

NOTICE OF MEETING



Snowdonia National Park Authority

*Emyr Williams
Chief Executive*

Snowdonia National Park Authority

Penrhyndeudraeth

Gwynedd LL48 6LF

Phone: (01766) 770274

E.mail: parc@eryri.llyw.cymru

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| Meeting: | Planning & Access Committee |
| Date: | Wednesday 6 th September 2023 |
| Time: | 10.00 a.m. |
| Location: | The Oakeley Room, Plas Tan y Bwlch, Maentwrog and Via Zoom |

Members are asked to join the meeting 15 minutes before the designated start time

Members appointed by Gwynedd Council

*Councillor: Elwyn Edwards, Annwen Hughes, Louise Hughes
June Jones, Kim Jones, Edgar Wyn Owen, Elfed Powell Roberts,
John Pughe Roberts, Meryl Roberts;*

Members appointed by Conwy County Borough Council

Councillor: Ifor Glyn Lloyd, Jo Nuttall, Dilwyn Owain Roberts;

Members appointed by The Welsh Government

*Mr. Brian Angell, Ms. Tracey Evans, Mrs. Sarah Hattle,
Mr. Tim Jones, Ms. Naomi Luhde – Thompson, Ms. Delyth Lloyd.*

****This Agenda is also available in Welsh***

AGENDA

Page No's

1. **Apologies for absence and Chairman's Announcements**
To receive any apologies for absence and Chairman's announcements.
2. **Declaration of Interest**
To receive any declaration of interest by any members or officers in respect of any item of business.
3. **Minutes**
The Chairman shall propose that the minutes of the meeting of this Committee held on the 28 June 2023 be signed as a true record (copy herewith) and to receive matters arising, for information. **3 - 6**
4. **Reports by the Director of Planning and Land Management**
To submit the reports by the Director of Planning and Land Management on applications received. (Copy herewith) **7 - 74**
5. **Planning Enforcement Cases**
Submit a report by the Director of Planning and Land Management (Copies herewith) **75 - 76**
6. **Update Reports**
To submit update reports, for information. (Copies herewith) **77 - 84**
7. **Delegated Decisions**
To submit the list of applications which have been determined in accordance with delegated authority, for information. (Copy herewith) **85 - 96**
8. **Appeal Decision**
To submit an oral report by the Director of Planning and Land Management on the Inspector's decision to refuse appeals (a) NP2/14/LU51A Certificate of Lawful Use for development as dwelling, Bronant, Ty'n y Ffridd, Nasareth.. Appeal by Mrs Marian Roberts against the decision of the Snowdonia National Park Authority to refuse planning consent,
(A copy of the Inspector's decision is enclosed – Copy herewith) **97 - 103**

**SNOWDONIA NATIONAL PARK PLANNING AND ACCESS COMMITTEE
WEDNESDAY 28th JUNE 2023**

PRESENT:**Members appointed by Gwynedd Council**

Councillors Elwyn Edwards, Annwen Hughes, June Jones, Louise Hughes, Kim Jones, Edgar Wyn Owen, John Pughe Roberts, Meryl Roberts;

Members appointed by Conwy County Borough Council

Councillors Ifor Glyn Lloyd, Jo Nuttall, Dilwyn Owain Roberts;

Members appointed by the Welsh Government

Mr. Brian Angell, Ms. Tracey Evans, Ms. Sarah Hattle, Ms. Delyth Lloyd, Ms. Naomi Luhde-Thompson.

Officers

Iwan Jones, Jonathan Cawley, Aled Lloyd, Dafydd Thomas, Alys Tatum, Anwen Gaffey.

The Director of Corporate Services stated that the meeting was being recorded to assist in verifying the minutes and would be made available online at a later date.

1. Chair

The Director of Corporate Services outlined the procedure for electing a Chair and Vice-Chair for the Planning and Access Committee and advised Members that in accordance with Standing Orders 5.2 and 5.3, he had received nominations proposing two Members for the Chair, Councillor Elwyn Edwards and Councillor Ifor Glyn Lloyd who were then invited to address the meeting.

Councillor Elwyn Edwards took up the invitation to address the meeting and provided a summary of his background and experience. Councillor Ifor Glyn Lloyd thanked Members for putting his name forward but advised that he wished to withdraw his nomination.

Councillor Elwyn Edwards was elected Chair of the Planning and Access Committee.

The Chair thanked Members for their support.

2. Vice-Chair

The Director of Corporate Services advised Members that in accordance with Standing Orders 5.2 and 5.3, he had received nominations proposing two Members for Vice-Chair, Councillor Ifor Glyn Lloyd and Councillor Edgar Owen who were then invited to address the meeting.

