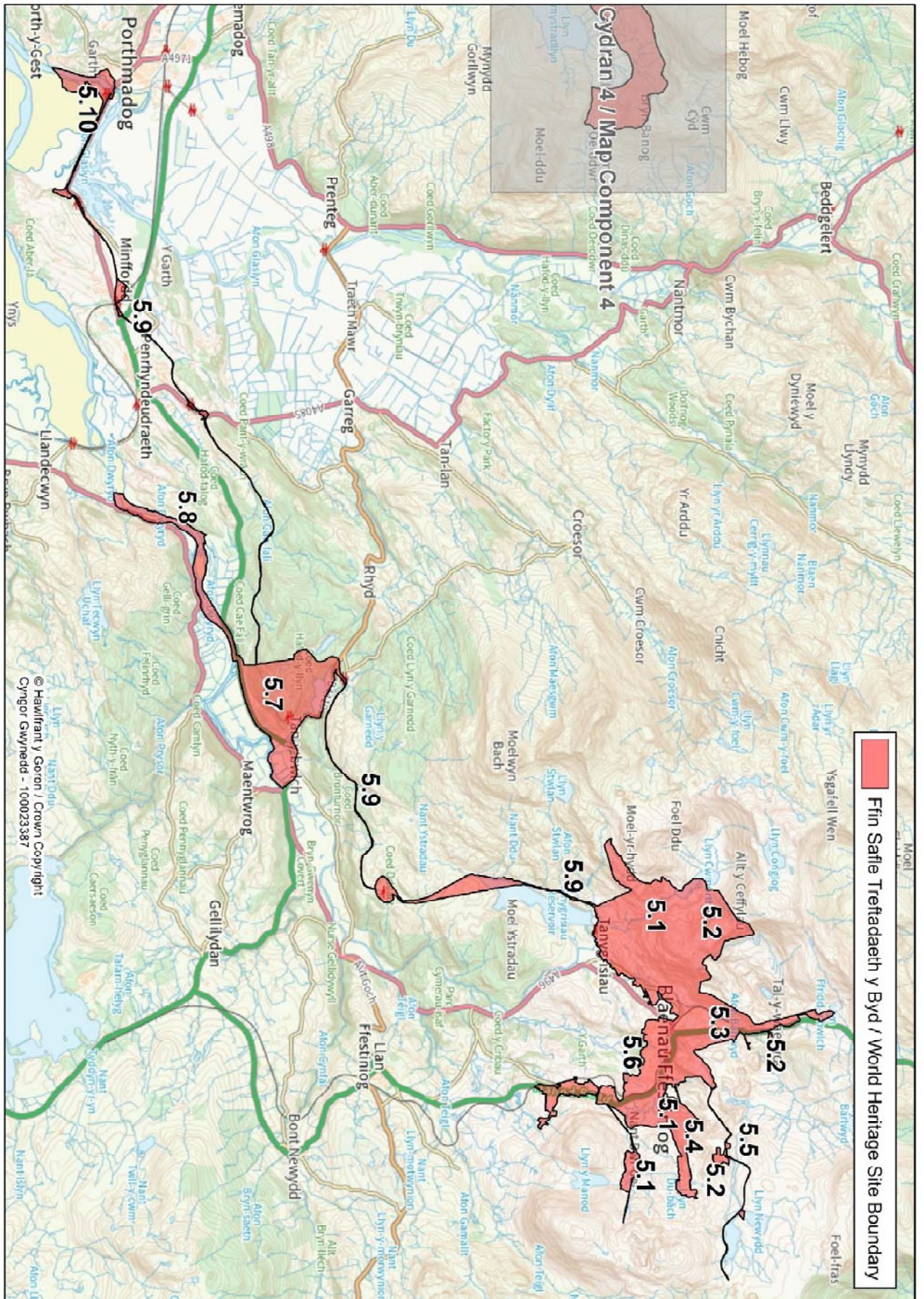
A long-distance vista from the A487 road where it crosses the Cedron stream takes in both valleys; one line of sight from this point takes in Ynyspandy slate-slab mill with the quarry beyond. The mill is itself a spectacular and iconic skyline feature, particularly when viewed from the minor roads to its west and south. The path through Bwlch y Ddwy Elor offers a magnificent vista of Cwm Pennant.

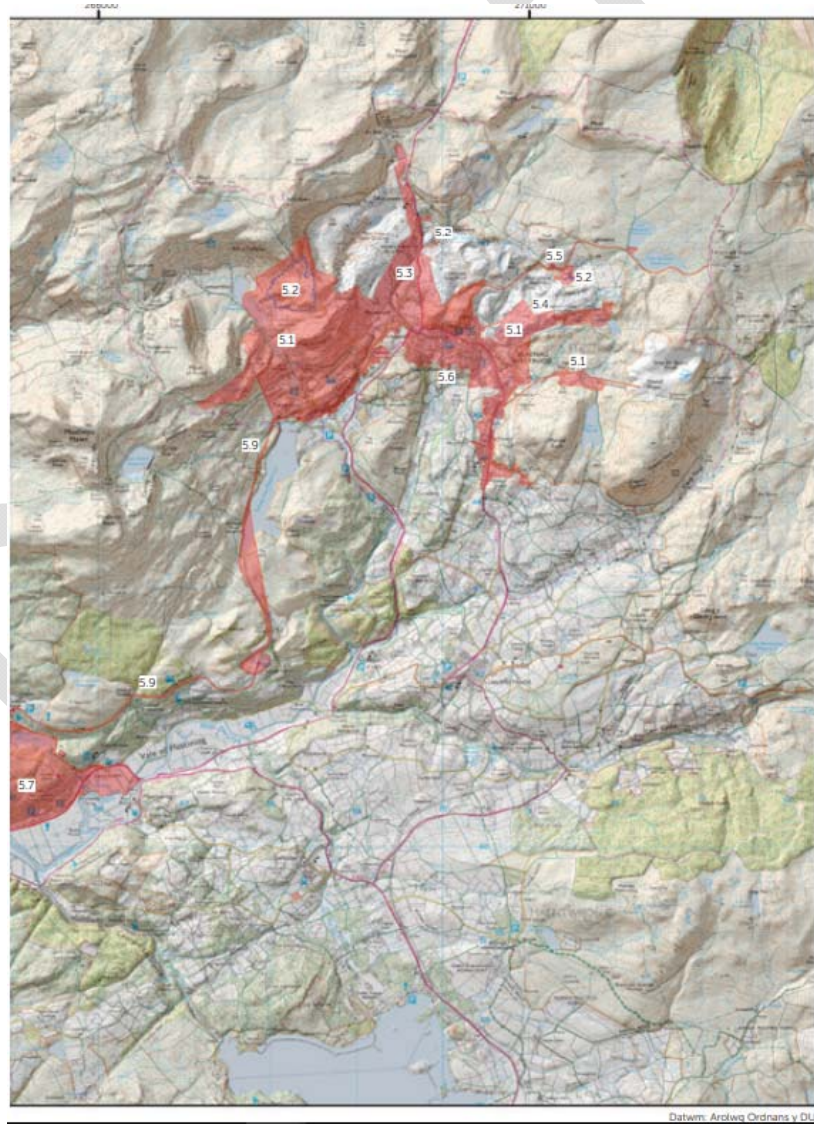
#### **Sense of arrival**

The approach to Ynyspandy Slate-Slab Mill along the minor road from the A487 road leads to a striking building resembling an abbey. Along the walk to Gorseddau Quarry along the railway and the revetted wall, an industrial site gradually unfolds. The climb to Prince of Wales Quarry reveals a hidden location.

### Component Part 5: Ffestiniog: its Slate Mines and Quarries, 'city of slates' and Railway to Porthmadog







This Component Part includes the quarries and underground mines, associated tips and mills overlooking the quarrymen’s town of Blaenau Ffestiniog, with its formal urban organisation; also Plas Tan y Bwlch, formerly the home of a major quarry owning family, slate-quays on the Dwyryd river, Porthmadog Harbour and the innovative slate-carrying Ffestiniog Railway.

**Elements:**

- 5.1 Ffestiniog Slate Quarries – Surface Landform**
- 5.2 Ffestiniog Slate Quarries – Underground Workings**
- 5.3 Pant yr Afon Hydro-power Station**
- 5.4 Diffwys Slate Quarry Mill**
- 5.5 Maenofferen Slate Quarry Main Complex**
- 5.6 Blaenau Ffestinog Town; an industrial town built to house quarrymen and their families**
- 5.7 Plas Tan y Bwlch – a quarry-owner’s home, now the Snowdonia National Park residential study centre**
- 5.8 Slate-quays on the Dwyryd River – early slate export routes**
- 5.9 The Ffestiniog Railway – built to connect the quarries with the sea, still operational as a visitor attraction**
- 5.10 Porthmadog harbour – the shipping point for Ffestiniog slate**

**Essential Setting**

The essential setting of this Component Part extends from the mountainous landscapes above the quarries and town of Blaenau Ffestiniog along the partwooded Dwyryd Valley with its vistas of Harlech Castle, to the Traeth Mawr, the spectacular mountain environment of Cnicht and the Moelwynion beyond, and the bowl of the Croesor Valley distantly apparent beneath them.

**Significant Views**

The extent and topography of this Component Part is such that significant views are many. In the region of Porthmadog, the view of the harbour, the bay, the Ffestiniog Railway and its workshops are striking. They can be appreciated from a train crossing the Cob embankment, which offers a vista to the north-east over the reclaimed land towards Cnicht mountain. Other significant moving views from the railway include: the vista from Tan y Bwlch over the Dwyryd river and its quays, with a distant prospect of Harlech Castle; the three railway routes, one active and two relict, over a spur of the Moelwyn mountains; and the unfolding vista of the quarries and the town of Blaenau Ffestiniog as the train reaches the upper terminus, and moves from a mountainous to an urban environment, threading its way through the houses of Tan y Grisiau. The circuitous formation of the railway itself is readily apparent to passengers who can observe the steam locomotive pulling their train on this popular visitor-attraction.

Passengers on the branch-line railway from Llandudno Junction arrive in this Component Part after a journey through a long tunnel which leaves behind a rural landscape and emerges into the powerful relict industrial environment of the Ffestiniog quarries, dominated by tips of waste rock.

For travellers arriving by road from the north, the sudden prospect of the entire landscape on reaching the summit of the A470 over the Crimea Pass is striking – quarries and slate tips in the foreground, wooded hills beyond and the sea in the distance. The A496 road approach to the town from the south offers striking skyline features in the vicinity of Tan y Grisiau. The town itself is dominated by the sharply rising slopes and the spectacular tips of waste rock around it. The contrast between its winding roads with very different buildings and its formally organised squares of large terraces is evident. The former course of the Ffestiniog Railway through Diffws (where the public conveniences are located in the former station) and the quarry incline on the same alignment is a significant axis.

The quarries offer striking views which encompass the full extent of this Component Part, the surrounding mountains, the estuary and the sea.

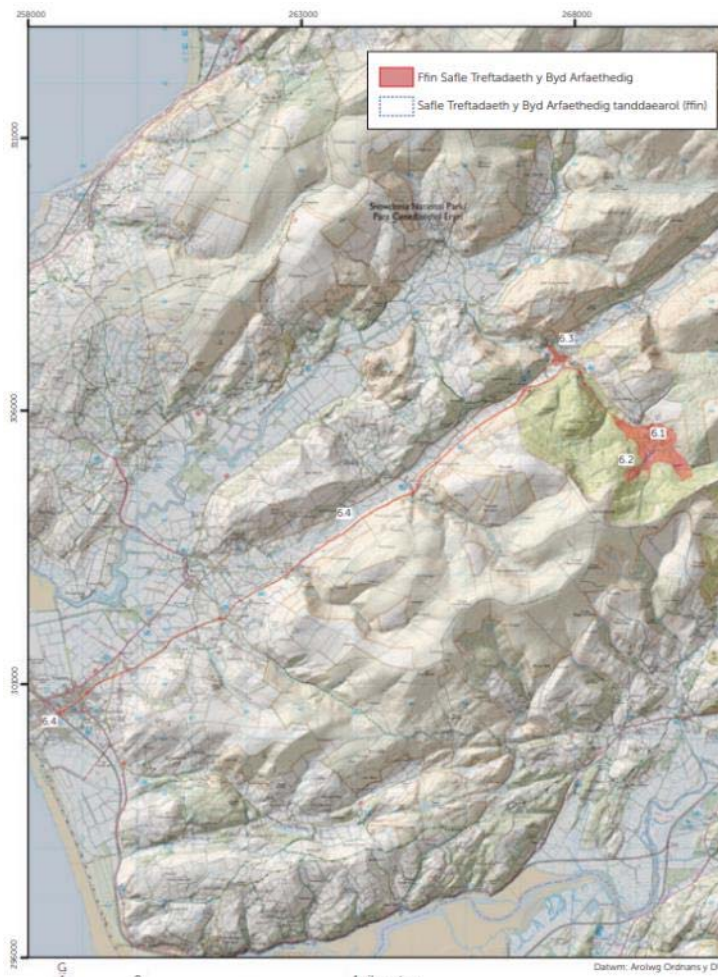
### **Sense of arrival**

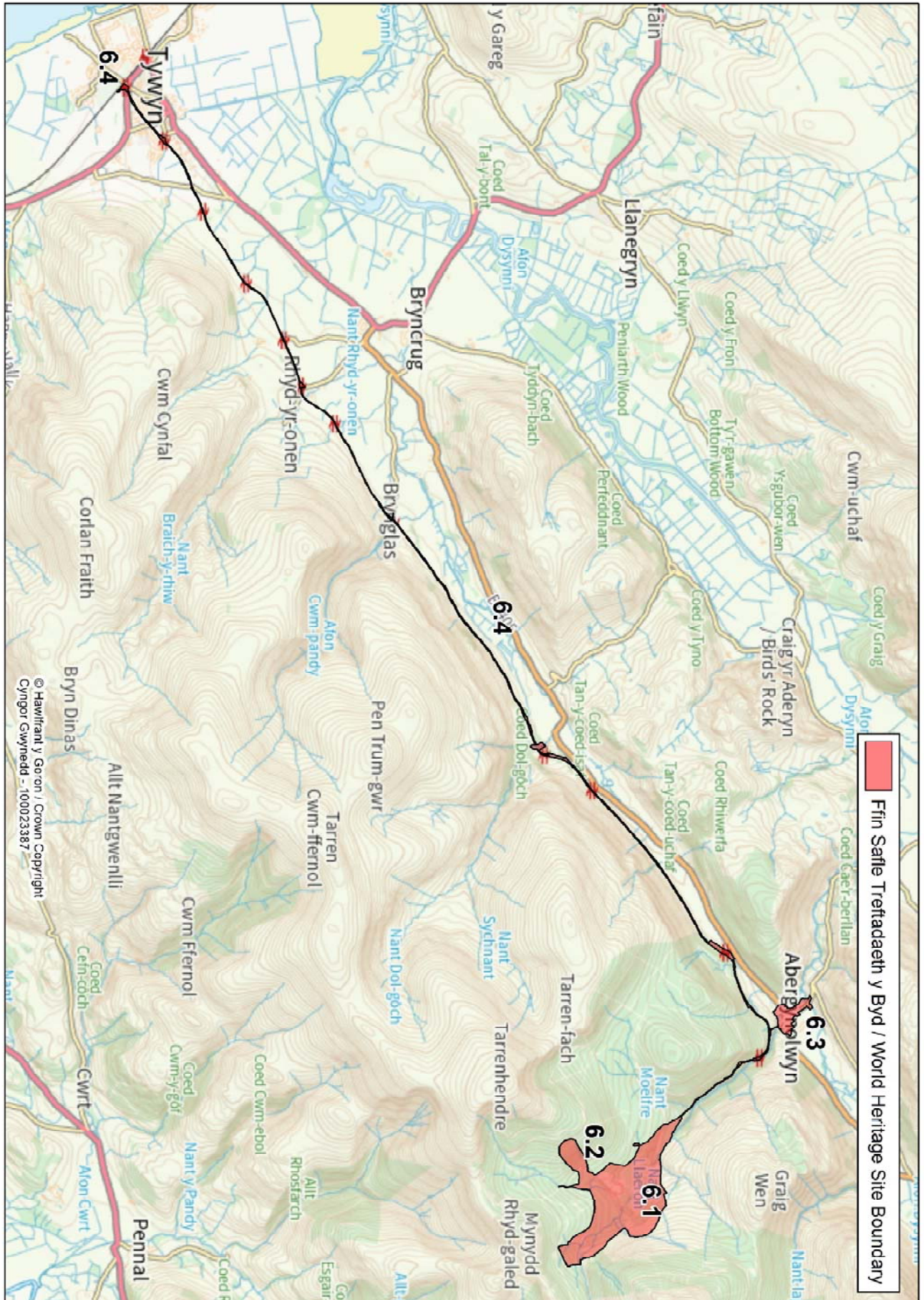
Journeys by train – both the gradual sense of approaching an industrial landscape after the scenic beauties of the Ffestiniog Railway and the dramatic reveal of an industrial landscape upon emerging out of the tunnel on the mainline from Llandudno.

The road journey over Crimea Pass – the scale of quarry workings suddenly becomes apparent, with the long vista over the rural environment and towards the distant prospect of the sea.



### Component Part 6: Bryneglwys Slate Quarry, Abergynolwyn Village and the Talyllyn Railway





Bryneglwys quarry and underground workings shows the influence of extractive techniques from Nantlle and Ffestiniog; this Component Part includes the company village of Abergynolwyn, its Lancashire-pattern reflecting Manchester capital, and the Talyllyn Railway, the first slate quarry railway built for steam traction and to connect with the main line rather than the sea – also a pioneering railway preservation project emulated worldwide.

#### **Elements:**

- 6.1 Bryneglwys Slate Quarry Surface Landform and Chain-incline Ropeway**
- 6.2 Bryneglwys Slate Quarry Underground Workings**
- 6.3 Abergynolwyn – Village; a settlement built by quarry owners to house their workforce**
- 6.4 Talyllyn Railway – built to connect the Quarry with the sea, still operational as a visitor attraction**

#### **Essential Setting**

In some respects, this is the least immediately evident of the Component Parts. The quarry is located within a remote forested tributary valley where the setting is defined by the surrounding ridge tops. The village of Abergynolwyn lies on the floor of the main valley. The upper part of the railway runs on a contour formation but as it approaches Tywyn, it makes its way between fields of lowland pasture and reaches its lower terminus in a cutting.

#### **Significant Views**

Part of Bryneglwys Quarry is afforested but its valley-slope location offers views over most of the industrial landform. The Talyllyn Railway runs through an environment that is mostly unchallenging in engineering terms, but which has preserved its historic character since the 1860s. Views of the railway comprise the iconic mid-Victorian station buildings and infrastructure, including trains crossing Dolgoch viaduct.

#### **Sense of arrival**

Arriving by road offers visitors views of a steep-sided valley. Passengers on the Talyllyn Railway, whether they begin their journey at Tywyn or Abergynolwyn, immediately sense a complete nineteenth-century railway system. The quarry is not apparent from the upper railway terminus at Nant Gwernol but the adjacent inclined plane, visible from the platform, provides a context for the railway's purpose as a slate-carrier. The village of Abergynolwyn retains the feeling of a nineteenth-century industrial community created in a mountainous Welsh environment.