Councillor Ifor Glyn Lloyd took up the invitation to address the meeting and provided a summary of his background and experience. Councillor Edgar Owen thanked Members for putting his name forward but advised that he wished to withdraw his nomination.

Councillor Ifor Glyn Lloyd was elected Vice-Chair of the Planning and Access Committee.

The Vice-Chair thanked Members for their support.

3. **Apologies**

Councillor Elfed Roberts; Mr. Tim Jones.
Jane Jones, Acting Planning Manager,
Elliw Owen, Head of Planning Policy.

4. **Declaration of Interest**

No declarations of Personal Interests were made in respect of any item.

5. **Minutes**

The minutes of the Planning and Access Committee meeting held on 17th May 2023 were accepted and the Chair signed them as a true record.

6. **Appointment of Members to serve on the Planning and Access Committee Inspection Panels**

Submitted - A report by the Director of Planning and Land Management to appoint Members onto the Authority's Inspection Panels.

RESOLVED to appoint Members as follows:-

Northern Area Inspection Panel

(9 Members)

- 1) Cllr. June Jones
- 2) Cllr. Kim Jones
- 3) Cllr. Ifor Glyn Lloyd
- 4) Cllr. Jo Nuttall
- 5) Cllr. Edgar Wyn Owen
- 6) Cllr. Dilwyn Owain Roberts
- 7) Ms. Tracey Evans
- 8) Mr. Tim Jones
- 9) Ms. Naomi Luhde-Thompson

Southern Area Inspection Panel

(9 Members)

- 1) Cllr. Elwyn Edwards
- 2) Cllr. Annwen Hughes
- 3) Cllr. Louise Hughes
- 4) Cllr. Elfed Powell Roberts
- 5) Cllr. John Pughe Roberts
- 6) Cllr. Meryl Roberts
- 7) Mr. Brian Angell
- 8) Mrs. Sarah Hattle
- 9) Ms. Delyth Lloyd

7. **Review Report on the Eryri Local Development Plan**

Submitted – A report by the Head of Planning Policy to approve the final Review Report.

Reported – In the absence of the Head of Planning Policy, the Director of Planning and Land Management presented the report and background. He outlined the next steps, thanked the key stakeholders for their useful comments, and advised that the report had now been amended to take account of the additional considerations raised by stakeholders which were highlighted in the Review Report.

Members and officers discussed the report in detail and made the following observations:-

- in response to a question, the Director of Planning and Land Management confirmed that once the Carbon Strategy was complete, there would be specific reference to it in the document.
- the Director of Planning and Land Management agreed to include reference to Community-led housing in the report.
- a Member felt the Plan did not mention collaboration between Gwynedd Council, as builders and developers of affordable housing, and the Authority's housing strategy and that Gwynedd Council was not included in the list of stakeholders. The Member also noted Adra's observation that the Authority should work closely

with social housing providers on their strategies and plans. The Director of Planning and Land Management confirmed that regular meetings were held with Gwynedd Council and Conwy County Borough Council housing authorities and that the Authority has worked in partnership with housing associations such as 'Grŵp Cynefin', 'Adra' and 'North Wales Housing'. In response to an observation with regard to the need for more effective monitoring of the LDP, the Director of Planning and Land Management was confident there was sufficient monitoring, and that Members receive a copy of the annual monitoring report.

- Members noted that prior to any key consultations, pre-meetings will be held. This will allow the Community Councils time to prepare before formal consultations begin with the communities to call for sites.
- the Director of Planning and Land Management apologised that the English version of Appendix II had been included in the Welsh Agenda in error.
- the Director of Planning and Land Management confirmed that the revised Eryri LDP will need to conform with Future Wales – The National Plan 2040 and reflect its objectives. The timings were not ideal in that the LDP will have been adopted before the North Wales Strategic Development Plan (SDP), and the aim was to work closely with officers preparing the SDP which may provide an opportunity to influence the strategy.
- a Member raised various policies he thought needed to be reviewed such as the Section 106 commuted sum policy which was too restrictive for local people and should be more flexible to benefit the local economy. He felt the Authority's policy on providing additional car parking was too negative, and that farm diversification policies should be further considered to prevent the countryside from losing its young people and language. In response, the Director of Planning and Land Management advised that policy details will be considered fully by Members at a later stage in the LDP review.

RESOLVED subject to noting the additions/amendments as outlined above, to approve the final Review Report on the Eryri Local Development Plan.

8. Reports by the Director of Planning and Land Management

Submitted – Reports by the Director of Planning and Land Management on planning applications and compliance matters.

Please see the Schedule of Planning Decisions attached.

9. Update Reports

Submitted – Update reports by the Director of Planning and Land Management on planning applications and compliance matters.

Please see the Schedule of Planning Decisions attached.

10. Delegated Decisions

Submitted and Received – List of applications determined in accordance with delegated authority.

RESOLVED to note the report.

The meeting ended at 11.10

SCHEDULE OF PLANNING DECISIONS – 28th JUNE 2023

Item No.

8. Report by the Director of Planning and Land Management

- (1) NP5/62/423 – Alterations to existing access to Coed Hafod y Bryn to include widening the access from 3.3m to 4.2m, Coed Hafod y Bryn, Llanbedr.

Reported – Case Officer presented the report and background. Case Officer noted that the Friends of Llanbedr Woodland were no longer active.

RESOLVED to grant permission in accordance with the recommendation.

9. Update Reports

- (1) Enforcement Notices, Listed Building Enforcement Notices served under delegated powers and List of Compliance Cases – **For Information**

Arising thereon, Members noted the following:-

- several cases have remained outstanding for a number of years.
- the report had not been fully updated and a Member requested more meaningful updates in future. The Director of Planning and Land Management advised that staff capacity issues in the enforcement section have now been addressed following a recent appointment and also the Acting Planning Manager's return to the section.

NP4/32/ENFL229A – 4 Rhiwlas Villas, Trefriw

The Planning Officer agreed to provide Members with an update at the next meeting of the Planning and Access Committee.

NP5/50/ENF152A – Bryn Awelon, Aberdyfi

The Planning Officer agreed to provide Members with an update at the next meeting of the Planning and Access Committee.

NP5/65/ENF115A – Land at Hengwrt, Llanelltyd

The Planning Officer agreed to arrange for the Acting Planning Manager to provide Members with an update at the next meeting of the Planning and Access Committee.

NP5/68/ENF195B – 13 Garreg Frech, Llanfrothen

The Planning Officer agreed to provide Members with an update at the next meeting of the Planning and Access Committee.

NP5/70/ENF81H – Cefn-y-Meirch, Rhosygwalliau

The Planning Officer agreed to provide Members with an update at the next meeting of the Planning and Access Committee.

NP5/69/ENFLB326A – Ty Gwyn, Llwyngwriil

The Planning Officer agreed to provide Members with an update at the next meeting of the Planning and Access Committee.

RESOLVED to note the report.

- (2) Section 106 Agreements – **For Information**

In response to a request from a Member, the Director of Planning and Land Management agreed to provide Members with further training on the Section 106 / Commuted Sums Policy.

RESOLVED to note the report and await the future training session.

- (3) Outstanding Applications where more than 13 weeks have elapsed – **For Information**

RESOLVED to note the report.

| <u>Rhif Eitem / Item No.</u> | <u>Cyfeirnod / Reference No.</u> | <u>Disgrifiad / Description.</u> | <u>Swyddog Achos / Case Officer</u> |
|---|---|--|--|
| | NP5/58/636B | Adeiladu dau dŷ fforddiadwy ar wahân ar gyfer angen lleol (1 byngalo ac 1 tŷ deulawr), Cae Wat (Tir ger Sŵn-y-Môr), Ffordd Glan Môr, Talybont. / Erection of two detached affordable dwellings for local need (1 bungalow and 1 two storey dwelling), Cae Wat (Land adjacent to Sŵn-y-Môr), Ffordd Glan Môr, Talybont. | Mr Aled Lloyd |
| | NP5/58/646 | Adeiladu byngalo wedi'i addasu'n arbennig ynghyd ac annedd deulawr, Tir ger Pentre Uchaf, Dyffryn Ardudwy. / Erection of a special adapted bungalow and a two-storey dwelling, Land near Pentre Uchaf, Dyffryn Ardudwy. | Mr Aled Lloyd |
| | NP5/61/654 | Adeiladu 20 (ugain) o dai fforddiadwy, creu mynedfa newydd i'r A496, a datblygiad cysylltiedig, Tir ger Pen yr Hwylfa, Harlech. / Erection of 20 (twenty) affordable dwellings, formation of new access on to the A496, and associated development, Land adjoining Pen yr Hwylfa, Harlech. | Mr Aled Lloyd |
| | | | |

Snowdonia National Park Authority Date: 06-Sep-2023
– Planning & Access Committee

Application Number: NP5/58/636B

Date Application Registered: 05/06/23

Community: Dyffryn Ardudwy

Grid Reference: 258831 321630

Case Officer: Mr Aled Lloyd

Location:

Cae Wat (Land adjacent to Sŵn-y-Môr),
 Ffordd Glan Môr, Talybont. LL43 2AR

Applicant:

Mr. Dai Thomas
 7 Penrhiw
 Dyffryn Ardudwy
 Gwynedd
 LL44 2DW

Description:

Erection of two detached affordable dwellings for local need (1 bungalow and 1 two storey dwelling)

Summary of Recommendation

To GRANT permission subject to conditions

- Start within 5 years
- In accordance with the submitted plan
- Roofing materials
- Approval of stonework
- Removal of Permitted Development Rights
- Highways
- Subject to Section 106 Agreement

Reason(s) Application Reported to Committee

Scheme of Delegation

Contrary to adopted policy DP30 on Affordable Housing

Land Designations / Constraints

Outside housing development boundary
 Flood Zone C2

Site Description

This application site is situated on Ffordd Glan Môr off the A496 the road leading to the coast at Talybont.

The site sits in a line of 10 houses which are on the north side of the road between the A496 and the railway line.

Traditional stone walls and mature trees and hedgerows form the site boundary.

Proposed Development

The proposal involves the erection of two affordable housing units. A four-bedroom 2 storey dwelling and a two bedroom bungalow.

The four bedroom two storey property has an internal floor area of no greater than 110 square metres, and two bedroom bungalow property of an internal area of no greater than 80 square metres.

Consultations

| Consultees: | Responses: |
|--|---|
| Dyffryn Arduwy and Talybont Community Council | Support |
| Gwynedd Council Housing Project Manager/ Housing and Property Department | Comments and details of identified need in the area. No reference to housing association in the application, and I would like to know if the developer has contacted the housing associations. |
| NRW | No objection – Comments made The planning application proposes highly vulnerable development (Residential). The application site falls within Zone C2 of the Development Advice Map (DAM) contained in TAN15 (2004). However, at this location the Flood Map for Planning (FMfP) is the best available information on flood risk. The FMfP identifies the application site to be in Flood Zone 1, meaning there is less than a 0.1% chance of flooding in a given year. On this basis, we have no objection to the application as submitted. |
| Gwynedd Highways | No response |
| Dŵr Cymru | Recommend Condition |
| SaB | Standard Advice |

| | |
|---------|---|
| Ecology | No objection – Biodiversity Enhancement acceptable and include external swift boxes on the gable end of the properties and the planting of a native hedge |
|---------|---|

Responses to Publicity:

The application has been publicised by way of a neighbour notification letter to 12 nearby residential properties, together with a site notice.
1 letter of objection and 1 letter of support have been received on the grounds of

Objection

- Over development of site
- Exceeding the building line in front of neighbouring line

Support

- Infill plot near to existing dwellings
- An area popular for local homes

Relevant Planning Policies – Eryri Local Development Plan (2016 – 2031)

| Policy No. | Policy |
|-------------------|--|
| SP A | National Park Purposes and Sustainable Development |
| SP G | Housing |
| DP 1 | General Development Principles |
| DP 6 | Sustainable Design and Materials |
| DP11 | Affordable Housing on Exception Sites |
| DP 18 | The Welsh Language and the Social and Cultural Fabric of Communities |
| DP 30 | Affordable Housing |

Supplementary Planning Guidance:

| | |
|-------|------------------------------------|
| SPG 2 | General Development Considerations |
| SPG 4 | Affordable Housing |

National Policy:

| |
|-----------------------------------|
| Planning Policy Wales, edition 11 |
|-----------------------------------|

1. Background

- 1.1 A planning application was refused in January 2021 (ref NP5/58/636A) for *Outline application for the Erection of detached dormer bungalow (Open market)* and was refused for the following reason.

By reason of this application proposing an open market dwelling on a site that falls outside of any housing development boundary as defined in the Eryri Local Development Plan (2016 – 2031) this application is to be regarded as unwarranted development in the open countryside and is therefore in conflict with Eryri Local Development Plan policies A, C, 2, G, 11, 30 and Planning Policy Wales, edition 10.

- 1.2 A subsequent application was refused (ref NP5/58/636B) in September 2022 for the following reason.

By reason of this application proposing an new dwelling on a site that falls outside of any housing development boundary as defined in the Eryri Local Development Plan (2016 – 2031) this application is to be regarded as unwarranted development in the open countryside and is therefore in conflict with Eryri Local Development Plan policies A, C, 2, G, 11, 30 and Planning Policy Wales, edition 10.

- 1.3 Following the refusals, a pre-application enquiry was submitted in February 2022 in relation to the current proposal. The applicant was advised in the response from officers of the policy requirements in particular to Development Policy 11 – Affordable Housing on exception sites which states “...that proposals for small scale affordable housing units immediately adjoining a housing development boundary. It is recognised that the site is not immediately adjoining a housing development boundary. However, in view of the characteristics of the area in that the site is located with residential properties either side, this will be taken into account when assessing any submitted application.”