## APPENDIX 2

### Relevant Local Plan Policies from the Joint Anglesey and Gwynedd and Eryri Local Development Plans. *(To note this is not an exhaustive list)*

#### **Policies from Anglesey and Gwynedd Joint Local Development Plan 2011 – 2026**

- POLICY PS 20: PRESERVING AND WHERE APPROPRIATE ENHANCING HERITAGE ASSETS
- POLICY AT 1: CONSERVATION AREAS, WORLD HERITAGE SITES AND REGISTERED HISTORIC LANDSCAPES, PARKS AND GARDENS
- STRATEGIC POLICY PS 5: SUSTAINABLE DEVELOPMENT
- POLICY PCYFF 2: DEVELOPMENT CRITERIA
- POLICY PCYFF 3: DESIGN AND PLACE SHAPING
- STRATEGIC POLICY PS 7: RENEWABLE ENERGY TECHNOLOGY
- POLICY CYF 6: REUSE AND CONVERSION OF RURAL BUILDINGS, USE OF RESIDENTIAL PROPERTIES OR NEW BUILD UNITS FOR BUSINESS/INDUSTRIAL USE
- STRATEGIC POLICY PS 14: THE VISTOR ECONOMY
- POLICY TWR 1: VISITOR ATTRACTIONS AND FACILITIES
- POLICY TWR 2: HOLIDAY ACCOMODATION
- POLICY TWR 3: STATIC CARAVAN AND CHALET SITES AND PERMANENT ALTERNATIVE CAMPING ACCOMMODATION
- POLICY TWR 5: TOURING CARAVAN AND TEMPORAY ALTERNATIVE CAMPING ACCOMODATION
- STRATEGIC POLICY PS19 – CONSERVING AND WHERE APPROPRIATE ENHANCING THE NATURAL ENVIRONMENT
- POLICY AMG 2: SPECIAL LANDSCAPE AREAS
- POLICY AMG 3: PROTECTING AND ENHANCING FEATURES AND QUALITIES THAT ARE DISTINCTIVE TO THE LOCAL LANDSCAPE CHARACTER
- POLICY AT 2 : ENABLING DEVELOPMENT
- POLICY AT 3: LOCALLY OR REGIONALLY SIGNIFICANT NON-DESIGNATED HERITAGE ASSETS
- POLICY PS 22: MINERALS

#### **Policies from the Eryri Local Development Plan 2016-2031**

- Strategic Policy A: National Park Purposes and Sustainable Development
- Development Policy 1: General Development Principles
- Strategic Policy D: Natural Environment
- Development Policy 2: Development and the Landscape
- Development Policy 3: Energy
- Strategic Policy Ff: Historic Environment
- Development Policy 6: Sustainable Design and Materials
- Development Policy 7: Listed and Traditional Buildings
- Development Policy 8: Protection of Non Designated Sites
- Strategic Policy H: A Sustainable Rural Economy

**APPENDIX 3**

**Table 1. Identifies some Typical Development Scenarios and the main Planning Considerations for the WHS and its essential setting.**

<b>Development Scenario and Location</b>	<b>Development Type</b>	<b>Planning Considerations</b>
Small scale development within the WHS and its essential setting.	<ul style="list-style-type: none"> <li>• Householder extensions</li> <li>• Changes of use</li> <li>• Minor tourist proposals (toilets, small parking, and picnic areas)</li> <li>• Minor Visitor accommodation proposals</li> </ul>	<ul style="list-style-type: none"> <li>• Will normally be acceptable if in accordance with planning policy</li> <li>• Acceptable design and use of materials</li> <li>• Consider impact on neighbours</li> <li>• Check whether a listed building, within a conservation area or affecting ancient monument. Refer to page 7 of guidance.</li> <li>• Check pre-application enquiry advice. Refer to page 16 of guidance</li> </ul>
Development of one dwelling or more including conversions or the creation of 100m <sup>2</sup> of floorspace within the WHS.	<ul style="list-style-type: none"> <li>• Residential development</li> <li>• Industrial development</li> <li>• Larger scale tourist and visitor accommodation proposals.</li> <li>• Agricultural development</li> </ul>	<ul style="list-style-type: none"> <li>• Design and Access Statement required. Refer to page 10 of guidance.</li> <li>• The overall implications on the WHS. Refer to Appendix 1 and the main guidance.</li> <li>• Pre-application enquiry advisable. Take account of feedback and discussion with L.P.A.</li> <li>• Ensure compliance with national and local planning policies.</li> <li>• Consider any appropriate mitigation measures</li> </ul>
Major development within the WHS, its essential setting, significant views, and surrounding areas. Housing (10 or more units)	<ul style="list-style-type: none"> <li>• 10 or more dwellings</li> <li>• Outline planning applications on 0.5 hectares or more where number of dwellings not specified.</li> <li>• Buildings where floor space is 1000m<sup>2</sup> or more</li> </ul>	<ul style="list-style-type: none"> <li>• Design and Access Statement Required (apart from mining and waste proposals). Refer to page 10 of guidance.</li> <li>• Statutory pre-application consultation required. Refer to page 17 of guidance.</li> </ul>

	<ul style="list-style-type: none"> <li>• Mining</li> <li>• Waste development</li> <li>• Renewable energy</li> <li>• Development on site area of 1 hectare or more.</li> </ul>	<ul style="list-style-type: none"> <li>• The overall implications on the WHS, its essential setting, significant views, and surrounding areas.</li> <li>• Pre application enquiry highly advisable. Take account of feedback and discussion with L.P.A. and consultees.</li> <li>• Ensure compliance with national and local planning policies.</li> <li>• Wider landscape/setting implications arising from larger proposals.</li> <li>• Environmental Impact Assessment may be necessary</li> <li>• Consider any appropriate mitigation measures.</li> </ul>
--	---	--

DRAFT

<b><u>Rhif Eitem / Item No.</u></b>	<b><u>Cyfeirnod / Reference No.</u></b>	<b><u>Disgrifiad / Description.</u></b>	<b><u>Swyddog Achos / Case Officer</u></b>
1	NP4/13/61B	Codi is-bwerdy trydanol 11KV arfaethedig Proposed erection of 11kv electric substation	Richard Thomas
2	NP5/50/346E	Addasiadau allanol ac addasu ac ymestyn y balconi presennol External alterations and alter and extend the existing balcony	Sophie Berry

**Snowdonia National Park Authority  
– Planning & Access Committee**

**Date: 29-Jun-2022**

**Application Number:** NP4/13/61B

**Date Application Registered:** 17/11/21

**Community:** Capel Curig

**Grid Reference:** 272046 358247

**Case Officer:** Mr. Richard Thomas

**Location:**  
Car Park, Capel Curig.

**Applicant:**

SP Energy Networks  
3 Prenton Way  
Prenton  
CH43 3ET

**Description:**

Proposed erection of 11kv electric substation

**Summary of the Recommendation:**

To **APPROVE** subject to the following conditions:

- Start work within 5 years.
- Accordance with approved plans.
- Appropriate materials
- Stonework sample
- Submission of scheme of landscaping and biodiversity enhancement
- Timing of works

**Assessment**

1.1 This application was originally presented to the Planning and Access Committee of 2<sup>nd</sup> March 2022 with a recommendation for approval. At that Committee members considered that the application could not be approved as recommended and suggested amendments that required further consideration by the applicant.

1.2 The suggested amendments by Members were minuted as:

- i. retain two sessile oak trees on the western boundary of the car park by moving the substation building back (northwards) and possibly incorporating the stone boundary wall into the gable of the proposed building.
- ii. to improve biodiversity with additional trees of a native and appropriate species either along the southern boundary within the proposed hedge line and/or elsewhere within the site boundary to allow winter foraging species in hedge.
- iii. explanation of vents and possible noise implications.



- iv. provide a simplified plan to show the proposed undergrounding of the existing powerline and the number and location of the 'H' poles being removed.
- v. possibility of timber cladding as opposed to stone on the building.
- vi. confirm that the floor levels of the proposed building would be at the same level as the existing ground level of the car park.
- vii. substation to be constructed outside of the tourist season.
- viii. assurance that vehicular access to the building will be sufficient once completed.

1.3 The table below shows the applicants response to each point raised:

		<b>Applicant response</b>
i.	Relocate building to enable the retention of trees.	Agreed - Revised plan submitted which relocates proposed substation to enable retention of the two sessile oak trees.
ii	Biodiversity and landscaping improvements	Agreed – suggest pre-commencement condition
iii	Explanation of vents and noise implications	No noise impacts from substation. Noise level within outdoor ambient level of 55dBLAeq
iv	Simplified undergrounding plan	Agreed - Plan submitted, 35 poles and 4 transformer 'H' poles to be removed.
v	Consider timber cladding	Not agreed – not an acceptable external cladding due to potential fire risk.
vi	Confirm floor levels	Finished floor level will only be slightly higher than the carpark due to damp proof course.
vii	Construction work to be undertaken outside tourist season	Agree to condition to ensure construction outside main tourist season
viii	Vehicular access is sufficient	Confirmed that vehicular access is adequate for the occasional level access required.

1.4 From the above table it can be seen that with the relocation of the proposed substation by moving it north by 2 metres the two sessile oaks are retained. The applicants have also agreed to all matters and provided assurances raised by Members other than the external cladding for understandable reasons, i.e., timber cladding would be seen as a possible fire risk.

1.5 On this basis a recommendation for approval is considered appropriate.

## **2. Recommendation**

2.1 To **Approve** this application subject to the following conditions:

1. The development hereby permitted shall be commenced before the expiration of FIVE years from the date of this decision.
2. The development hereby permitted shall be carried out in accordance with the following approved plans:

SP4148036: Amended Location Plan

SP4140554 rev 5: Amended Proposed site plan

SP4147001 rev 0: Amended Proposed Elevations and Floor Plan

3. The roof of the building shall be covered with blue-grey slates from the Blaenau Ffestiniog area, or slates with equivalent colour, texture and weathering characteristics details of which shall be provided and approved in writing by the Local Planning Authority.
4. Prior to any stonework commencing on the site, a trial stonework panel including pointing not less than 2.00 sqm shall be constructed. No building operations in stone shall be carried out on the site unless and until the trial panel has been inspected and approved by means of a formal application to the Local Planning Authority. The stonework of the building shall be built in accordance with the approved sample.
5. No development or site clearance shall take place until there has been submitted to and approved by the local planning authority a scheme of landscaping and biodiversity enhancement by means of a formal application. The scheme shall include indications of all existing trees (including spread and species) and hedgerows on the land, identify those to be retained and set out measures for their protection throughout the course of development.
6. All planting, seeding or turfing comprised in the approved details of landscaping shall be carried out in the first planting and seeding seasons following the occupation of the buildings or the completion of the development, whichever is sooner; and any trees or plants which within the period of 5 years from the completion of the development die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species.
7. No development in pursuant to this approval shall take place within the main tourist season (01 July to 31 August) in any year.

### **Reasons:**

1. To Comply with Section 91 (as amended) of the Town and Country Planning Act 1990
2. To define the permission and for the avoidance of doubt

3. To ensure a satisfactory standard of appearance of the development and the use of appropriate local building materials, in accordance with Eryri Local Development Plan Policies and in particular policies 1, 6 and A.
4. To ensure a satisfactory standard of appearance of the development and the use of appropriate local building materials, in accordance with Eryri Local Development Plan Policies and in particular policies A,1,6.
- 5 & 6 To preserve and enhance the visual amenities of the area and to ensure enhanced biodiversity, in accordance with Eryri Local Development Plan policies and in particular Policies D and 1.
7. To ensure no disruption to the use of the carpark by visitors during the tourist season.

**Background Papers in Document Bundle No.1: No**

**Snowdonia National Park Authority    Date: 02/03/2022**  
**– Planning & Access Committee**

---

**Application Number:** NP4/13/61B

**Date Application Registered:** 17/11/21

**Community:** Capel Curig

**Grid Reference:** 272048 358246

**Case Officer:** Mr Richard Thomas

**Location:**  
Car Park, Capel Curig.

**Applicant:**  
Mrs. Claire Duffy  
SP Energy Networks  
3 Prenton Way  
Prenton  
CH43 3ET

**Description:**  
Proposed erection of 11kv electric  
substation.

**Summary of the Recommendation:**

To **APPROVE** subject to the following conditions:

- Start work within 5 years.
- Accordance with approved plans.
- Appropriate materials
- Stonework sample
- Biodiversity enhancement measures

**Reason(s) Application Reported to Committee:**  
**Scheme of Delegation**

Application on Snowdonia National Park Authority Land

**Wellbeing of Future Generations Act (WBFG):**

Account has been taken of the WBFG Act in the consideration of this application and in the recommendation to the Planning and Access Committee.

**Land Designations / Constraints:**

Open Countryside

### **Site Description and Background:**

This application refers to land at the SNPA owned and managed car park at Capel Curig.

This car park is a popular point for walkers to access the footpaths to the north and east of Capel Curig. The car park can accommodate approximately 25 - 30 vehicles.

This car park is informally laid out with rough surfacing and small grassed picnicking area.

### **Relevant Planning Policies:**

*Eryri Local Development Plan 2016-2031*

- SPC – Spatial Development Strategy
- DP1 – General Development Principles
- DP2 – Development and the Landscape
- DP6 – Sustainable Design and Materials
- SPNg – Community Services and Facilities

### **Statutory Consultations:**

Community Council: No objections  
Highways Authority: No objections  
Natural Resources Wales: No objections  
Trunk Roads Authority: No direction received  
SAB: No comments received  
SNPA Forestry: No objections received  
SNPA Property: No objections received

### **Response to Publicity:**

The application was advertised by way of a site notice and by letter to nearby neighbours.  
No responses were received to the notice or letters.

### **Assessment:**

- 1.1 This application proposes the erection of a modest electricity substation within the SNPA owned car park at Capel Curig.
- 1.2 The substation is a part of a wider scheme to underground overhead 11kv power lines within and around Capel Curig thereby reducing the visual impact of the lines on the environment of the National Park.

- 1.3 The substation will remove the requirement for a number of 'H' pole structures at the points where lines are being undergrounded.
- 1.4 This application follows pre-application discussions with the Authority Planning Officer and Property Manager to agree a suitable location within the car park and to ensure the design and materials proposed are most appropriate.
- 1.5 The applicant has discussed and agreed a lease for the substation within the Authority owned car park.
- 1.6 The proposal shows the erection of a stone clad, natural mineral slated roofed substation measuring 8m x 4.4m with an overall height to ridge of 4.8m. It is proposed to site this substation within a largely grassed corner of the carpark with the loss of one parking space.
- 1.7 It is considered that this modest building has an appropriate form and design and shows materials suitable for this rural location.
- 1.8 Whilst the building will have a visual impact on the local landscape its scale and use of materials are considered to be appropriate for the location and any impact is overcome by the removal of overhead lines and intrusive 'H' Poles in the wider landscape to the benefit of the Special Qualities of the National Park.
- 1.9 The proposed plans will require the removal of three trees which will be replaced by 28 metres of native species hedging to the west and northern boundaries to provide for biodiversity enhancement.
- 1.10 On this basis a recommendation for approval is considered appropriate.

### **Background Papers in Document Bundle No. 1: No**

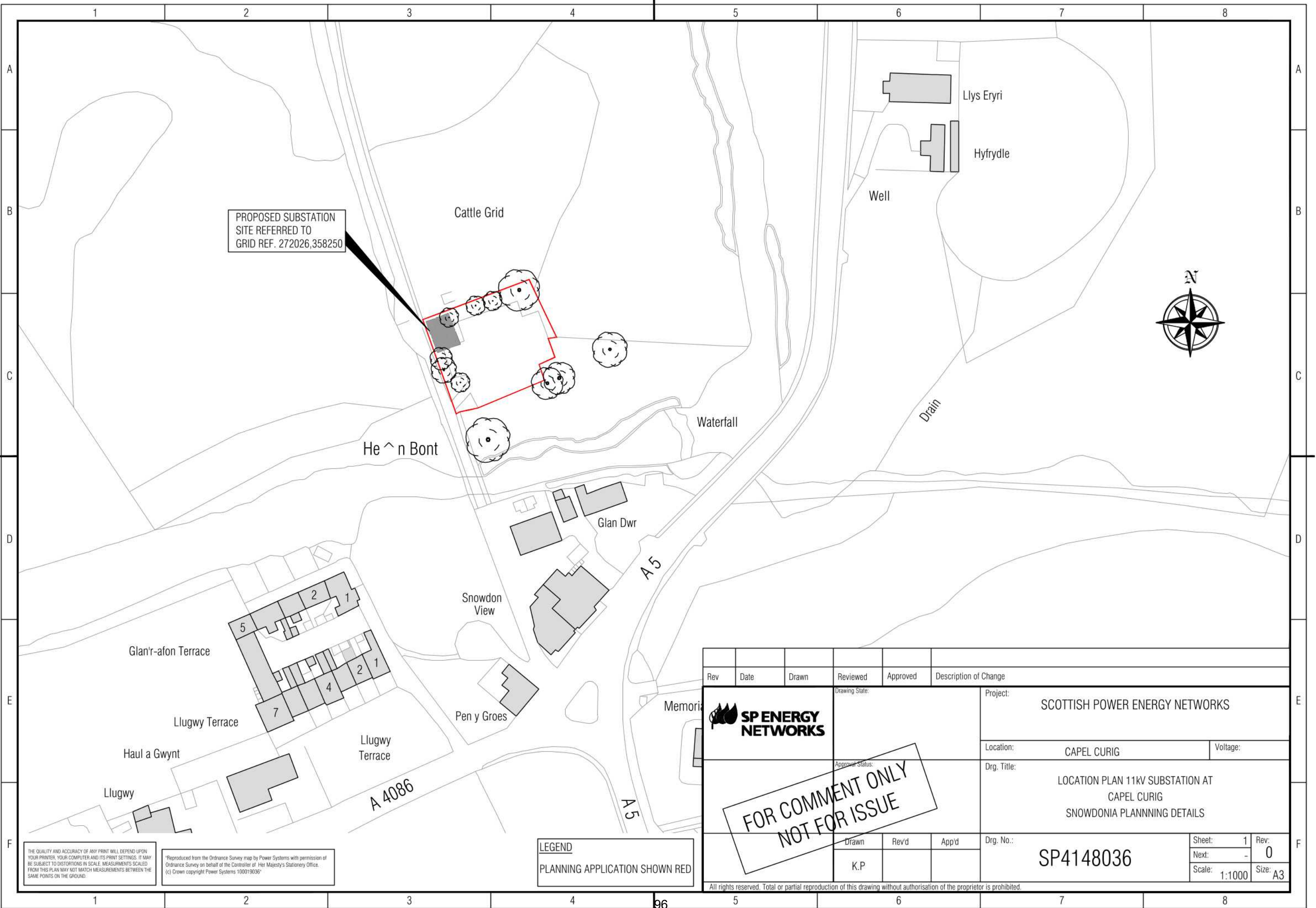
**RECOMMENDATION:** To **Approve** this application subject to the following conditions:

1. The development hereby permitted shall be commenced before the expiration of FIVE years from the date of this decision.
2. The development hereby permitted shall be carried out in accordance with the following approved plans:
  - SP4148036: Location Plan
  - SP4140554 rev 4: Proposed site plan
  - SP4147001: Proposed Elevations and Floor Plan

3. The roof of the building shall be covered with blue-grey slates from the Blaenau Ffestiniog area, or slates with equivalent colour, texture and weathering characteristics details of which shall be provided and approved in writing by the Local Planning Authority.
4. Prior to any stonework commencing on the site, a trial stonework panel including pointing not less than 2.00 m<sup>2</sup> shall be constructed. No building operations in stone shall be carried out on the site unless and until the trial panel has been inspected and approved by means of a formal application to the Local Planning Authority. The stonework of the building shall be built in accordance with the approved sample.
5. The applicant/developer shall ensure that the proposed landscaping recommended at paragraph 2.5 in the Tree Impact Assessment report (L. O'Connor, 04/11/2020) are followed and implemented in full.