- 1.4 The applicant was further advised to contact Gwynedd Council Housing Officer, who would be able to provide details for the current need for housing in Talybont

2.0 Principle of Development

- 2.1 It is appropriate to consider the proposal against Strategic Policy A, G and Development Policies 1, 6, 11 and 30.
- 2.2 LDP Policy 11 – Affordable Housing on Exception Sites is the most relevant ones to be used in determining the principle of this development.
- 2.3 Policy 11 does not allow residential development on sites that are not immediately adjoining a housing development boundary.

2.4 Each application is considered on its own merits and in this instance case officers consider that there are material planning considerations to support residential development on the site.

2.5 The full assessment of the policy are detailed in this report.

3. Assessment

3.1 The housing policies of the ELDP are contained in policies G, 30 and 11. Policies G and 30 refer to potential housing sites located within an Housing Development Boundary (HDB). As this site falls outside the development boundary for Talybont, the only policy that could be applicable would be development policy 11: Affordable Housing on Exception Sites. To be in conformity with this policy the proposal must be for 100% affordable dwellings and be immediately adjacent to a development boundary of a settlement.

3.2 The policy, allows a small number of new dwellings for affordable local needs on sites outside but immediately adjacent to the Housing Development Boundary provided the proposal conforms to all other requirements. This policy is an exception which allows local affordable housing where such a need cannot be provided within the housing development boundary.

3.3 The site is 80 metres from the Housing Development Boundary and the proposal is therefore contrary to the policy requirements.

3.4 However, officers in this instance consider that in view of the characteristics of the site being 3rd plot on a road which has currently 9 houses, all of which fall outside the current housing development boundary, to develop for affordable properties could be acceptable.

3.5 It is further considered that the site represents a logical and sympathetic development, and in view of the characteristics and location of the site it is not an extension of the settlement but the use of an existing building plot / infill.

3.6 The application site lies within Flood Zone C2, which is defined as a chance of flooding from the sea is less than 1 in 200 (0.5%) and from rivers, surface water and small watercourses it is less than 1 in 100 (1%), including climate change. In view that the proposal is for 2 dwellings there is no need to refer the matter to Welsh Ministers. Furthermore Natural Resources Wales have assessed the proposal in relation to flood risk and have confirmed that they have no objections.

3.7 Affordable Housing Need

Development Policy 11 – Affordable Housing on Exception Sites

Criteria (i) & (ii)

Criteria (i) specifies a need for affordable housing must be demonstrated through an approved local housing needs survey or on the written advice of the local housing authority.

Criteria (ii) specifies that *The need cannot be satisfied within a reasonable period of time by:*

- a) *The use of a suitable site within the housing development boundary of the settlement.*
- b) *The use of existing housing which is available to for sale or rent in the locality.*
- c) *The conversion or rehabilitation or redevelopment of existing buildings in the locality.*
- d) *The use of a site allocated for affordable housing.*

3.8 In 2022, that 1 planning permission has been granted within Talybont in the last 10 years under the Affordable Housing policy and this was for a 3 bedroom property.

3.9 No other sites are allocated for affordable housing within the locality.

3.10 Open market dwellings – On the market in May 2023. Seven properties were shown on rightmove on in May 2023 and ranged between £1,350,000 to £239,000. None of these are affordable to the average local salary.

3.11 Information has been provided by Gwynedd Council Housing and Property Department. The housing need for the Dyffryn Ardudwy community is as follows

Number of applicants on the Housing Options Register for Social Housing: 99

| Number of beds | Need as a % |
|----------------|-------------|
| 1 bed | 31% |
| 2 / bed | 43% |
| 3 / bed | 19% |
| 4 / bed | 7% |
| 5 / bed | 0% |

Number of applicants on the Tai Teg Register for Intermediate Housing: 13

| Number of beds | Need as a % |
|----------------|-------------|
| 1 / bed | 0% |
| 2 / bed | 62% |
| 3 / bed | 38% |
| 4+ / bed | 0% |