Reasons:

1. To Comply with Section 91 (as amended) of the Town and Country Planning Act 1990.
2. To define the permission and for the avoidance of doubt.
3. To ensure a satisfactory standard of appearance of the development and the use of appropriate local building materials, in accordance with Eryri Local Development Plan Policies 2016-2031 and in particular policies 1, 6 and A.
4. To ensure a satisfactory standard of appearance of the development and the use of appropriate local building materials, in accordance with Eryri Local Development Plan Policies 2016-2031 and in particular policies A, 1 and 6.
5. To ensure a satisfactory standard of development and to endure Biodiversity Enhancement in accordance with Eryri Local Development Plan Policies 2016-2031 and in particular Policy D.




PROPOSED SUBSTATION  
SITE REFERRED TO  
GRID REF. 272026,358250



THE QUALITY AND ACCURACY OF ANY PRINT WILL DEPEND UPON YOUR PRINTER, YOUR COMPUTER AND ITS PRINT SETTINGS. IT MAY BE SUBJECT TO DISTORTIONS IN SCALE. MEASUREMENTS SCALED FROM THIS PLAN MAY NOT MATCH MEASUREMENTS BETWEEN THE SAME POINTS ON THE GROUND.

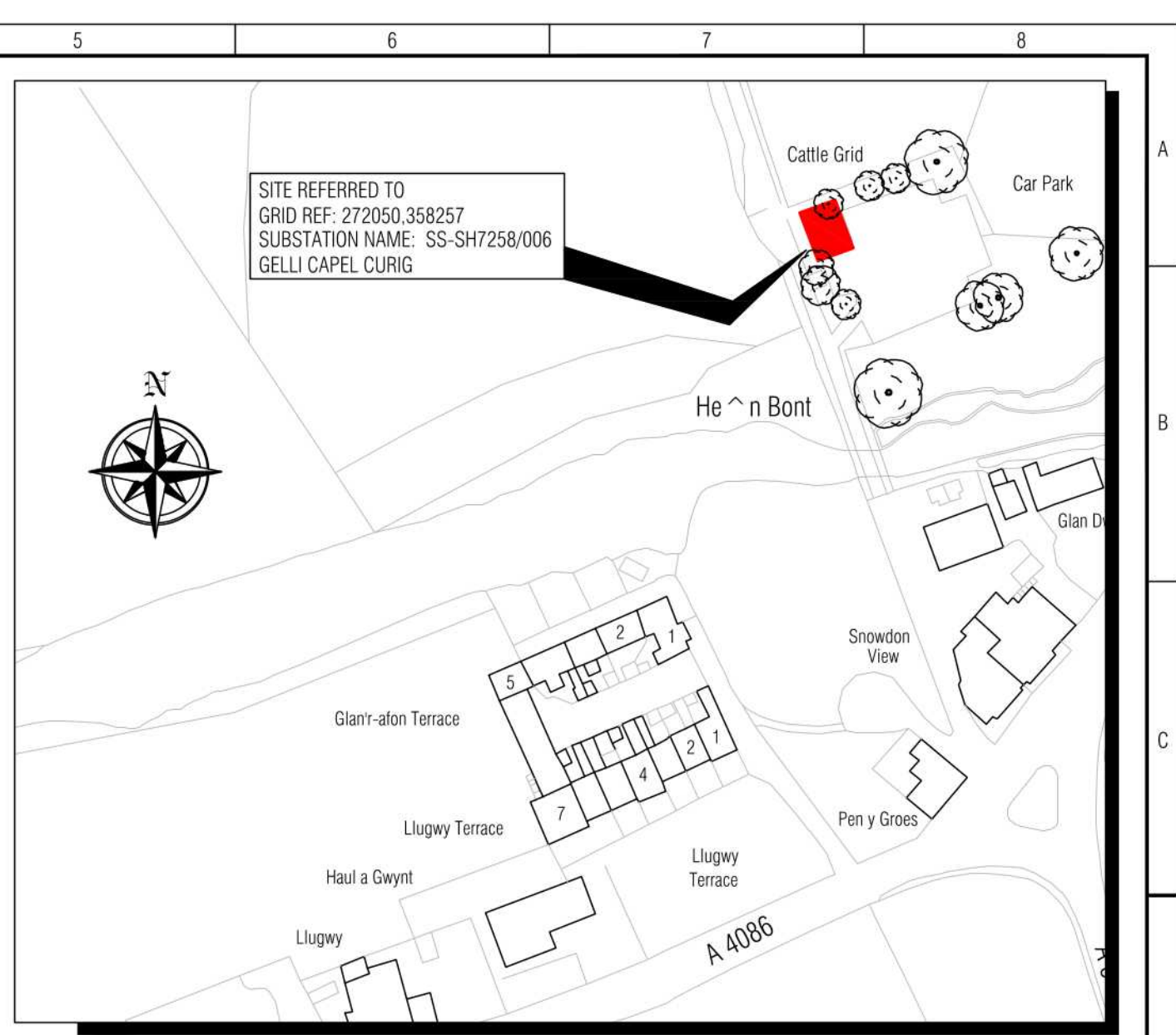
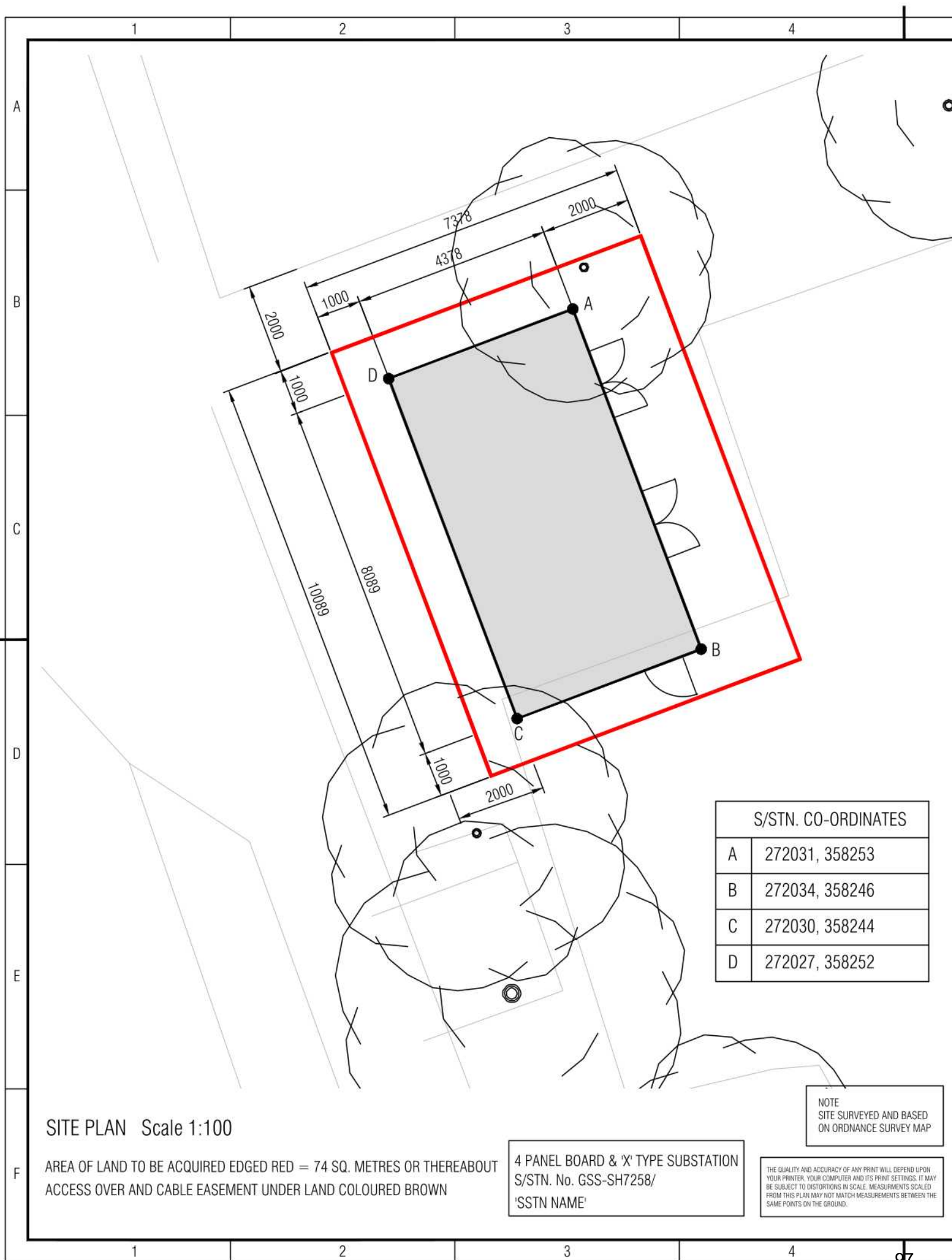
\*Reproduced from the Ordnance Survey map by Power Systems with permission of Ordnance Survey on behalf of the Controller of Her Majesty's Stationery Office. (c) Crown copyright Power Systems 100019036

**LEGEND**  
PLANNING APPLICATION SHOWN RED

Rev	Date	Drawn	Reviewed	Approved	Description of Change
					Drawing State: 
					Project: SCOTTISH POWER ENERGY NETWORKS Location: CAPEL CURIG Voltage: Drg. Title: LOCATION PLAN 11KV SUBSTATION AT CAPEL CURIG SNOWDONIA PLANNING DETAILS
					Approval Status: <div style="border: 2px solid black; padding: 5px; transform: rotate(-15deg); display: inline-block;">                         FOR COMMENT ONLY NOT FOR ISSUE                     </div>
					Drg. No.: SP4148036 Sheet: 1 Rev: 0 Next: - Scale: 1:1000 Size: A3
					Drawn: K.P. Rev'd: App'd:

All rights reserved. Total or partial reproduction of this drawing without authorisation of the proprietor is prohibited.





\*Reproduced from the Ordnance Survey map by Power Systems with permission of Ordnance Survey on behalf of the Controller of Her Majesty's Stationery Office. (c) Crown copyright Power Systems 100019036\*

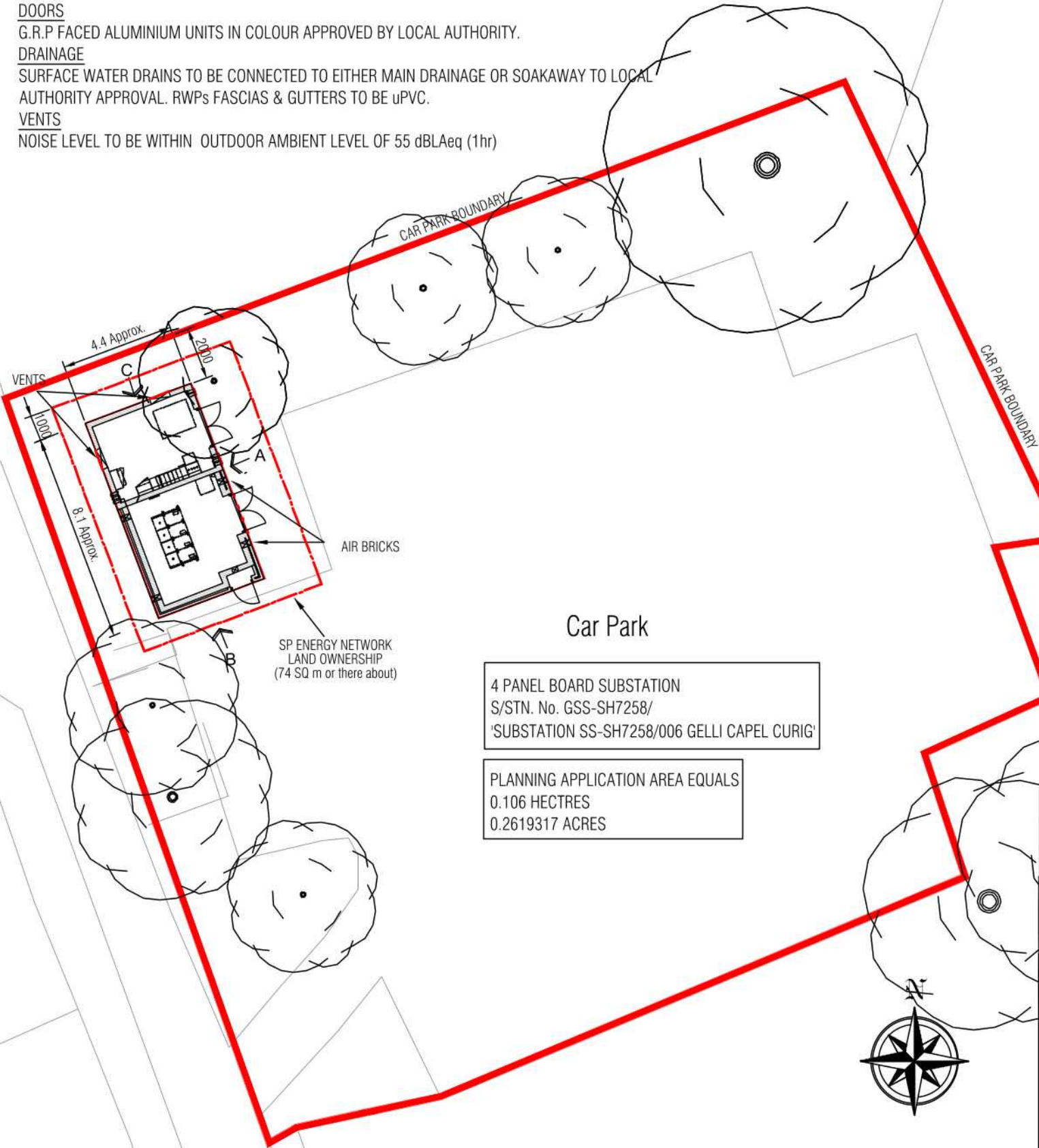
Rev	Date	Drawn	Reviewed	Approved	Description of Change
5	08/06/2022	K.P	S.E	S.E	SUBSTION MOVED TO BE 2 METRES FROM WALL
4	18/08/2020	S.D	H.B	H.B	SUBSTATION LOCATION MOVED
3	11/12/2018	K.P	H.B	H.B	ACCESS ROUTE AMENDED
2	15/06/2018	CB	HB	HB	AMENDMENT TO ACCESS
1	28/09/2017	C.B.	G.W.	G.W.	-

	Drawing State: Approved			Project:	
	Approval Status: For Issue			Location: CAPEL CURIG	
			Drg. Title: 11KV SUBSTATION AT CAPEL CURIG.		
			Drg. No.: SP4140554		Sheet: 5
			Drawn: K.P		Rev: 5
			Rev'd: S.E		Scale: AS SHOWN
			App'd: S.E		Size: A3

All rights reserved. Total or partial reproduction of this drawing without authorisation of the proprietor is prohibited.

**NOTES:**

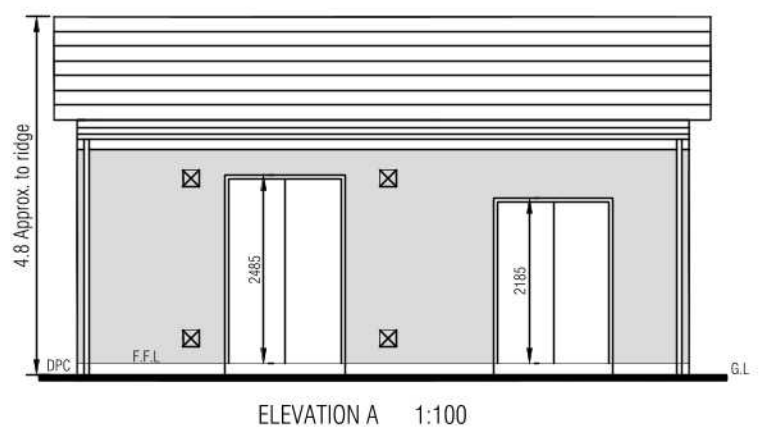
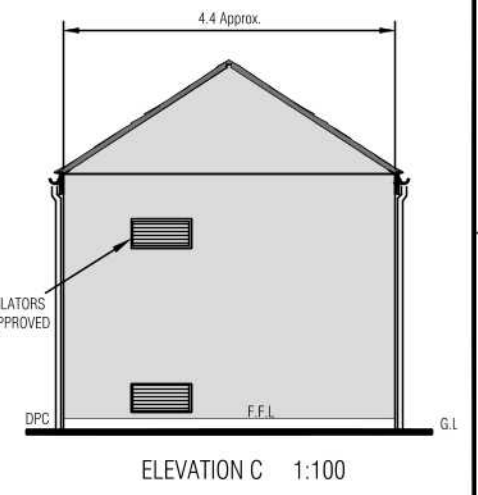
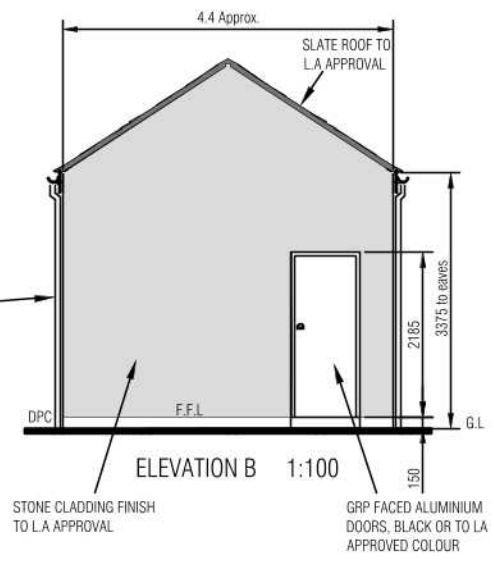
1. **ROOF**  
PITCHED ROOF IN WELSH SLATE TRUSSED RAFTERS BY SPECIALIST OVER SEALED & INSULATED ROOF DECK OF PRESTRESSED CONCRETE ROOF UNITS.
2. **WALLS**  
STONE OUTER LEAF TO BE APPROVED BY LOCAL AUTHORITY, 75mm CAVITY PARTIALLY FILLED WITH INSULATION TIED TO INTERNAL 215mm SKIN OF BRICKWORK WITH STAINLESS STEEL WALL TIES.
3. **DOORS**  
G.R.P FACED ALUMINIUM UNITS IN COLOUR APPROVED BY LOCAL AUTHORITY.
4. **DRAINAGE**  
SURFACE WATER DRAINS TO BE CONNECTED TO EITHER MAIN DRAINAGE OR SOAKAWAY TO LOCAL AUTHORITY APPROVAL. R.W.Ps FASCIA'S & GUTTERS TO BE uPVC.
5. **VENTS**  
NOISE LEVEL TO BE WITHIN OUTDOOR AMBIENT LEVEL OF 55 dBAeq (1hr)



4 PANEL BOARD SUBSTATION  
S/STN. No. GSS-SH7258/  
'SUBSTATION SS-SH7258/006 GELLI CAPEL CURIG'

PLANNING APPLICATION AREA EQUALS  
0.106 HECTRES  
0.2619317 ACRES

SITE PLAN Scale 1:200



THE QUALITY AND ACCURACY OF ANY PRINT WILL DEPEND UPON YOUR PRINTER, YOUR COMPUTER AND ITS PRINT SETTINGS. IT MAY BE SUBJECT TO DISTORTIONS IN SCALE. MEASUREMENTS SCALED FROM THIS PLAN MAY NOT MATCH MEASUREMENTS BETWEEN THE SAME POINTS ON THE GROUND.

\*Reproduced from the Ordnance Survey map by Power Systems with permission of Ordnance Survey on behalf of the Controller of Her Majesty's Stationery Office. (c) Crown copyright Power Systems 100019036P

Rev	Date	Drawn	Reviewed	Approved	Description of Change
<p><b>SP ENERGY NETWORKS</b></p> <p><b>FOR COMMENT ONLY NOT FOR ISSUE</b></p>					
<p>Drawing State:</p>			<p>Project: SCOTTISH POWER ENERGY NETWORKS</p>		
<p>Location: CAPEL CURIG</p>			<p>Voltage:</p>		
<p>Drg. Title: PROPOSED 11KV SUBSTATION AT CAPEL CURIG SNOWDONIA PLANNING DETAILS</p>			<p>Drg. No.: SP4147001</p>		
<p>Drawn: K.P</p>		<p>Rev'd:</p>		<p>App'd:</p>	
<p>Sheet: 1</p>		<p>Next: -</p>		<p>Rev: 0</p>	
<p>Scale: Shown</p>		<p>Size: A3</p>			

All rights reserved. Total or partial reproduction of this drawing without authorisation of the proprietor is prohibited.

**Snowdonia National Park Authority  
– Planning & Access Committee**

**Date:** 29-Jun-2022

**Application Number:** NP5/50/346E

**Date Application Registered:** 13/04/2022

**Community:** Aberdyfi

**Grid Reference:** 261811 296071

**Case Officer:** Ms. Sophie Berry

**Location:**

9 Terrace Road, Aberdyfi. LL35 0LP

**Applicant:**

Mr. Edward Davies  
9 Terrace Road  
Aberdyfi  
Gwynedd  
LL35 0LP

**Description:**

External alterations and alter and extend the existing balcony

**Summary of the Recommendation:**

To **APPROVE** subject to the following conditions:

- Start work within 5 years.
- Accordance with approved plans and documents.
- Within 3 months of the date of the decision a bird box shall be installed as proposed on plan PL001A in a location to be first agreed with the Local Planning Authority.
- The external timber to the balcony shall not be stained, painted or creosoted.

**Reason(s) Application Reported to Committee:**

Objection from Community Council

**Land Designations / Constraints:**

- Housing Development Boundary
- Aberdyfi Conservation Area

**Site description and background:**

The property is an end of terrace dwelling within Aberdyfi Conservation Area. It occupies an elevated position above the highway with domestic properties to its east and west.

Previous planning applications at the site include:

NP5/50/346A - Construction of first floor rear extension – Permitted with conditions 3 March 2009

NP5/50/346B – Retrospective application for extension of external timber entrance access way and balcony seating area – Permitted with conditions 9 June 2010

NP5/50/346C – Construction of terrace in rear garden - Withdrawn

NP5/50/LU346D – Certificate of Lawful Use (Proposed Use) to form new raised platform and hardstanding within the curtilage – undetermined to date

### **Relevant Planning Policies:**

Eryri Local Development Plan 2016-2031

- SP A: National Park Purposes and Sustainable Development
- DP 1: General Development Principles
- SP D: Natural Environment
- SP Ff: Historic Environment
- DP 6: Sustainable Design and Materials
- DP 15: Extensions

### **National Policies:**

- Future Wales: The National Plan 2040
- Planning Policy Wales (Edition 11) 2021

### **Statutory Consultations:**

Aberdyfi Community Council	Object on the grounds that it is not in keeping with the surrounding properties and local area
Ecology	No response

### **Response to Publicity:**

The application was advertised by way of letter to nearby neighbours.

No comments have been received.

### **Assessment**

1.1 This application seeks permission to extend the existing timber balcony to the front of the dwelling, build out part of the facade to remove a recess serving an existing door and replace an existing sash window with a pair of glazed doors which will open out onto the new balcony area.

1.2 The existing balcony will be extended to meet the existing bay window to the left of the current structure and in a north-easterly direction across the front of the property. Any defective timber in the existing structure will be replaced. The completed balcony will measure 2.4m in depth by 6.3m in length and constructed from oak. A steel spiral staircase will descend from the eastern side of the balcony, replacing the existing steps. Its overall depth is not being increased compared to the existing structure.

- 1.3 The existing façade incorporates an arched recessed doorway. It is proposed to remove the recess and make this part of the elevation flush whilst installing a pair of arch-top glazed doors to emulate the size and shape of the existing opening.
- 1.4 Currently, the right hand first floor opening is a sash window. It is proposed to replace this with a further set of glazed doors. Originally, the design was curved but, following discussions with the officer, it has since been amended to reflect the rectangular shape of the existing opening.
- 1.5 Ecological enhancement has been proposed in the form of a bird box to the rear of the property and the proposal therefore complies with the obligation in Planning Policy Wales (Edition 11, February 2021).
- 1.6 The community council have objected to the proposal on the basis that it is not in keeping with the surrounding properties and local area. However, the application property is unique compared to its neighbours with an elongated façade which is splayed at a more extreme angle. It already benefits from an existing timber balcony, a feature which a previous application notes has existed historically at the dwelling, with steps that descend to ground level. It is not therefore considered that the extension of the balcony would have any significant additional negative impact upon its appearance of that of the conservation area. There will be no adverse impact on the residential amenity of adjoining occupants. The changes to the openings have been carefully designed to reflect the shape of the existing openings and these alterations are also considered to be acceptable.

## **2. Conclusions**

- 2.1 The proposal is considered to be of an appropriate design and scale and will not have an adverse impact upon visual amenity, the design and appearance of the property or area or upon the residential amenity of neighbouring properties, conforming with the relevant policies of the LDP. Consequently, a recommendation to grant planning permission is made.

## **3. Recommendation**

- 3.1 To **GRANT** this application subject to the following conditions: for the following reason:

- 1) The development hereby permitted shall be commenced before the expiration of FIVE years from the date of this decision.

2) The development hereby permitted shall be carried out in accordance with the following approved plans and documents:

- EX-001 Location and Existing Block Plan
- PL-001A Proposed Block Plan
- PL-002 Proposed Plans
- PL-003A Proposed Elevations
- BA3268 Design and Access Statement

3) Within 3 months of the date of this decision a bird box shall be installed as propose on plan PL001A in a location to be first formally agreed with the Local Planning Authority. The box shall then be installed in accordance with the approved details.

4) The external timber to the balcony shall not be stained, painted or creosoted.

**Reasons:**

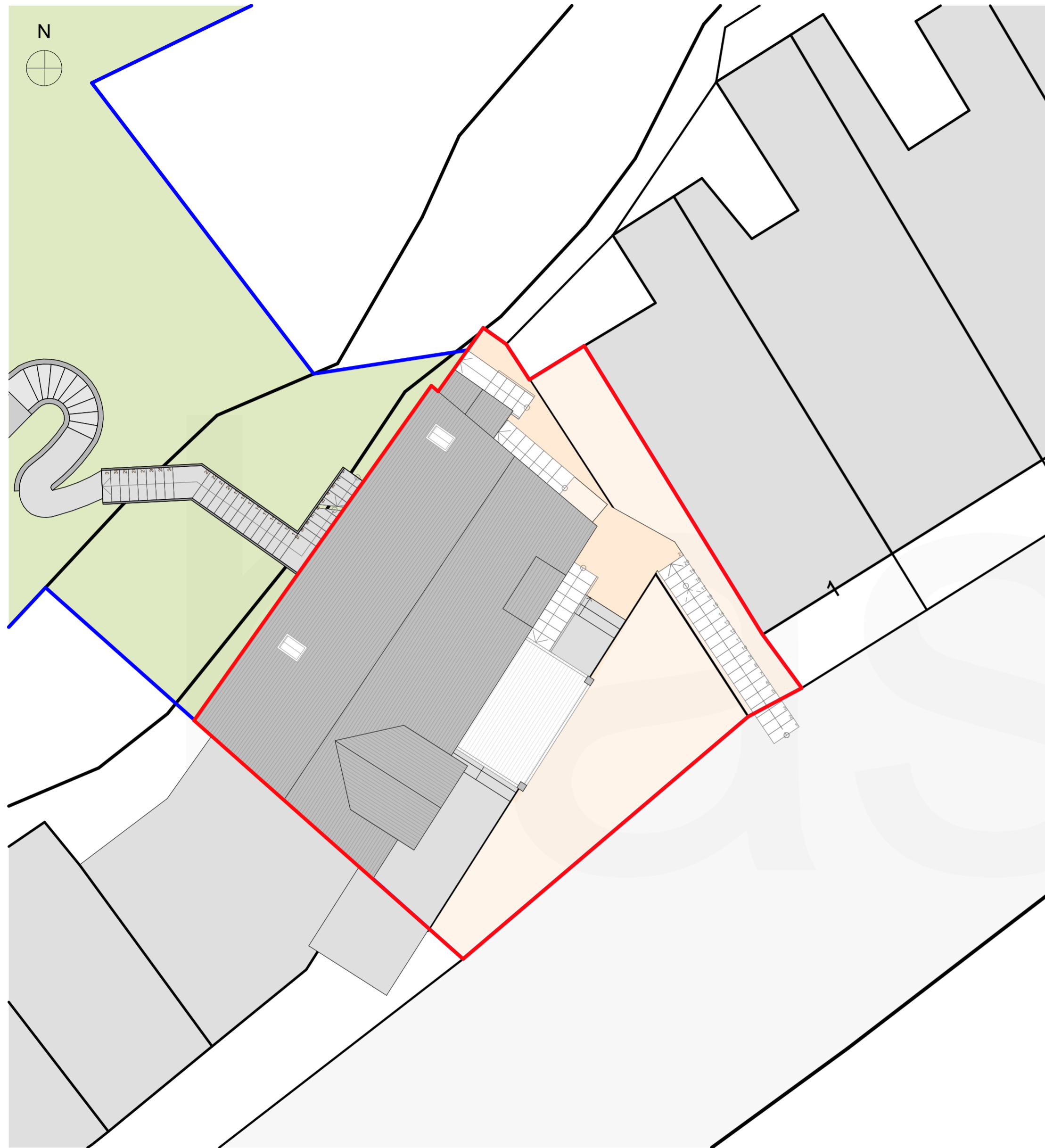
1) To Comply with Section 91 (as amended) of the Town and Country Planning Act 1990.

2) To define the permission and for the avoidance of doubt.

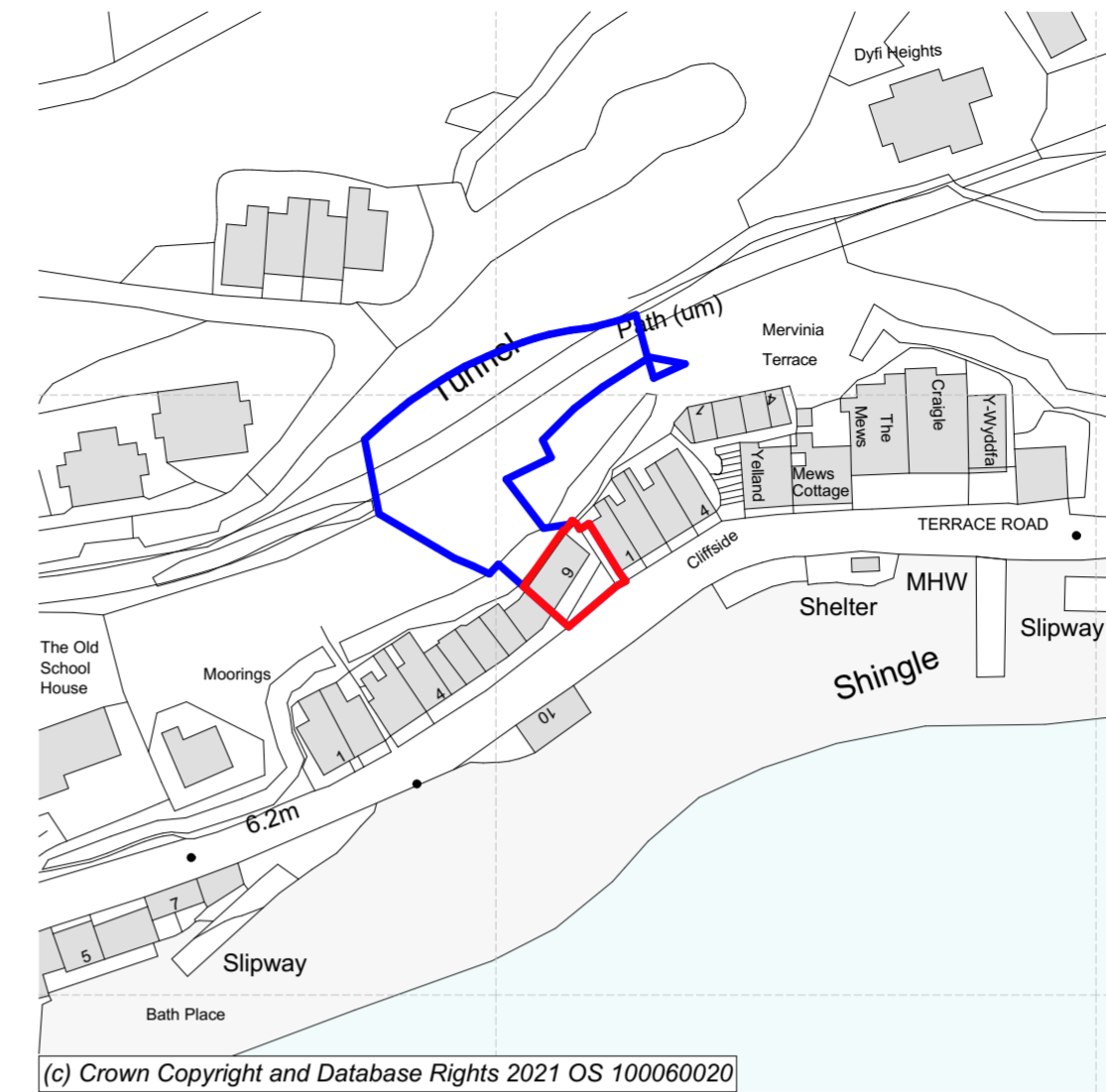
3) To secure biodiversity enhancement, in accordance with Eryri Local Development Plan policies and paragraph 6.4.5 of Planning Policy Wales.

4) To allow the external timber to weather naturally and to safeguard the character and appearance of the immediate locality in accordance with Eryri Local Development Plan Policies and in particular Policies A, 1, 6 (and 7).

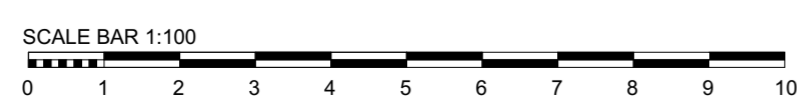
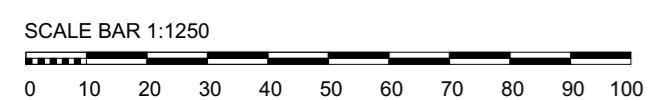
**Background Papers in Document Bundle No.1: No**



**Existing Site Plan**  
1:100



**Location Plan**  
1:1250



Rev.	Revision Description.
By.	
Chk.	

Scale. 1:1250, 1:100 @ A2	Drawn by. YL
------------------------------	-----------------

Date.	Chk. JS
-------	------------

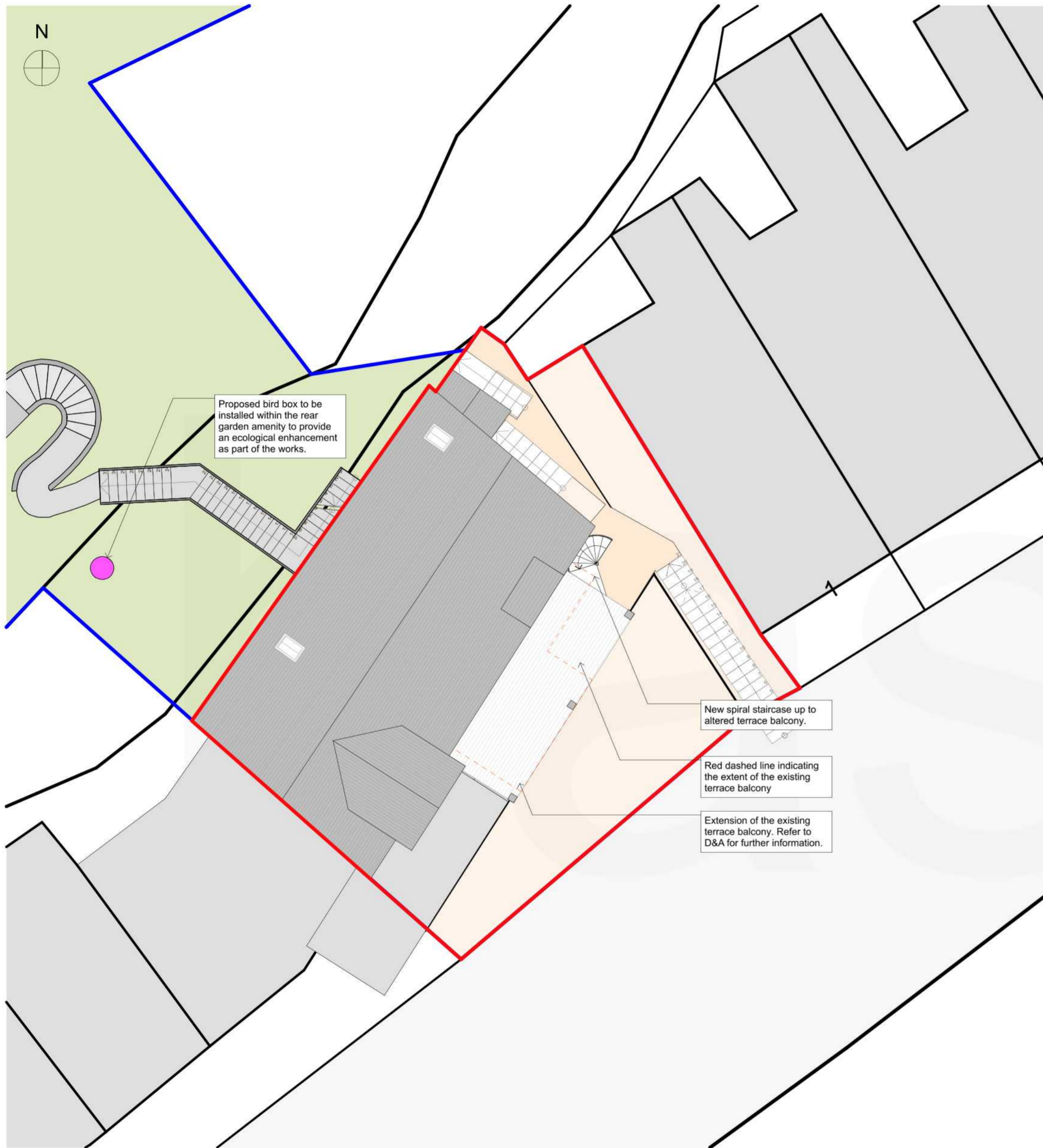
**Project Title**  
9 Terrace Road

**Client**  
Mr & Mrs Davies

**Drawing Title**  
Location & Existing Block Plan

Project No. BA3268	Drawing No. EX-001	Rev.
-----------------------	-----------------------	------

This drawing is the property of base Architecture & Design Ltd. It shall not be copied or scanned, in part or whole, without prior consent of base Architecture and Design. Do not scale this drawing.