- 3.12 There is one building plot advertised on the 14th August 2023 for £100,000.
- 3.13 There are no existing buildings being marketed for conversion within the locality.
- 3..14 Consideration must also be given in relation to the definitions of 'housing need' and 'local' for affordable housing development within the National Park. Under paragraph 5.26 of the Eryri Local Development Plan, the definition of 'housing need' stipulates the future occupier cannot afford to rent or buy 'open market' accommodation in the locality and must conform to one of ten criteria, namely:
- Currently homeless.
 - Establishing a new household for the first time.
 - Has been living in rented accommodation for at least three years.
 - Their current house is deemed by the Housing Authority to be in substandard condition and it can be proven that the current house cannot be converted or upgraded to meet their need.
 - Their existing house is too small for the family and it can be proven that the present home cannot be converted or upgraded to meet their need.
 - Has an essential need to live close to another person who has a minimum of 10 years permanent and continuous residence in the qualifying area, the essential need arising from proven age or medical reasons.
 - Has specific requirements (the elderly or disabled).
 - Is providing key work or service and has a full time permanent job offer in the qualifying area.
 - Is leaving tied housing on retirement.
 - That no suitable accommodation is available in the locality and the person wishes to stay within the local community for economic or cultural reasons.

- 3.15 Proposed occupiers of new affordable housing must also meet the definition of a 'local' person. For service, secondary and smaller settlements a person is deemed 'local' if they have lived/worked in full time employment for a minimum and continuous period of five years within the qualifying area, which in this instance is the Talybont area.
- 3.16 From the submitted information with the application the applicant meets the definition of a 'local person'
- 3.17 Criteria iii – The site is a redevelopment of existing buildings or represents a logical and sympathetic extension of settlement in a way which does not prejudice the character of that settlement or the appearance of the surrounding countryside**
- 3.18 Officers consider that the site represents a logical and sympathetic development, which is not an extension of the settlement but the use of what is regarded as an infill plot.
- 3.19 The site is well related to the existing settlement and its development will not be detrimental to the visual amenities or the landscape of the area.
- 3.20 Due to the characteristics of the site, there will be no effect on neighbouring properties which border the site to the east.
- 3.21 In consideration of the location and characteristics of the site it is one that could be within the housing development boundary.
- 3.22 Criteria iv – The size of the development is commensurate with the size of the settlement**
- 3.23 The two dwellings will have separate vehicular accesses from the county road. The proposed bungalow will be sited at the far end of the site with the 2 storey dwelling being in line with existing dwellings, thus maintaining the character of the settlement.
- 3.24 The design of the dwellings are considered to be acceptable and compatible with the area. There is a wide range of styles and materials in the vicinity, the proposal would therefore not be unduly prominent.
- 3.25 The dwellings have been designed to fall within the planning policy requirement for affordable housing - four bedroom two storey property of an internal floor area of no greater than 110 square metres, and two bedroom bungalow property of an internal area of no greater than 80 square metres.
- 3.26 Both dwellings will incorporate a traditional slate roof, with white render, natural stone and light grey cladding

3.27 Criteria v – There would be no adverse effects on the integrity of European designated sites.

The site is not within an European designated site and the Ecologist has not raised any objection to the scheme.

3.28 Criteria vi – The site is not located within a green wedge designation

The site is not within a green wedge designation

3.29 Development Policy 18 – The Welsh Language and the Social and Cultural Fabric of Communities

A Community and Linguistic Statement has been submitted with the application which indicates there would be no detrimental impact on the Welsh language. The proposal therefore complies with the requirements of Development Policy 18.

4. Conclusion

4.1 It is fully understood that the application to provide 2 affordable dwellings at the site is contrary to Development Policy 11 in that the site is not immediately adjoining the Housing Development Boundary. However, it is officer's opinion that to depart from the adopted policy is fully justified in terms of the characteristics of the site and the proven need for affordable housing.

4.2 Members will be aware that there has been a lack of housing developments over the last 2-3 years especially affordable housing that has been completed

4.3 The granting of planning permission for affordable housing in this instance contributes to the Authority target of providing 375 affordable housing within the lifetime of the Eryri Local Development Plan.

4.4 In consideration of the above assessment there are clear and justified reasons for granting planning permission even though the site is outside of the housing development boundary.

4.5 It is recommended therefore that the application is approved subject to the successful completion of a s106 agreement,

RECOMMENDATION: To GRANT permission subject to the applicant entering into a s106 agreement under the Town and Country Planning Act 1990 and relevant conditions:

1. The development hereby permitted shall be commenced before the expiration of five years from the date of this decision.

2. The development hereby permitted shall be carried out in accordance with the following approved plans:
 - Site Location Plan
 - Drawing no SHA-385-04(A) Proposed Block Plan
 - Drawing no SHA-385-02(B) Proposed Plans & Elevations (Plot 1)
 - Drawing no SHA-385-04 Proposed Plans & Elevations (Plot 2)

3. The roof of the dwellings shall be covered with blue-grey slates from the Blaenau Ffestiniog area, or slates with equivalent colour, texture and weathering characteristics details of which shall be provided and approved by means of a formal application to the Local Planning Authority.

4. Prior to any stonework commencing on the site, a trial stonework panel including pointing not less than 2.00 m² shall be constructed. No building operations in stone shall be carried out on the site unless and until the trial panel has been inspected and approved by means of a formal application to the Local Planning Authority. The stonework of the dwellinghouse shall be built in accordance with the approved sample.

5. Notwithstanding the provision of the Town and Country Planning (General Permitted Development) Order 1995 (as amended by the Town and Country Planning General Permitted Development (Amendment) (Wales) Order 2013 (or any Order revoking or re-enacting or amending that Order with or without modification) nothing shall operate so as to permit (within the area subject to this permission) any development referred to in the Parts and Classes of Schedule 2 to the Order, summarised below:

PART 1: DEVELOPMENT WITHIN THE CURTILAGE OF A DWELLINGHOUSE

Class A: The enlargement, improvement or other alteration of a dwellinghouse.

Class B: The enlargement of a dwellinghouse consisting of an addition or alteration to its roof.

Class C: Any other alteration to the roof of a dwellinghouse.

Class D: The erection or construction of a porch outside any external door of a dwellinghouse.

Class E: The provision within the curtilage of the dwellinghouse, of any building or enclosure, raised platform, swimming or other pool required for a purpose incidental to the enjoyment of the dwellinghouse as such, or the maintenance, improvement or other alteration of such a building, enclosure, platform or pool; or a container used for domestic heating purposes for the storage of oil or liquid petroleum gas.

Class F: The provision within the curtilage of a dwellinghouse of a hard surface for any purpose incidental to the enjoyment of the dwellinghouse as such; or the replacement in whole or in part of such a surface.

Class G: The installation, alteration or replacement of a chimney on a dwellinghouse

Class H: The installation, alteration or replacement of a microwave antenna on a dwellinghouse or within the curtilage of a dwellinghouse.

PART 2: MINOR OPERATIONS

Class A: Gates, fences, walls and other means of enclosures

6. The highway boundary wall/hedge/fence or any new boundary erected fronting the highway shall at no time be higher than 1 metre above the level of the adjoining county road carriageway along the whole length of the site's boundary with the adjoining highway and nothing exceeding this height shall be erected within 2 metres of the said wall.
7. The turning area and car parking accommodation shall be completed in full accordance with the approved plan before the dwellings are occupied.
8. The access shall be completed in full accordance with the approved plan before the residential dwellings are occupied.
9. No dwelling shall be occupied until the foul drainage system for the site has been completed in accordance with the approved details. Thereafter no further surface water and/or land drainage shall be allowed to connect directly or indirectly with the public sewerage system.

Reasons:

1. To Comply with Section 91 (as amended) of the Town and Country Planning Act 1990
2. To define the permission and for the avoidance of doubt.
3. To ensure a satisfactory standard of appearance of the development and the use of appropriate local building materials, in accordance with Eryri Local Development Plan Policies and in particular policies 1, 6 and A
4. The local planning authority considers that such development should be subject to formal control in order to safeguard the amenities of the area.
5. The local planning authority considers that such development should be subject to formal control in order to safeguard the amenities of the area.
6. In the interest of Highway Safety.
7. In the interest of Highway Safety
8. In the interest of Highway Safety

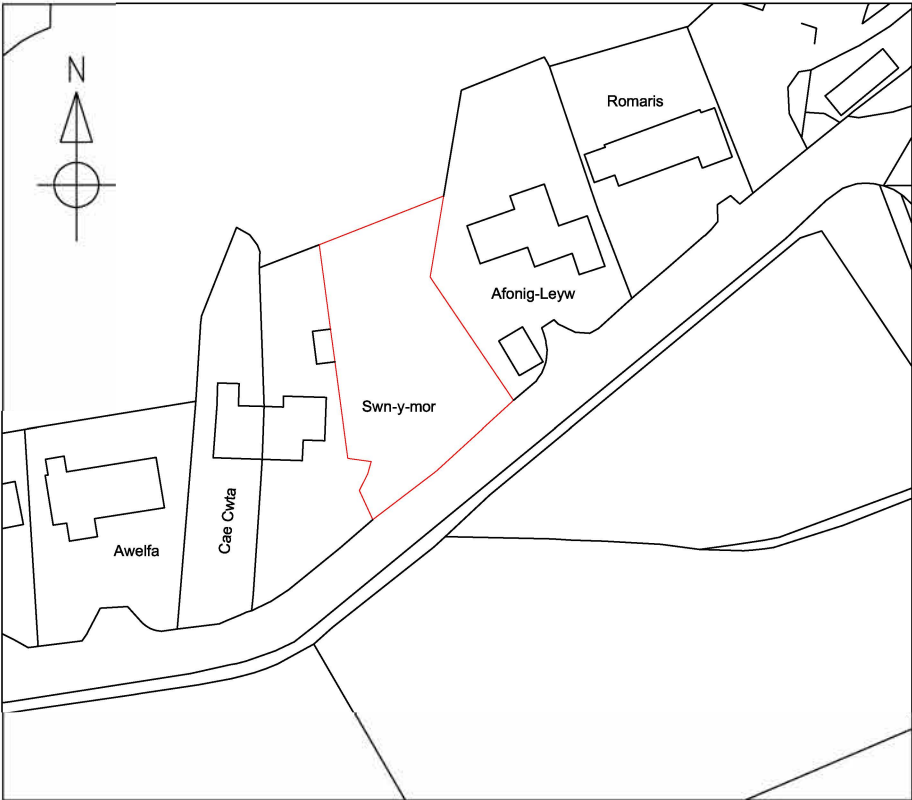
9. To prevent hydraulic overloading of the public sewerage system, to protect the health and safety of existing residents and ensure no pollution of or detriment to the environment