**Proposed Site**  
1:100

Rev.	Description
A	Revision Description.
YL	01.06.22_Updates made to planning drawings to show bird box to be installed as part of works.
JS	

Scale. 1:100 @ A2	Drawn by. YL
Date.	Chk. JS

**Project Title**  
9 Terrace Road

**Client**  
Mr & Mrs Davies

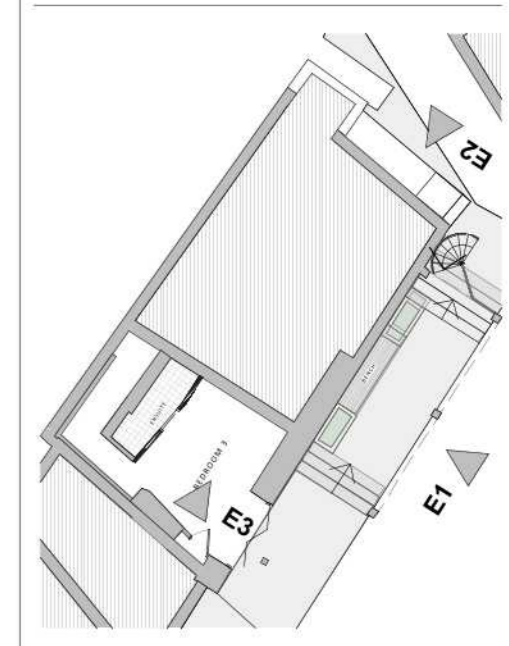
**Drawing Title**  
Proposed Block Plan

Project No. BA3268	Drawing No. PL-001A	Rev.
-----------------------	------------------------	------

This drawing is the property of base Architecture & Design Ltd. It shall not be copied or scanned, in part or whole, without prior consent of base Architecture and Design. Do not scale this drawing.



**Elevation Plan Key**  
1:200



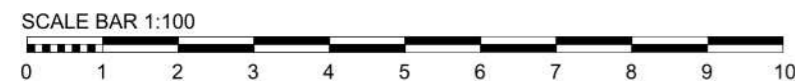
**E1 Existing Front Elevation**  
1:100



**E2 Existing Side Elevation**  
1:100



**E3 Existing Side Elevation**  
1:100



Rev.	A	Revision Description.
By.	YL	01.06.22_Updates made to planning drawings to update window design to match existing style.
Chk.	JS	

Scale.	1:100, 1:200 @ A3	Drawn by.	XX
Date.	XX.XX.XX	Chk.	XX

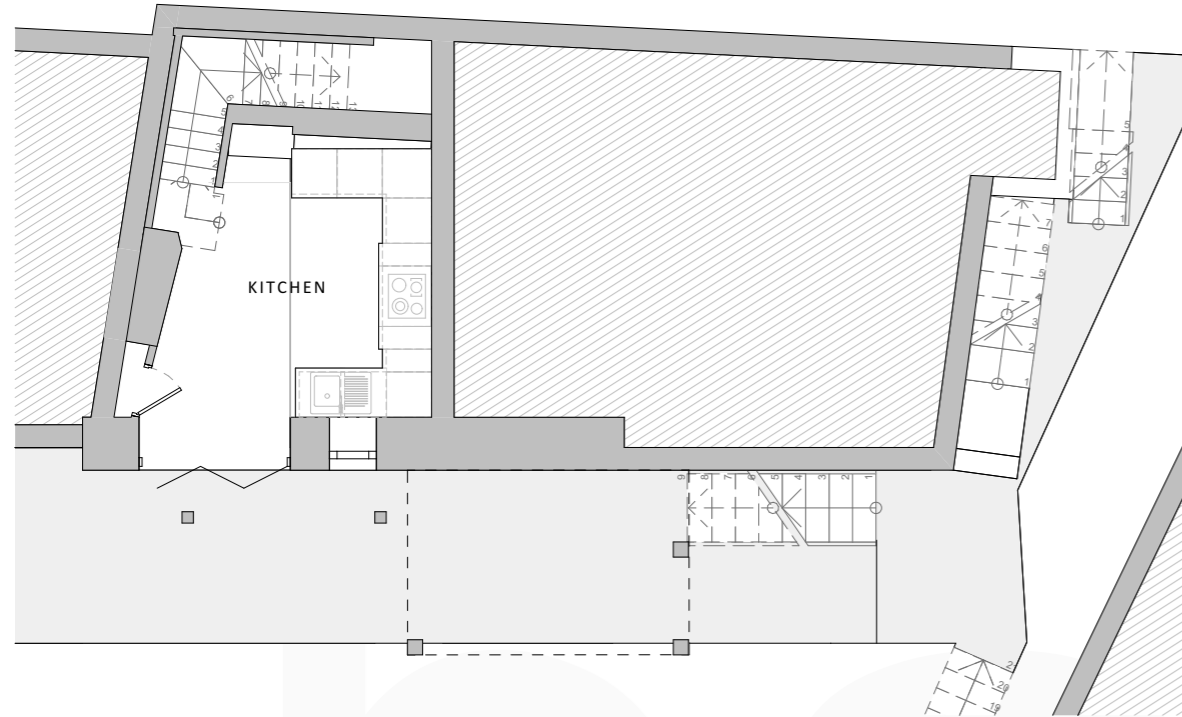
**Project Title**  
9 Terrace Road

**Client**  
Mr & Mrs Davies

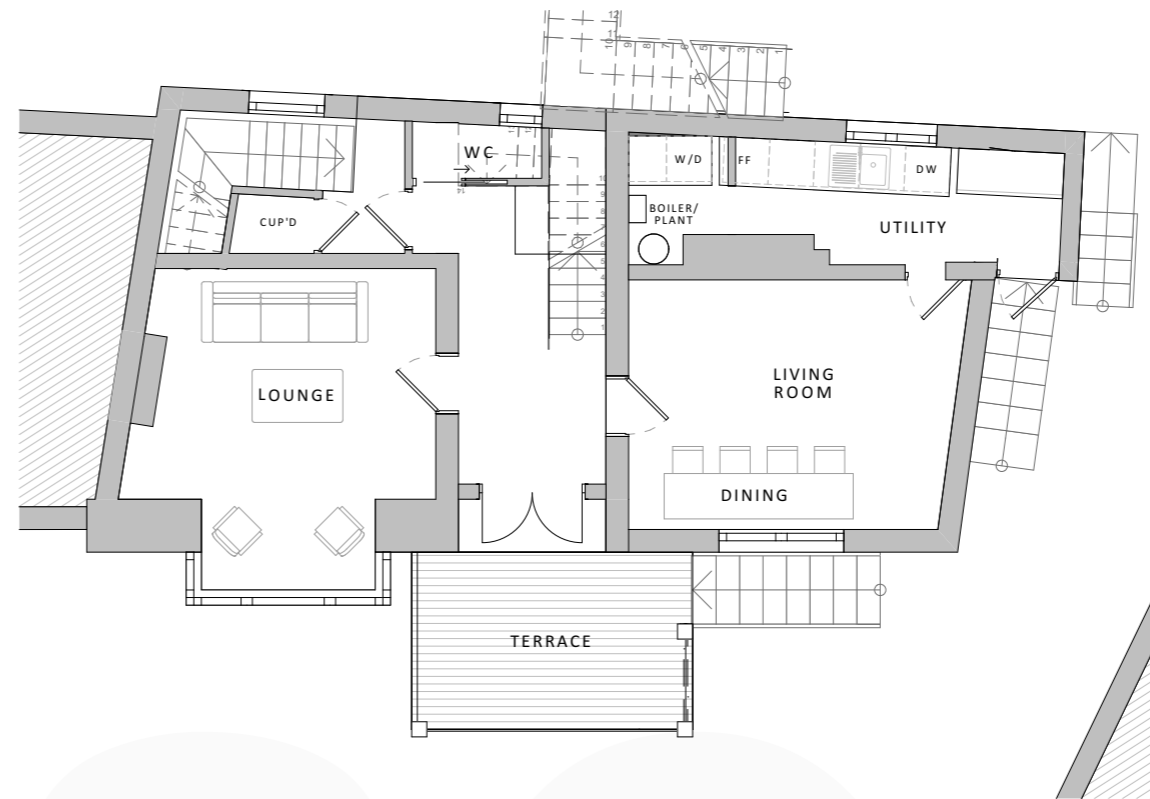
**Drawing Title**  
Existing Elevations

Project No.	BA3268	Drawing No.	EX-003A	Rev.	
-------------	--------	-------------	---------	------	--

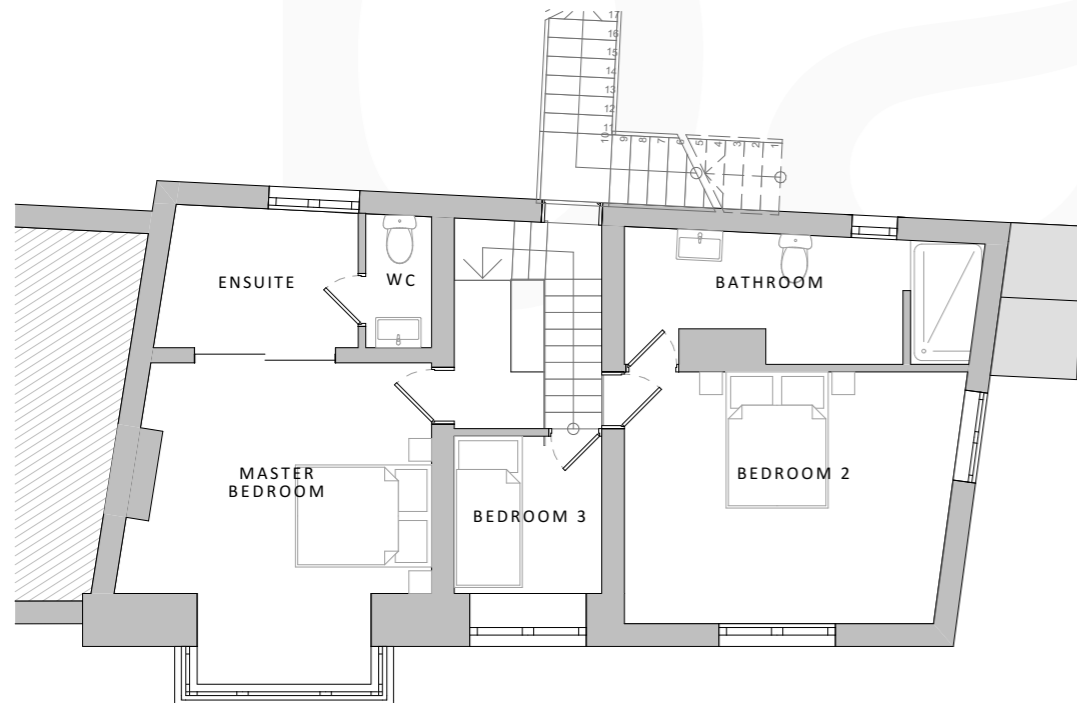
This drawing is the property of base Architecture & Design Ltd. It shall not be copied or scanned, in part or whole, without prior consent of base Architecture and Design. Do not scale this drawing.



**Existing Ground Floor**  
1:100



**Existing First Floor**  
1:100



**Existing Second Floor Plan**  
1:100

Rev.	Revision Description.
-	-
By.	-
Chk.	-

Scale.	1:100 @ A3	Drawn by.	XX
Date.	XX.XX.XX	Chk.	XX

**Project Title**  
9 Terrace Road

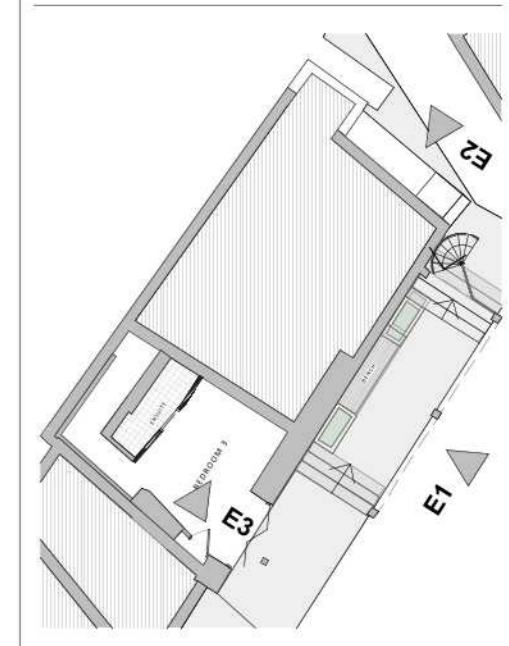
**Client**  
Mr & Mrs Davies

**Drawing Title**  
Existing Floor Plans

Project No.	BA3268	Drawing No.	EX-002	Rev.	
-------------	--------	-------------	--------	------	--

This drawing is the property of base Architecture & Design Ltd. It shall not be copied or scanned, in part or whole, without prior consent of base Architecture and Design. Do not scale this drawing.

**Elevation Plan Key**  
1:200



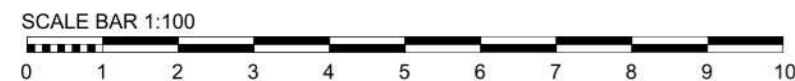
**E1 Proposed Front Elevation**  
1:100



**E2 Proposed Side Elevation**  
1:100



**E3 Proposed Side Elevation**  
1:100



Rev.	Description
A	Revision Description.
YL	01.06.22_Updates made to planning drawings to update window design to match existing style.
JS	

Scale.	1:100, 1:200 @ A3	Drawn by.	YL
Date.		Chk.	JS

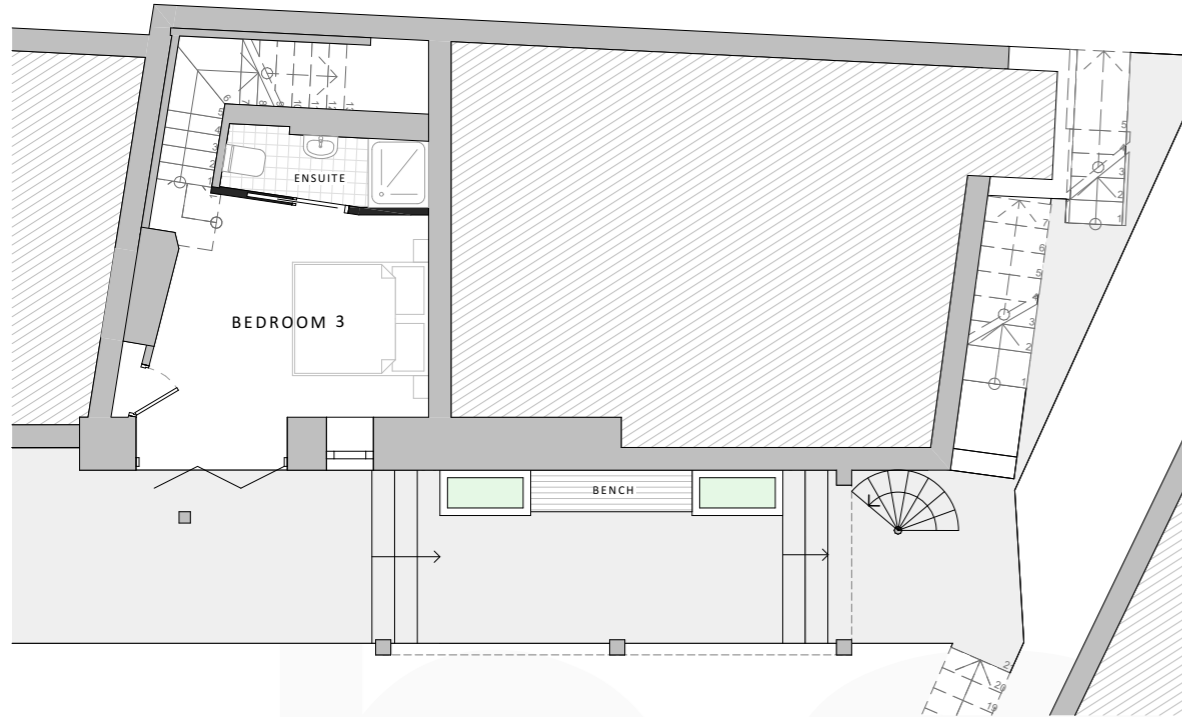
**Project Title**  
9 Terrace Road

**Client**  
Mr & Mrs Davies

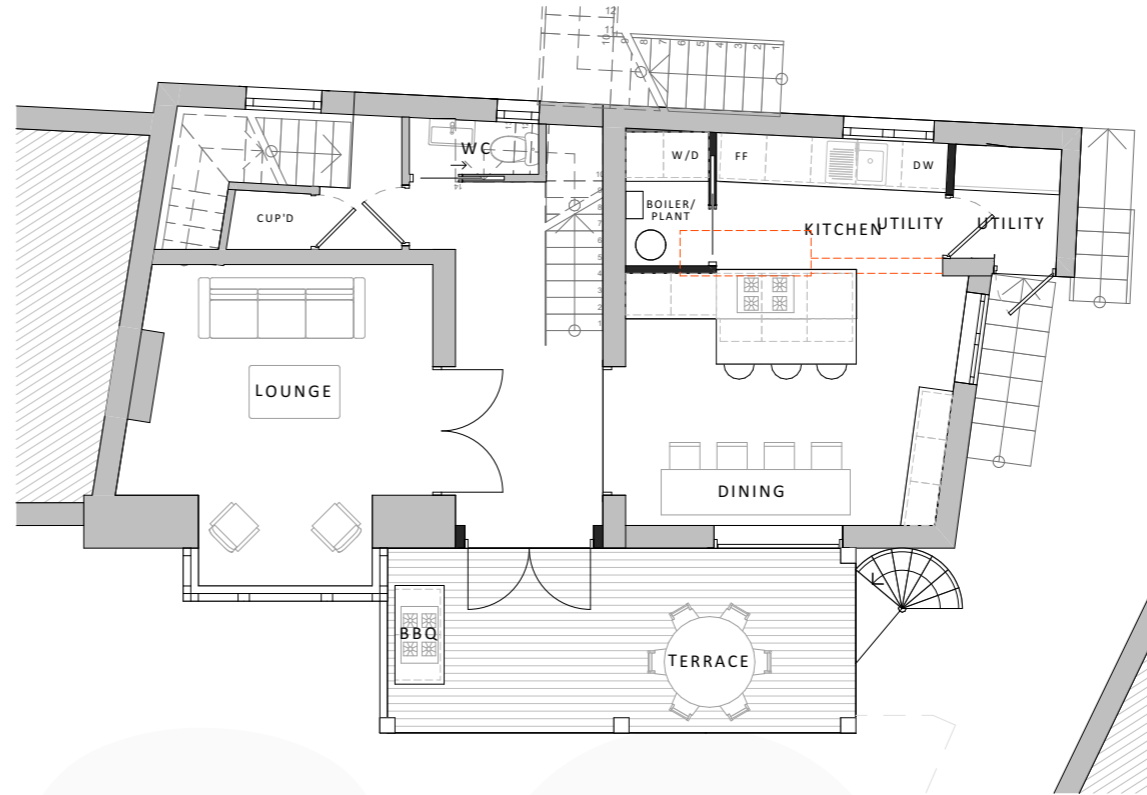
**Drawing Title**  
Proposed Elevations

Project No.	Drawing No.	Rev.
BA3268	PL-003A	

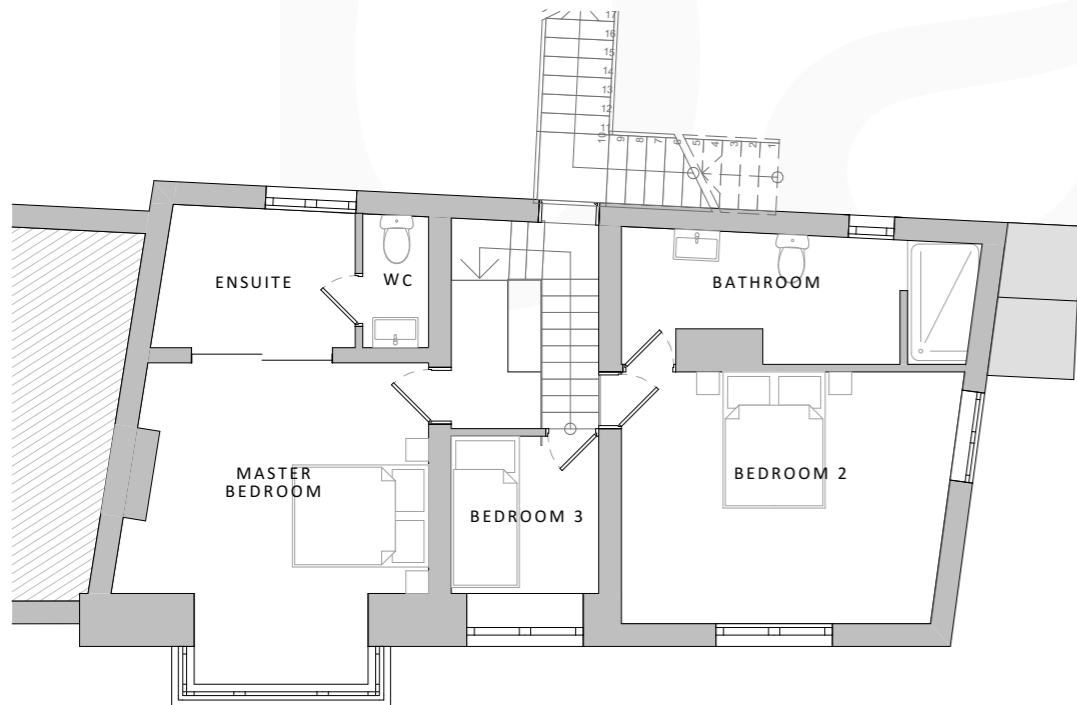
This drawing is the property of base Architecture & Design Ltd. It shall not be copied or scanned, in part or whole, without prior consent of base Architecture and Design. Do not scale this drawing.



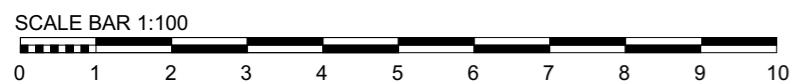
**Proposed Ground Floor**  
1:100



**Proposed First Floor**  
1:100



**Proposed Second Floor Plan**  
1:100



Rev.	Revision Description.
By.	-
Chk.	-

Scale. 1:100 @ A3	Drawn by. YL
Date. 28.02.22	Chk. JS

**Project Title**  
9 Terrace Road

**Client**  
Mr & Mrs Davies

**Drawing Title**  
Proposed Plans

Project No. BA3268	Drawing No. PL-002	Rev.
-----------------------	-----------------------	------

This drawing is the property of base Architecture & Design Ltd. It shall not be copied or scanned, in part or whole, without prior consent of base Architecture and Design. Do not scale this drawing.



Proposed Visuals.



Proposed Visuals.



Proposed Visuals.



Proposed Visuals.



## **PLANNING AND ACCESS COMMITTEE**

**29 JUNE 2022**

# **ENFORCEMENT NOTICES, LISTED BUILDING ENFORCEMENT NOTICES SERVED UNDER DELEGATED POWERS AND LIST OF COMPLIANCE CASES**

**SNOWDONIA NATIONAL PARK AUTHORITY**

**PLANNING AND ACCESS COMMITTEE, 29th JUNE 2022**

**LIST OF COMPLIANCE CASES**

**ENFORCEMENT NOTICES, SECTION 215 NOTICES & TEMPORARY STOP NOTICES SERVED UNDER DELEGATED POWERS**

<b>Reference</b>	<b>Date Served</b>	<b>Location of Site</b>	<b>Type of Notice &amp; Details of Planning Breach</b>	<b>Date Notice Takes effect</b>	<b>Period of Compliance</b>
NP4/11/ENF401	27 <sup>th</sup> May 2022	Land at Craiglan Road, Betws y Coed, Conwy, LL24 0SH	<p><b>Temporary Stop Notice –</b> The breach of planning control is unauthorised development on the land, in particular the carrying out of building operations on the land to:</p> <ul style="list-style-type: none"> <li>• Construct toilet/shower/washing facilities including associated groundworks to prepare hardstanding areas.</li> <li>• Construct a reception building including associated groundworks to prepare a hardstanding.</li> <li>• Excavate trenches and lay pipework and trunking and cabling to connect water and electricity.</li> </ul>	27 <sup>th</sup> May 2022	Notice Ceases to Have Effect – 24th June 2022

**SNOWDONIA NATIONAL PARK AUTHORITY**

**PLANNING AND ACCESS COMMITTEE, 29th June 2022**

**LIST OF COMPLIANCE CASES**

**New cases**

	<b>Reference</b>	<b>Date of initial complaint or Date observed by Compliance Officer</b>	<b>Location of Site</b>	<b>Details of Alleged Planning Breach</b>	<b>Current Position</b>
1	NP4/11/ENF401	26-May-2022	Land at Craiglan Road, Betws y Coed. LL24 0SH	Erection of toilet/shower/washing facilities and associated groundworks to connect services.	The toilet/shower/washing facilities, along with one of the hardstanding areas have been removed from the land. In communication with the developer to discuss the removal/remediation of the groundworks and service connections.
2	NP5/54/ENFL246	06-Apr-2022	Capel Siloh, Bryn Coed lfor, Rhydymain. LL40 2AN	Breach of Condition 5 attached to Planning Permission NP5/54/L246.	Site visit undertaken. Correspondences issued to owner. No response received to date.
3	NP5/70/ENF81H	19-Apr-2022	Cefn-y-Meirch, Rhosygwaliau. LL23 7EY	Agricultural shed being converted into habitable accommodation and static caravan being used as residential accommodation.	Site visit undertaken. Correspondence issued to owner. No response received to date.



**Awaiting Retrospective Application/Listed Building Consent Application/CLEUD Application**

	<b>Reference</b>	<b>Date of initial complaint or Date observed by Compliance Officers</b>	<b>Location of Site</b>	<b>Details of Alleged Planning Breach</b>	<b>Position at time of last committee meeting</b>	<b>Updates since last committee meeting</b>
4	NP2/11/ENF709A	February 2021	Gelli'r Ynn Uchaf, Nantmor	Engineering works to create new access and driveway including removal of trees.	Further site visit undertaken in February 2022. Considering expediency of breach.	No further update for this committee.
5	NP4/16/ENF227C	July 2020	Gwalia Stores, Dolwyddelan	Change of use from retail to dwelling	Planning Contravention Notice issued to owner w/c 25 <sup>th</sup> of April. Awaiting response.	Planning agent appointed by owner. Response to Planning Contravention Notice received. Awaiting submission of a retrospective planning application.
6	NP4/26/ENF266W	January 2020	Zip World Fforest, Betws y Coed	Erection of building & creation of footpaths	Site meeting undertaken between Zip World, Planning agent and SNP in March 2022. Awaiting submission of an application following discussions.	No further update to this committee.

7	NP4/29/ENF514	October 2021	Llys Meddyg, Penmachno	Creation of New Access	Further contact made with Conwy County Borough Council. Highways department advised of road safety concerns relating to the new access. Further correspondence issued to owner in early May 2022. Awaiting response.	Further site visit undertaken. In dialogue with the owner of the property. Site meeting to be arranged.
8	NP5/50/ENFLB59B	20-Jan-2022	14 Glandyfi Terrace, Aberdyfi. LL35 0EB.	Replacement windows to front dormer	Contact made with the owner and currently advising them of their options to resolve this matter.	No further update to report for this committee.
9	NP5/58/ENF144K	December 2018	Land at Tan y Coed, Talybont	Siting of Static Caravan used for Residential Purposes	Contact made with the owner of the land. Site meeting taken place where the siting and use of the caravan was discussed. Owner currently considering their options to regularise the situation. A Planning Contravention Notice has been served to ascertain further details about the use of the caravan. Replies have been received and currently being assessed.	Owner has advised a Certificate of Lawful Use application is currently being prepared. No update to report at present.

10	NP5/62/ENF171D	October 2021	The Mill Caravan Park, Llanbedr	Alleged engineering works and siting of 3 Pod Units	In dialogue with owner. Site meeting to be arranged in order to discuss next steps.	Site meeting with owner and agent undertaken. Strategy to remove pods from the site agreed. Site to be monitored.
11	NP5/77/ENF345	February 2021	Bryn Mair, 21 High Street, Talsarnau	Chimney removed	In dialogue with owner. Latest correspondence issued beginning of May. Awaiting response.	No further update to this committee.

## Retrospective Applications Received

	Reference	Date of initial complaint or Date observed by Compliance Officers	Location of Site	Details of Alleged Planning Breach	Position at time of last committee meeting	Updates since last committee meeting
12	NP2/16/ENF2E	14-Jan-2022	Bryn Awelon, Garndolbenmaen, LL51 9UJ.	Unauthorised engineering works including new track/access road. Untidy nature of land/works.	Application received for an agricultural shed, however in dialogue with owner regarding new access/track which is not covered in application. Awaiting response.	No further update to this committee.
13	NP4/11/ENF100F	March 2021	Tan y Bryn, Pentre Felin, Betws y Coed	Development not built in accordance with approved plans (NP4/11/100F)	Application refused. Correspondence issued to owner in May 2022 to address outstanding issues. Awaiting response.	No further update to this committee.
14	NP4/26/ENF195C	April 2021	Llwynau, Capel Garmon	Siting of Pod	In dialogue with applicant, currently rectifying in-valid application.	In dialogue with applicant. Awaiting additional information (Farm Business Plan) in order to validate application.
15	NP4/26/ENF261B	January 2020	Y Felin, Plas yn Rhos, Rhydlanfair	New Structure	Application validated and currently being processed.	Application currently being processed.
16	NP5/50/ENF562P	July 2020	62 Plas Panteidal, Aberdyfi	Extension to decking Area	A retrospective planning application has been received on the 30th of June 2021 and currently being considered.	No further update for this committee.

17	NP5/53/ENFLB75Q	10-Mar-2022	Barclays Bank, 68-70 High Street, Bala. LL23 7AD	Renovation works to create ground floor office space and upstairs flats	Site visit undertaken and no breach has been identified. Listed Building application and planning application submitted for the change of use of the property.	Application currently being processed.
18	NP5/53/ENF590	23-Nov-2021	4 Yr Hafan, Bala. LL23 7AU	Erection of new structure at front of property	Retrospective application received. Currently being processed.	Application currently being processed.
19	NP5/58/ENF641	August 2021	Plas Bennar, Dyffryn Ardudwy	Possible change of use of dwelling to large scale holiday accommodation.	Meeting has taken place. Planning application now received on the 21st of September 2021 and pending consideration.	Application approved subject to conditions on the 27 <sup>th</sup> of May 2022.
20	NP5/61/ENF329B	10-Jan-2022	Hafod Wen, Harlech. LL46 2RA.	Unauthorised engineering works	Site visit undertaken and contact made with the owner. Awaiting response.	Application received and currently being validated.
21	NP5/62/ENF422	June 2021	Ty'r Graig, Llanbedr	New dormer window and erection of outbuilding.	No application received. Further contact made in relation to the submission of an application on the 14th of February 2022. Awaiting response.	Application being considered.
22	NP5/69/ENF301F	June 2021	Llwyn Du Caravan Park	Erection of children's climbing frame	Application received and is currently being processed.	Application approved subject to conditions on the 6 <sup>th</sup> of May 2022.

**Awaiting further information or awaiting replies to a Planning Contravention Notice or a Section 330 Notice**

	<b>Reference</b>	<b>Date of initial complaint or Date observed by Compliance Officers</b>	<b>Location of Site</b>	<b>Details of Alleged Planning Breach</b>	<b>Position at time of last committee meeting</b>	<b>Updates since last committee meeting</b>
23	NP3/12/ENF191	June 2021	Castell Cidwm, Betws Garmon	Untidy condition of land.	Owner/agent advised that strategy is being developed, and draft strategy will be submitted to the Authority by way of a pre-application enquiry. Awaiting submission and further details.	In dialogue with owner / agent. Awaiting submission and further details.
24	NP3/21/ENF46D	January 2020	2 Tai'r Cae, Carneddi, Bethesda	Dumping of Silt & Soil	Site meeting undertaken with owner on the 16th of February 2022. Considering expediency of breach.	No further update for this committee.
25	NP4/11/ENF397	April 2021	Land to West of A470(T) junction with A5 near Waterloo Cottage, Betws y Coed	Use of land for camping with associated structures	Owner of the land has advised that the structures are to be removed from the site. Site visit required and further correspondence to owner following visit.	Further site visit undertaken. Further correspondence issued to owner following site visit. Awaiting response.
26	NP4/13/ENF247	February 2020	Land Near Deunant, Capel Curig	Engineering Works, Retaining Walls and Possible Encampment	Response to the Planning Contravention Notice received and discussions are ongoing.	Response to Planning Contravention Notice being considered.
27	NP4/16/ENF405	March 2018	Land Opposite Tan y Castell, Dolwyddelan	Dumping of Building Material and Waste	Case being referred to the Authority's solicitor.	No further update for this committee.

28	NP4/26/ENF97J	December 2020	Maes Madog, Capel Garmon	Erection of hot tub structure, outbuilding and alterations to drive entrance.	In dialogue with owner regarding discrepancies from original planning consent.	In dialogue with owner. Discussions on-going.
29	NP4/29/ENF10G	07-Jan-2022	The Machno Inn, Penmachno. LL24 0UU	Untidy nature of land and unauthorised development of out-building	Site visit undertaken. Correspondence issued and awaiting response.	No further update for this committee.
30	NP4/29/ENFA505	07-Jan-2022	Cae Llwyd, Penmachno. LL24 0YR	Agricultural access track not in accordance with plans	Site visit undertaken. Correspondence issued and awaiting response. Site meeting to be arranged to determine if any breach occurred.	Further correspondence issued to owner. Awaiting response.
31	NP4/29/ENF209F	07-Jan-2022	Plasglasgwm, Penmachno, Betws-y-coed, LL240PU	Unauthorised construction of agricultural access track	Correspondence issued and response received. Site visit to be undertaken to determine any breaches.	Further correspondence issued. Site meeting undertaken with owner. Discussions ongoing. Expediency of breach being considered.
32	NP4/32/ENF97B	22-Mar-2022	Land adjoining Dyffryn, Crafnant Road, Trefriw. LL27 0JY	Use of land as campsite	In dialogue with owners regarding potential breach. Owner advised that the site is to be used for only 28 days, in line with permitted development rights.	It is evident engineering works have taken place to widen an access to the land and to create an access track into the field. A further visit is scheduled to take place to ascertain the extent of the works currently being undertaken.
33	NP5/50/ENF144C	09-Dec-2021	Crychnant, Aberdyfi, LL35 0SG	Work not in accordance with approved plans NP5/50/144C	Site visit undertaken and awaiting response from owner.	Further correspondence issued to owner. Awaiting response.

34	NP5/50/ENF152A	August 2021	Bryn Awelon, Aberdyfi	Two Sheds being used as Holiday Accommodation	Further contact made with the owner in relation to the submission of an application in February 2022. Awaiting response.	No further update to this committee.
35	NP5/56/ENF165	October 2020	Land to west of A487, Pantperthog, SY20 9AT	Engineering works	No further contact has been made with the owner and further enquiries continue. Site is monitored and no further works have taken place.	No further update to this committee.
36	NP5/57/ENF1071E	March 2021	Bryn y Gwin Farm, Dolgellau	Engineering works	Further contact made with the owner in January 2022.	No further update to report for this committee.
37	NP5/58/ENF19L	April 2021	Sarnfaen Farm Campsite, Talybont	Stationing of pods without planning permission	Further contact made with the owners in late January 2022. Awaiting response.	No further update to report for this committee.
38	NP5/58/ENF58G	November 2019	Bryn y Bwyd, Talybont	Engineering Works and Possible Siting of Caravan/Chalet	Response received from owners and discussions are ongoing	No further update to report for this committee.
39	NP5/58/ENF434D	February 2021	Ty'n y Pant, Dyffryn Ardudwy	Stationing of touring caravans and untidy condition of land	Planning Contravention Notice served March 2022. An agent has been appointed and replies to the Notice expected by the 9th May 2022.	Replies to the Planning Contravention Notice have been received and an on site meeting is currently being arranged.
40	NP5/58/ENF616	December 2018	Land adjacent Coed y Bachau, Dyffryn Ardudwy	Siting of Static Caravan used for Residential Purposes	Requisition for Information under Section 330 served May 2022. Awaiting replies.	Correspondence has been received and currently being assessed.



41	NP5/62/ENF426	April 2021	Land near Plas Gwynfryn, Llanbedr	Stationing of static caravan	Planning Contravention Notice has been served to applicant and response received. Applicant has also submitted an appeal. Discussions on-going.	No further update to this committee.
42	NP5/65/ENF115A	October 2019	Land at Hengwrt, Llanelltyd	Dumping/Storage of Mattresses and Carpets	A Planning Contravention Notice has been served. Replies received and currently being considered.  NRW have initiated prosecution proceedings and a trial was due to take place in Cardiff on the 6 <sup>th</sup> June 2022.	Discussing replies to the PCN with legal.  Verbal update will be provided in relation to the proceedings being initiated by NRW.
43	NP5/67/ENF335	September 2020	Tarren Y Gesail, Pantperthog	New mountain bike tracks	Site meeting undertaken in March 2022 with owner and agent. Strategy to submit application discussed and awaiting submission.	In dialogue with owner. Owner advised that planning agent has been appointed. Awaiting submission of a retrospective planning application.
44	NP5/70/ENF15N	11-Mar-2022	Pant yr Onnen Campsite, Llangower, Bala, LL237BT	Stationing of shepherds hut and use of catamaran club building as holiday accommodation	Correspondence issued to owner. Planning agent has been appointed and response received. In dialogue with owners of the campsite regarding potential breaches.	In dialogue with owner and agent. Discussions on-going.

Cases where formal action is being considered/has been taken.

	Reference	Date of initial complaint or Date observed by Compliance Officers	Location of Site	Details of Alleged Planning Breach	Position at time of last committee meeting	Updates since last committee meeting
45	NP2/16/ENF448	May 2017	Hendre Ddu Quarry, Cwm Pennant	Unauthorised Quarrying and Track Creation	<p>Site visit undertaken on the 12th April. Unauthorised works carried out, enforcement proceedings commenced, and a Temporary Stop Notice has been served in respect to the extraction of mineral waste from slate tips and the construction of new tracks.</p> <p>The Notice ceases to have effect on the 3rd July 2019. An Enforcement Notice is currently being drafted.</p> <p>No further works have been carried out. Expediency report being undertaken in relation to the works carried out.</p>	No further update to report for this committee.

46	NP4/11/ENF337	May 2020	Hendre Rhys Gethin, Pentre Du, Betws y Coed	Permanent Residential Use of Touring Caravan	<p>A valid Enforcement Notice is currently in place for this alleged breach, whereby it requires cessation of the residential use of the caravan and for the caravan to be removed. It appears that the landowner has not complied with the requirements of the Enforcement Notice. Legal action being initiated. Further communication with landowner. No response from landowner, matter referred to legal. Instructions sent to legal to commence Prosecution proceedings.</p>	<p>Instructions sent to legal.</p> <p>Court hearing scheduled for September 2021.</p> <p>Following positive dialogue with the owner, proceedings have been adjourned until February 2022 to try and positively resolve the matter. This adjournment has been extended to the end of April 2022.</p> <p>A planning application for a Rural Enterprise Dwelling at this location has been submitted in February 2022 and currently being processed.</p>
----	---------------	----------	---	--	---	---

47	NP5/55/ENFL142A	June 2017	3 Glandwr, Bryncrug	Untidy Condition of Property	<p>Section 215 Notice served on the 18<sup>th</sup> February 2019. No appeal has been forthcoming, therefore the Notice has taken effect. The Notice must be fully complied with by the 22nd January 2020.</p> <p>A recent site visit has taken place where it was noted the Notice had not been complied with.</p> <p>A letter has been written to the owner advising that to avoid further proceedings they must comply with the requirements of the Notice imminently.</p> <p>No remedial works have taken place and prosecution proceedings are now being considered.</p> <p>A further site visit has taken place where it was noted the requirements of the Section 215 Notice have not been complied with.</p> <p>Prosecution proceedings to be initiated and instructions sent to the Authority's Solicitor.</p>	<p>Following further investigations, a possible contact address has been found.</p> <p>A letter has been hand delivered to this address and although no one was present at delivery, it was confirmed the owner of 3 Glandwr does reside at the address provided.</p> <p>Awaiting a response to the communication.</p>
----	-----------------	-----------	------------------------	---------------------------------	---	--

48	NP5/58/ENF205K	May 2021	Fronolau Hotel, Dolgellau	External Alterations and Creation of Six Self-Contained Residential Units	<p>Retrospective planning application submitted for the external alterations to the hotel which has been refused.</p> <p>It has become apparent the hotel building has been sub-divided into 6 separate units. Contact made with the owner and their agent and a Planning Contravention Notice has been served and responses received.</p> <p>An Enforcement Notice was served on the 26th January 2022 for the material change in use of the land from a C1 use as a hotel to a C3 use, and operational development consisting of external alterations to create six individual self-contained residential units comprising two 3 bedroom cottages and four 3 bedroom flats. The requirements to comply with the Notice state to revert the use of the Land to C1 – hotel use.</p>	<p>An Enforcement Notice Appeal has been lodged and currently await a start date from PEDW (Planning and Environment Decisions Wales).</p>
----	----------------	----------	---------------------------	---	---	--

## Listed Building Cases

	Reference	Date of initial complaint or Date observed by Compliance Officers	Location of Site	Details of Alleged Planning Breach	Position at time of last committee meeting	Updates since last committee meeting
49	NP5/54/ENFLB33M	January 2020	Nannau Hall, Llanfachreth	Poor Condition of Building	<p>It has been brought to the Authority's attention that the lead from the roof of the building has been removed and that the overall condition of the building is deteriorating rapidly.</p> <p>A site visit has confirmed this.</p> <p>Contact has been made with the owner who is aware of the condition of the building. They propose to undertake a temporary repair to the roof until at such time they can visit the property and ascertain the damage for themselves.</p> <p>To date no temporary repairs have been undertaken. The owner has been contacted again to emphasise the urgency of the situation. They propose to undertake temporary repair work until they are able to visit and assess the extent of the work required to the building.</p> <p>A meeting has been arranged with CADW to discuss possible options to safeguard Nannau Hall.</p>	<p>As reported at the October 2021 committee the next steps to progress Nannau are:</p> <p>Carry out a full Condition Survey to include the interior.</p> <p>Consult with a roofing specialist.</p> <p>Consider progressing the Urgent Works Notice route and agree what needs to be included in this.</p> <p>Continue to communicate with the owner and advise of the intentions of the Authority.</p> <p>Setting up a steering group to draw in necessary conservation/heritage advice and maintain momentum.</p>

					<p>A meeting has taken place with CADW and arrangements are being made to undertake a condition survey of the building. It was anticipated this survey would take place at the beginning of February but this has been delayed.</p> <p>An external condition survey has been arranged for the week commencing the 5th April 2021.</p> <p>Currently in discussion with the owner in relation to undertaking an internal inspection at the same time.</p> <p>Failure to agree for the Authority to undertake an internal inspection, will result in an application to the courts for a warrant to gain entry.</p>	<p>Commence initial discussions with Ecology in respect to the potential presence of bats.</p> <p>Following intervention from legal in relation to seeking a warrant and making contact with the owner, they have agreed the Authority can carry out an internal inspection and it is anticipated this will take place during the week commencing the 21<sup>st</sup> February 2022.</p> <p>Internal inspection undertaken. To liaise with a roofing specialist to ascertain the type of work which may be undertaken to safeguard the integrity of the building.</p>
50	NP5/66/ENFLB32D	November 2020	Ty Mawr, Llanfair	Internal works being undertaken.	Letter sent to the property. Response received and works discussed with the owner. Site visit to be carried out. Site visit carried out. Application submitted but invalid.	Application received but currently invalid.
51	NP5/69/ENFLB326A	September 2018	Ty Gwyn, Llwyngwril	External and internal Alterations to a Listed Building	Contact being made with the agent to ascertain whether a listed building consent application will be forthcoming.	No further update to this committee.



**PLANNING AND ACCESS COMMITTEE**  
**29 JUNE 2022**

**SECTION 106 AGREEMENTS**



**SNOWDONIA NATIONAL PARK AUTHORITY  
PLANNING AND ACCESS COMMITTEE, 29 JUNE 2022**

**SECTION 106 AGREEMENTS**

<b>Rhif</b>	<b>Application No.</b>	<b>Date application was received</b>	<b>Location</b>	<b>Development</b>	<b>Present Position</b>
1.	NP3/21/40D	23/07/2021	2 Green Cottage, Llanllechid. LL57 3LE	Proposed extension to annex and change of use to dwelling.	Agreement ready for Authority to complete
2.	NP5/61/632	12/03/2021	Merthyr Isaf, Hwylfa'r Nant, Harlech. LL46 2UE.	Residential development of seven units, 3 affordable and 4 open market dwellings comprising three pairs of semi-detached dwelling and one detached dwelling, formation of new vehicular access and associated landscaping	Draft sent to applicant's Solicitor
3.	NP5/65/2B	04/03/2021	Beudy Uchaf Hirgwm, Maes y Clawdd, Bontddu. LL40 2UR	Conversion of barn to dwelling and associated works including installation of septic tank and diversion of public footpath	Details sent to solicitor to draft agreement.
4.	NP5/65/L302D	25/08/2020	Wern y Pistyll, Bontddu. LL40 2UP	Conversion and extension of barn to dwelling including installation of septic tank, retrospective consent for access track to building and engineering works to create hardstanding/ parking area around the building, temporary siting of static caravan and construction of compensatory bat roost.	Awaiting solicitor details from the applicant.
5.	NP5/74/482A	08.10.2021	Land by The Cemetery, Dinas Mawddwy. SY20 9LL	Construction of affordable dwelling (Repeat application)	Awaiting costings from applicant.

Number of applications on committee list 18 May 2022 = 5

**APPLICATIONS SUBJECT TO A SECTION 106 AGREEMENT AND WHICH HAVE BEEN COMPLETED SINCE  
PLANNING & ACCESS COMMITTEE  
18 MAY 2022**

Application No.	Location	Development

**APPLICATIONS SUBJECT TO A SECTION 106 AGREEMENT WHICH HAVE BEEN REFUSED, WITHDRAWN, OR  
DISPOSED, OR WHERE AN AGREEMENT IS NO LONGER NECESSARY SINCE PLANNING & ACCESS  
COMMITTEE 18 MAY 2022**

Application No.	Location	Development



## **PLANNING AND ACCESS COMMITTEE**

**29 JUNE 2022**

# **OUTSTANDING APPLICATIONS WHERE MORE THAN 13 WEEKS HAVE ELAPSED**

**SNOWDONIA NATIONAL PARK AUTHORITY**

**PLANNING AND ACCESS COMMITTEE 29 JUNE 2022  
OUTSTANDING APPLICATIONS WHERE MORE THAN 13 WEEKS HAVE ELAPSED**

**Awaiting revised Flood Consequence Assessment**

NP5/70/146A	18/08/21	Moel-y-Ddinas, Rhosygwaliau. LL23 7EY	Conversion and rebuilding of former dwelling to affordable local needs dwelling together with formalising vehicular access.
-------------	----------	---------------------------------------	---

**Considering Submission of Flood Consequence Assessment**

NP2/11/108C	04/03/22	1 Church Street, Beddgelert. LL55 4YA	Temporary siting of catering cabin (until 31st December 2023), Caffi Colwyn, 1 Church Street, Beddgelert. LL55 4YA
-------------	----------	---------------------------------------	--

**In Discussion with Agent / Applicant**

NP5/50/562P	30/06/21	Chalet 62, Plas Panteidal, Aberdyfi. LL35 0RF	Retrospective application to extend decking.
NP5/50/734	21/06/21	Cartref, Aberdyfi. LL35 0NR	Erection of external stairs, installation of rear facing dormer window and formation of self contained holiday apartment within the building
NP5/61/T558D	19/04/21	Former Tabernacl Chapel, High Street, Harlech. LL46 2YB	Conversion of former car showroom & basement car parts shop to convenience store on ground and basement, creation of 2 flats on first floor (Open market) together with the removal of existing unauthorised UPVC windows and replace with timber slimline double-glazed windows.
NP5/65/L302D	04/03/22	Wern y Pistyll, Bontddu. LL40 2UP	Conversion and extension of barn to dwelling including installation of septic tank, retrospective consent for access track to building and engineering works to create hardstanding/ parking area around the building, temporary siting of static caravan and construction of compensatory bat roost.

**Awaiting Amended Plans**

NP4/11/20D	03/12/21	Abbasi's Restaurant, Holyhead Road, Betws y Coed. LL24 0AY	Demolition of gable extension, erection of two storey extensions to both gable ends, installation of external staircase and new signage
NP4/13/61B	17/11/21	Car Park, Capel Curig.	Proposed erection of 11kv electric substation,
NP4/32/78C	26/01/22	Llyn Geirionnydd, Llanrhychwyn. LL27 0YX	Water access ramp and associated infrastructure
NP5/57/1177	04/01/22	1 Maes yr Odyn, Dolgellau. LL40 1UT	Demolition of single storey extension and erection of new two storey extension and single storey rear lobby/porch,
NP5/58/637	18/10/21	Garages, land off A496, Dyffryn Ardudwy. LL44 2ET	Demolition of existing garages and erection of a two-storey dwelling with associated parking and landscaping provision,

NP5/73/424A	28/09/20	Cilderi, Tan y Bwlch. Maentwrog. LL41 3YU	Erection of double garage, retrospective application for extension to curtilage, retention of stone terracing and engineering works. <span style="float: right;">ITEM NO. 8.3</span>
NP5/74/496	13/09/21	Gwastadgoed, Aberangell. SY20 9NF	Conversion of traditional agricultural building to rural enterprise dwelling and holiday accommodation, and associated work,
NP5/75/68B	15/09/21	Land opposite Maesteg, Pennal. SY20 9DL	Erection of five affordable dwellings together with associated access, parking and landscaping,

#### Awaiting Bat (and or Tree ) Survey

NP5/58/363H	04/10/21	Nant Eos, Dyffryn Ardudwy. LL44 2HX	Conversion to Open Market Dwelling unit and installation of sewage treatment plant (Repeat application),
NP5/62/397	19/01/22	Dolwreiddiog, Llanbedr. LL45 2PH	Demolition of rear extension and erection of new 2 storey rear extension, alterations to two window openings and relocation of rear door position,
NP5/66/156B	28/02/22	Hafod, Llandanwg. LL46 2SD	Demolition of existing bungalow and garage and construction of new two storey dormer bungalow and detached garage

#### Awaiting Amended Ecology Survey

NP5/73/197N	22/12/21	Bryn Arms, Gellilydan. LL41 4EN	Retrospective application to retain storage area, marquee, smoking shelter, beer garden canopy and bridge. Erection of extension to existing restaurant, alterations to perimeter walls, erection of porch, re-siting of staff static caravan
NP5/73/PIAW197M	08/12/21	Bryn Arms, Gellilydan. LL41 4EN	Application for approval of reserved matters for the erection of a two-storey detached building to provide 15 guest rooms as serviced holiday accommodation in relation to Bryn Arms

#### Awaiting Details form Agent / Applicant

NP5/53/576	29/11/21	Land at Bala.	Proposed extension of Llyn Tegid narrow gauge railway comprising of 1200m of railway track, installation of level crossing, erection of new station building, ancillary engine and carriage building, signal box and associated development,
NP5/54/8C	17/12/21	Gellfachreth, Llanfachreth. LL40 2EH	Erection of building to store machinery and associated works
NP5/57/901G	07/01/22	Dolgun Uchaf, Dolgellau. LL40 2AB	Siting of 2 safari tents, 1 camping pod and a toilet block, installation of package sewerage treatment plant and creation of parking area,
NP5/58/629	29/01/20	Land between Plas Meini & Swyn y Mor, Dyffryn Ardudwy. LL42 2BH	Outline permission for the erection of 2 open market and 2 affordable dwellings. integral garages and formation of new vehicular access on to the A496.
NP5/64/L126A	17/01/22	Rhydygarnedd, Llanegryn. LL36 9LG	Vary Condition Nos. 2 & 3 attached to Planning Consent NP5/64/L126 dated 07/12/2018 to reinstate dormer and amend materials of external doors and windows
NP5/65/125D	29/10/21	Beudy Gelli-Rhydd, Bontddu. LL40 2UA	Conversion and alteration of barn to holiday accommodation,
NP5/69/301F	04/01/22	Llwyn Du Caravan Park, Llwyngwrl, LL37 2JH	Retrospective application for the installation of children's play equipment,

NP5/70/163	08/10/21	Craig yr Allt Ddu, Cwm Hirnant, Rhosygwaliau.	Installation of 40m high lattice telecommunication mast with associated antennae, dishes, foul weather enclosure and equipment cabinets within fenced compound. Stone infill area between forestry track and compound.
NP5/71/477C	16/02/22	Gwersyll Yr Urdd, Glanllyn, Llanuwchllyn. LL23 7ST	Construction of timber framed store.
NP5/72/40F	21/12/21	Tyddyn Du, Parc. LL23 7YS	Erection of two agricultural sheds (Roof over existing covered slurry pit and feeding shed),

### Re-Consultation

NP5/53/590	28/02/22	4 Yr Hafan, Bala. LL23 7AU	Retrospective planning application to retain shed in front garden
NP5/57/34C	31/01/22	Auction Mart Yard, Dolgellau. LL40 1AB	Partial demolition of existing livestock market buildings and rebuilding of replacement livestock market building together with additional external animal penning and associated works,
NP5/69/411	15/02/22	Land adjoining The Nook, Llwyngwriil. LL37 2JQ	Erection of dwelling including installation of septic tank,
NP5/70/166	25/02/22	Ysgubor Esgeiriau, Rhosygwaliau. LL23 7ET	Conversion and change of use of redundant farm building, access track and installation of package treatment plant for use as short term holiday accommodation as part of farm diversification project,
NP5/72/143M	07/01/22	Mary Jones World, Eglwys Beuno Sant, Llanycil. LL23 7YF	Installation of a timber outdoor classroom with extendable cover, a new timber deck, pathways and retaining wall,
NP5/74/496	13/09/21	Gwastadgoed, Aberangell. SY20 9NF	Conversion of traditional agricultural building to rural enterprise dwelling and holiday accommodation, and associated work,

### Awaiting Community and Linguistic Statement and second valuation to proceed with s106

NP5/55/L140E	03/06/21	Capel Bethlehem, Brynchrug. LL36 9PW	Change of use of chapel to form one 1 bedroomed and one 6 bedroomed dwelling,
--------------	----------	--------------------------------------	---

### Further details from applicant under consideration

NP4/11/161B	11/02/22	8 Gethin Terrace, Betws-y-Coed. LL24 0BS	Demolition of outbuildings, reroofing of existing garage, construction of two storey side and single storey rear extensions to dwelling.
NP4/26/28B	11/11/21	Bryn Rhug, Nebo, Llanrwst. LL26 0RT	Siting of 6 'Pods' for short term visitor accommodation purposes, access track and associated works
NP5/57/1174	27/10/21	Land adjoining Penmaen Ucha, Penmaenpool. LL40 1YD	Construction of rural enterprise dwelling, garage, new driveway and vehicle access,
NP5/75/73D	21/10/19	Ynys, Cwrt, Pennal. SY20 9LD	Conversion and alterations to existing BCF Hut to form holiday let accommodation and installation of septic tank (Re-submission)

**Objections from neighbours under consideration**

ITEM NO. 8.3

NP4/11/398	07/07/21	Land to rear of Medical Surgery, Betws-y-Coed. LL24 0BP	Erection of 5 two storey affordable dwellings with associated landscaping, access and carparking.
------------	----------	---	---

**Awaiting HRA Appropriate Assessment**

NP2/11/710A	20/12/21	Wernlas Deg, Beddgelert. LL55 4UU	Proposed extension to agricultural shed and erection of new agricultural shed,
NP4/26/266X	06/08/21	Zip World Fforest, Llanrwst Road, Betws Y Coed, LL24 0HX	Change of use of land for the siting six short-term self-catering holiday accommodation units, construction of footpaths and associated works
NP5/53/591	03/03/22	Cil y Bryn, 9 Cae Gadlas, Bala. LL23 7AT	Construction of two storey rear extension
NP5/72/25H	25/02/22	Gwern-y-Genau, Arenig, Bala. LL23 7PB	Conversion of outdoor pursuits centre into dwelling.

**Awaiting response from Welsh Government Highways**

NP4/11/160W	26/11/21	The Waterloo Hotel, Betws-y-Coed. LL24 0AR	Variation of Conditions 2 (Approved Plans), 20 (Parking) and 25 (Access) attached to Planning Approval Notice NP4/11/160V dated 21/10/2021.
-------------	----------	--	---

**Awaiting response from Natural Resources Wales on Revised Scheme**

NP4/26/28B	11/11/21	Bryn Rhug, Nebo, Llanrwst. LL26 0RT	Siting of 6 'Pods' for short term visitor accommodation purposes, access track and associated works
------------	----------	-------------------------------------	---

Total applications on list = 47

Total applications on list Committee 18 May 2022 = 33

<b>MEETING</b>	Planning and Access Committee
<b>DATE</b>	29 June 2022
<b>TITLE</b>	<b>APPROVAL OF THE APPOINTMENT OF 1 CASUAL VACANCY FOR SOUTHERN SNOWDONIA LOCAL ACCESS FORUM.</b>
<b>REPORT BY</b>	Access & Well Being Manager and Local Access Forums Secretary
<b>PURPOSE</b>	To approve the appointment of 1 casual vacancy for the Southern Local Access Forum.

## 1. BACKGROUND

- 1.1 In April 2002 the Authority established two Local Access Forums: one for the north and one for the south of the National Park.
- 1.2 The South Snowdonia Local Access Forum has 18 members - 14 “lay” members and one representative each for Gwynedd Council, Conwy Council, SNPA and one representative for people with disabilities. Membership must be balanced between land management and recreational interests, and all members are required to demonstrate a commitment to improving access to the countryside. No interest group (other than interests of disabled people) is to have direct representation on the Forum.

Within recent months a vacancy have arisen due to the loss of a member from within the outdoor sector membership for unavoidable personal reasons. Therefore, to maintain its balance of membership a replacement is necessary to ensure that this interest group is represented.

Following a recommendation, a prospective member from the outdoor sector has submitted an application form (by permission of the SLAF Chair) and has indicated that they are willing to stand as a replacement. Before any appointment can be made, and to follow the LAF Regulations, the SLAF Chair on behalf of the SLAF members has now requested formal ratification of the candidate by the Authority.

- 1.3 **Regulations** - The Countryside Access Forums (Wales) published by the Welsh Assembly Government –stipulate that membership of a Forum continues for three years from the date of the first meeting of the Forum. However, the Regulations (Sect 5 {1}) also allow for the appointment of casual vacancies when standing members decide to leave the Forum/s for whatever reason within their formal term of appointment.



These casual appointments are to ensure that the LAF membership remains balanced throughout.

- 1.4 It is suggested that the following procedure is followed.

That the Authority consider the casual appointment as presented.

### **Southern Local Access Forum**

Mr Dafydd Caradog Davis for his expertise in relation to mountain cycling users in Meirionnydd and access management generally in the outdoor sector.

## **2. RESOURCE IMPLICATIONS**

No additional costs

## **3. RECOMMENDATION**

- 3.1 That the Committee approve the proposed casual vacancy appointment to the Southern Local Access Forum.

## **BACKGROUND PAPERS**

- i) **National Assembly for Wales – Statutory Instrument 2001 No 4002 extract Sect 5 (1) if required.**



**PLANNING AND ACCESS COMMITTEE**  
**29 JUNE 2022**

**DELEGATED DECISIONS**

**SNOWDONIA NATIONAL PARK AUTHORITY**

**PLANNING AND ACCESS COMMITTEE 29 JUNE 2022**

**DELEGATED DECISIONS**

**Applications Approved**

	<b>Application No.</b>	<b>Proposed</b>	<b>Location</b>	<b>Decision Date</b>	<b>Case Officer</b>
1.	NP2/16/108K	Discharge of Condition 3 (Biodiversity Enhancement Plan) attached to Planning Decision Notice NP2/16/108J dated 15/03/2022	Plas-y-Pennant, Cwm Pennant, Gardolbenmaen. LL51 9AX	05/05/22	Mr Richard Thomas
2.	NP2/16/2D	Two storey side and rear extensions and erection of porch to front	Bryn Awelon, Garndolbenmaen. LL51 9UJ	05/05/22	Mr Richard Thomas
3.	NP3/10/121A	Proposed change of use of land to create 11 car parking spaces	Land at Cae Felin, Abergwyngregyn. LL33 0LW	29/04/22	Mr Richard Thomas
4.	NP4/12/108A	Construction of single storey side extension and front porch extension	Fron, Tal-y-Bont. LL32 8SD	22/04/22	Mr Richard Thomas
5.	NP4/26/341	Erection of extension to agricultural shed and erection of open shed over existing farmyard	Nant Isaf, Capel Garmon, LL26 0RD	13/04/22	Mr Richard Thomas
6.	NP4/29/LB180F	Listed Building Consent for construction of single storey lean-to rear extension	Llugallt, Penmachno. LL24 0PU	28/04/22	Mr Richard Thomas
7.	NP4/31/113G	Discharge of Condition Nos. 14 (Woodland management and enhancement plan and landscape scheme), 16 (Reasonable Avoidance Measures for otters), and 17 (Scheme of lighting) attached to Planning Consent NP4/31/113F dated 06/12/2021	Gwern Hywel Isaf, Pentrefoelas. LL24 0HS	11/05/22	Mr Richard Thomas
8.	NP5/50/109J	Alterations to roof	Neuadd Dyfi, Aberdyfi. LL35 0NR	09/05/22	Ms. Sophie Berry
9.	NP5/50/631A	Demolish existing garage and construction of extension including terrace	15 Treflan, Aberdyfi, LL35 0PN	09/05/22	Ms. Sophie Berry
10.	NP5/50/695A	Construction of bay windows to first and second floors to replace existing windows	3 Seaview Terrace, Aberdyfi. LL35 0EE	10/05/22	Ms. Sophie Berry
11.	NP5/50/742	Construction of extension, garage and terrace	Dolphins, Rhoslan, Aberdyfi. LL35 0NS	23/05/22	Ms. Emma Watkins

12.	NP5/50/L228A	Installation of rooflights	Hafan, Terrace Road, Aberdyfi,	11/05/22	Ms. Sophie Berry
13.	NP5/50/LB171C	Discharge of Condition 3 of Listed Building Consent NP5/50/LB117B – preparation of stonework panel not less than 2m <sup>2</sup>	Talybont, Aberdyfi. LL35 0RN	17/05/22	Mrs Jane Jones
14.	NP5/52/343C	Re-slating of existing roof	Awel y Môr, Bryn Road, Friog. LL38 2HX	29/04/22	Ms. Sophie Berry
15.	NP5/57/1177	Demolition of single storey extension and erection of new two storey extension and single storey rear lobby/porch	1 Maes yr Odyn, Dolgellau. LL40 1UT	06/05/22	Ms. Sophie Berry
16.	NP5/57/940B	Single storey extension, erection of detached garage/store and installation of new package treatment plant	Ty'n y Cornel, Tabor, Dolgellau. LL40 2PS	13/05/22	Ms. Sophie Berry
17.	NP5/58/526A	Erection of a dormer bungalow (open market)	Land forming part of garden, Bedw Arian, Talybont. LL43 2AE	25/05/22	Mr Aled Lloyd
18.	NP5/58/569C	Erection of single storey rear extension	Bwlch Cae, Dyffryn Ardudwy. LL44 2HX	29/04/22	Mr Aled Lloyd
19.	NP5/58/642	Erection of detached workshop/studio	Tal Afon, Talybont. LL43 2AS	21/04/22	Mr Aled Lloyd
20.	NP5/60/159B	Discharge Condition Nos. 3 and 6 attached to Planning Consent Notice NP5/60/159 dated 04/03/2020	Land at Moel Friog, Ganllwyd.	28/04/22	Mrs Jane Jones
21.	NP5/61/134F	Renewal of planning consent for erection of extension and dormer window.	Morfa Newydd, Beach Road, Harlech. LL46 2UG	28/04/22	Mr Aled Lloyd
22.	NP5/61/L80G	Siting of 3 glamping pods within rear beer garden and use of former cellar/store building to provide toilet/shower facilities	Lion Hotel, Harlech, LL46 2SG	25/05/22	Mr Aled Lloyd
23.	NP5/61/LB280A	Formation of new double door opening to South gable. External alterations extending height to parapet adjoining 'modern' glazed balustrade to store roof perimeter at first floor level forming roof terrace with new 1.5m x 2.0m patio doors off South gable. Repairs to shop front and entrance doors, removal of external shutters and internal replacements.	Spar Shop, High Street, Harlech. LL46 2YA	28/04/22	Mr Aled Lloyd

		Remove external shutters first floor windows West elevation and re-opening of 2no. windows at ground floor level, installation of traditional vertical sash windows to match existing. Fixing 2no. sparrow boxes underneath eaves level. Proposed new catslide dormer on West side roof slope and 2no conservation rooflights either side West and East roof slopes (4no.in total)			
24.	NP5/61/LB280B	Listed Building Consent to remove ground floor stairs, fix new toilet facilities within existing stair lobby. Alterations to first floor plan dividing wall of bedrooms 1 & 2 and part kitchen wall removed forming 'open plan' living/ kitchen. Existing kitchen door blocked up, new floor infill over stair landing at first floor level, bedroom door re-positioned with new stair access to attic level. New double door opening formed to South gable. Forming new stair access at attic level, new partitions enclosing new bedroom and shower room. Proposed external alterations extending height to parapet adjoining 'modern' glazed balustrade to store roof perimeter at first floor level forming roof terrace with new 1.5m x 2.0m patio doors off South gable. Repairs to shop front and entrance doors, removal of external shutters and internal replacements. Remove external shutters first floor windows West elevation and re-opening of 2no. windows at ground floor level, installation of traditional vertical sash windows to match existing. Fixing 2no. sparrow boxes underneath eaves level. Proposed new catslide dormer on West side roof slope and 2no conservation rooflights either side West and East roof slopes (4no. total)	Spar Shop, High Street, Harlech. LL46 2YA	28/04/22	Mr Aled Lloyd

25.	NP5/65/123A	Variation of Condition No.2 of Planning Consent NP5/65/123 dated 02/03/1992 for revised design of dwelling	Plot 2, Cae Coch, Llanelltyd. LL40 2SU	12/05/22	Mr Aled Lloyd
26.	NP5/66/LB32E	Installation of an external flue on a curtilage building of a listed building.	The Cottage, Ty Mawr, Llanfair. LL46 2SA	04/05/22	Mr Aled Lloyd
27.	NP5/67/336	Demolition of existing rear extensions and erection of new rear extension and the insertion of 4no. rooflight windows into the existing roof.	Pen-y-Meini, Llanfihangel-y-Pennant. LL36 9TR	20/05/22	Ms. Emma Watkins
28.	NP5/69/301F	Retrospective application for the installation of children's play equipment	Llwyn Du Caravan Park, Llwyngwriil, LL37 2JH	06/05/22	Ms. Sophie Berry
29.	NP5/69/394G	Non-material amendment to Planning Permission NP5/69/394F to add balcony support frame to rear elevation and extend roof gable end over dining area	Wendy's, Llwyngwriil. LL37 2JQ	19/04/22	Ms. Emma Watkins
30.	NP5/71/339B	Construct agricultural building over existing farm yard	Ty Cerrig, Rhydymain, LL40 2BB	21/04/22	Ms. Emma Watkins
31.	NP5/71/477B	Non-material amendment to Planning Consent NP5/71/39Z dated 10/11/2021 to change roofing material from dark grey raised seam zinc to dark grey EDPM, and remove zinc cladding to upper sections of external walls	Gwersyll Yr Urdd, Glanllyn, Llanuwchllyn. LL23 7ST	12/04/22	Ms. Sophie Berry
32.	NP5/72/157D	Discharge Condition No.5 (Stonework panel) attached to Planning Consent NP5/72/157B dated 07/03/2016	Tyddyn Philip, Frongoch, Bala. LL23 7SA	11/05/22	Ms. Sophie Berry
33.	NP5/74/410C	Discharge Condition No.2 (Stonework panel) attached to Planning Consent NP5/74/410A dated 11/08/2021	Land adjoining Llwyn, Dinas Mawddwy. SY20 9JD	22/04/22	Ms. Emma Watkins
34.	NP5/74/464E	Vary Condition 3 of Planning Consent NP5/74/464A dated 15/06/2017 to extend the time period of the consent until 01/07/2027	Land at Graig Wen, Dinas Mawddwy.	27/04/22	Mrs. Sara Thomas
35.	NP5/74/497	Demolish existing wooden shed and construction of summerhouse	2 Pen y Banc, Aberangell. SY20 9QW	12/05/22	Ms. Sophie Berry
36.	NP5/78/567	Extension to existing decking	Cabin 267, Trawsfynydd Holiday Village, Bronaber. LL41 4YB	04/05/22	Mr. Dafydd Thomas

### Applications Refused

	<b>App No.</b>	<b>Proposed</b>	<b>Location</b>	<b>Reason for Refusal</b>	<b>Case Officer</b>
1.	NP2/16/2C	Erection of agricultural building	Bryn Awelon, Garndolbenmaen LL51 9UJ	05/05/22  By reason of the applicant presenting insufficient and inconsistent information upon which a fully informed and accurate decision can be made this application is lacking in necessary detail upon which a fully informed decision can be made and is therefore in conflict with ELDP policies C, D and 2.	Mr Richard Thomas
2.	NP4/11/211B	Conversion of detached garage to two storey short term, self-catering holiday letting unit	Bronant, Pentre Du, Betws y Coed. LL24 0BY	12/05/22  The proposal would generate increased use of a substandard access. The additional stopping and turning manoeuvres would lead to conditions prejudicial to the safety and free flow of traffic on the trunk road.  The site lacks sufficient frontage to provide adequate visibility splays for vehicles emerging from the site leading to conditions prejudicial to the safety and free flow of traffic on the trunk road.	Mr Richard Thomas
3.	NP4/16/LB175	Listed Building Consent for the installation of scour protection to bridge abutments, reconstruction of Northern abutment, consolidation of Southern abutment and refurbishment of bridge deck	Pont Chwarel y Fedw, Dolwyddelan. LL25 0DX	16/05/22  By reason of the application as submitted presenting insufficient, flawed and inaccurate information upon which a fully informed and accurate decision can be made this application is in conflict with ELDP policies SP Ff and D and policies DP 1, 6 and 7.	Mr Richard Thomas

4.	NP5/58/596A	Renovation and conversion of former ticket Master's office/waiting room (Use class "Sui Generis") into café (Use class A3) including installation of 6 rooflights	Station House, Dyffryn Ardudwy. LL44 2EU	<p>17/05/22</p> <p>The proposal fails to provide any parking provision. The proposal would therefore be contrary to Development Policy 1 of the adopted Eryri Local Development Plan 2016-2031 which seeks to ensure that development provides adequate provision of car parking and on-site turning areas.</p> <p>In the absence of information to assess potential effects on bats and that no provision has been made for a compensation roost the proposed development would be considered to have an adverse effect on a protected species. The proposal would therefore be considered in conflict with both Strategic Policy D and Development Policy 1 of the Eryri Local Development Plan which aims to protect and enhance the natural environment and biodiversity of the National Park.</p>	Mr Aled Lloyd
5.	NP5/59/511J	Drainage details for connection to existing main sewer in lieu of package treatment plant approved under planning application NP5/59/511A	Land to rear of Penrhiw, Llan Ffestiniog. LL41 4PN	<p>17/05/22</p> <p>By reason of the applicant presenting insufficient information upon which a fully informed and accurate decision can be made this application is lacking in necessary detail upon which a fully informed decision can be made and is therefore in conflict with ELDP policies D and 1.</p>	Mr Aled Lloyd





## Penderfyniad ar yr Apêl

Ymweliad â safle a wnaed ar 19 Ebrill 2022

gan Nia Jones, BA (Hons) MSc MRTPI

Arolygydd a benodir gan Weinidogion Cymru

Dyddiad: 01/06/2022

## Appeal Decision

Site visit made on 19 April 2022

by Nia Jones, BA (Hons) MSc MRTPI

an Inspector appointed by the Welsh Ministers

Date: 01/06/2022

Appeal Ref: APP/H9504/A/21/3282857

Site address: Land opposite Quaker Burial Ground, Llwyngwril.

**The Welsh Ministers have transferred the authority to decide this appeal to me as the appointed Inspector.**

- The appeal is made under section 78 of the Town and Country Planning Act 1990 against a refusal to grant planning permission.
- The appeal is made by Mr George Borthwick against the decision of Snowdonia National Park Authority.
- The development proposed is described as 'This application is for storage of one touring caravan which has planning permission to be used as living accommodation for twenty eight days in any one year'.

### Decision

1. The appeal is dismissed.

### Procedural Matters

2. The appellant describes the proposed development as the storage of a touring caravan on the basis that he is permitted to leave a caravan on the site for not more than 28 days in each year, to be used as holiday accommodation. As he lives approximately 180 miles from the site and stays on the appeal site for up to 7 days at a time, he wishes to leave the caravan on the site, in storage, when not in use as holiday accommodation, to avoid the need to tow it a long distance backwards and forwards. Nonetheless, there is no evidence such as a formal planning permission or lawful development certificate that confirms the lawfulness of the use of the caravan as living accommodation for 28 days in any one year. The Authority do not consider the development to be a permitted use but in any event, the question of lawfulness is a separate matter which is not before me for jurisdiction in this case. From the evidence, it is clear that the appellant is seeking to store the caravan permanently on the site whilst using it for accommodation for up to 7 days at a time up to 28 days in a year. I have considered the appeal on this basis.

## Main Issue

3. The main issue is the effect of the development on the character and appearance of the area.

## Reasons

4. The appeal site is located outside the small coastal village of Llwyngwriil, within the Snowdonia National Park (SNP). It comprises part of an agricultural field enclosed by stone walls and a fence. It has a gated access and is separated from development to its south and south-west by open fields and a railway. Although housing is located immediately to its north and east, it is distinct from these developments by the A493 road and the access to the nearby Quaker Burial Ground which also serves as part of a public right of way. It is therefore in a countryside location for the purposes of the Eryri Local Development Plan (LDP).
5. Planning Policy Wales (Edition 11) (PPW) states that planning authorities should give great weight to the statutory purposes of National Parks, which include conserving and enhancing their natural beauty, wildlife and cultural heritage, and promoting opportunities for public understanding and enjoyment of their special qualities. Strategic Policy C of the LDP sets out how the limited opportunities for new development in the SNP will be distributed to achieve the LDP's spatial vision and objectives. For sites in the countryside, limited opportunities for development are listed, however, a touring caravan site is not included. Moreover, LDP Development Policy 23 states that within the National Park, no new touring or camping sites will be permitted due to their effect on the landscape and special qualities of the National Park. The LDP also sets out a broad range of requirements that all development proposals should meet to be acceptable within the SNP. To conserve and enhance its special qualities therefore, in accordance with LDP Development Policy 1, development will only be permitted where, including other matters, its nature, location and siting, height, form and scale is compatible with the capacity and character of the site and locality within which it is located and is not unduly prominent in the landscape.
6. Although the field level of the site is lower than the A493, the touring caravan would remain partially visible. It would be sited parallel with the road and although it would present its narrowest view when approached on the main road through the village, it would be a noticeable and piecemeal intrusion set apart from nearby housing. It would be especially prominent to those using the letterbox in the boundary wall. Whilst some sheds are located alongside the site, due to their small size and timber finish they are relatively inconspicuous and given their agricultural use, are not unexpected in their setting. The proposal, in contrast, would be a discordant and incompatible development in an open field setting, with the parking of vehicles and bin storage area adding to its visual clutter and inharmoniousness. Although partially screened by existing vegetation from the public right of way near the Quaker Burial Ground, the proposal would be markedly noticeable on the path approaching from the opposite direction where its flank would be funnelled in the view between the boundaries of Tawelfan and Llwyn Croft.
7. I have had regard to the presence of holiday pods and caravans nearby. However, whilst visible, they are not directly comparable to the appeal proposal as the view afforded of them from the road is diminished due to the distance. They are also largely set against a backdrop of existing buildings and vegetation and appear to be part of larger established commercial enterprises.
8. I acknowledge that the use of the caravan as holiday accommodation would be limited to 7 days at a time up to 28 days in the year, however this would not remove the long term

visual harm arising from its permanent stationing. Similarly, neither would this harm be overcome by the suggested seasonal occupancy condition to which the appellant is agreeable.

9. I conclude that the development would fail to conserve and enhance the special qualities of the SNP and harm the character and appearance of the area, contrary to LDP Development Policies 1 and 23, and Strategic Policy C.

## **Conclusions**

10. For the above reasons and having regard to all other matters raised, the appeal is dismissed.

11. In reaching my decision I have taken into account the requirements of sections 3 and 5 of the Well-being of Future Generations (Wales) Act 2015. I consider this decision is in accordance with the Act's sustainable development principle through its contribution towards one or more of the Welsh Minister's wellbeing objectives as required by section 8 of the Act.

*Nia Jones*

Inspector