Advisory

1. FLOOD AND WATER MANAGEMENT ACT (FWMA) 2010 THE SUSTAINABLE DRAINAGE (APPROVAL AND ADOPTION PROCEDURE)(WALES) REGULATIONS 2018


The introduction of legislation on 7th January 2019 made sustainable drainage systems a mandatory requirement on new development where the construction area is 100m² or more. It is considered that this development exceeds the above identified threshold and may require Sustainable Drainage Systems (SuDS) consent from the relevant Sustainable Drainage Systems Approval Body (SAB) prior to construction works commencing.

Consequently, you are advised to contact the relevant Sustainable Drainage Systems Approval Body (SAB), i.e. (Gwynedd Council) for advice and guidance on this matter.




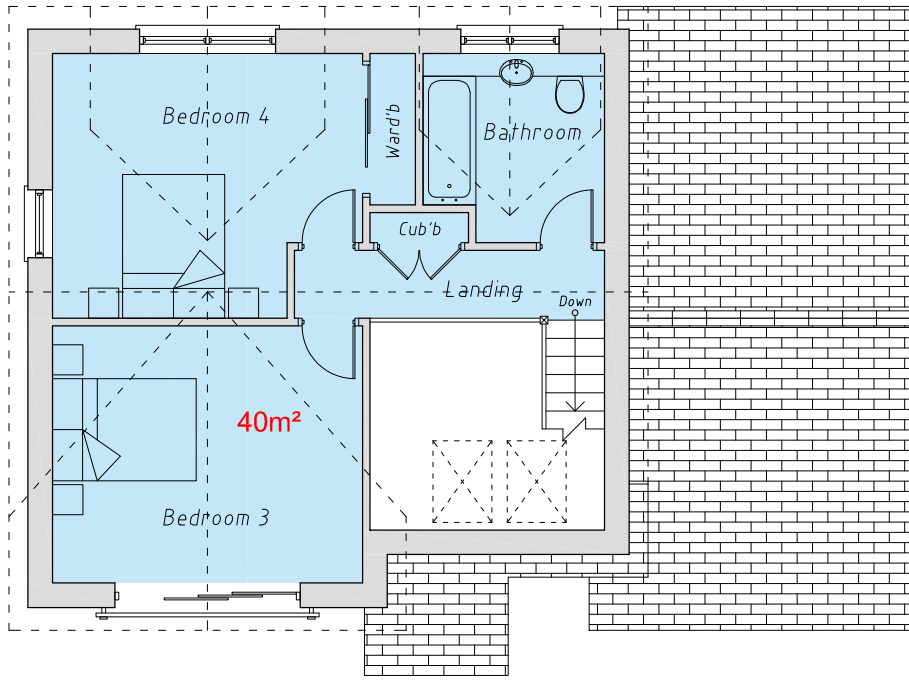
Data provider : Ordnance Survey

Data provider copyright : © Crown Copyright 2016. All rights reserved. Licence Number 100047514

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|  <p>Simon Hall Architecture</p> <p>T: 07786 720562 E: simon@sha.cymru</p> | PROJECT TITLE: Proposed Affordable Dwelling at Swn Y Mor, Taybont | | Scale: 1:1250 | Client: Mr D Thomas |
| | DRAWING TITLE: Site Location Plan | | DRAWING NO: SHA-385-01 | Paper Size: A4 |
| 20 | | | Drawn: SH | |
| | | | Date: May 2022 | |



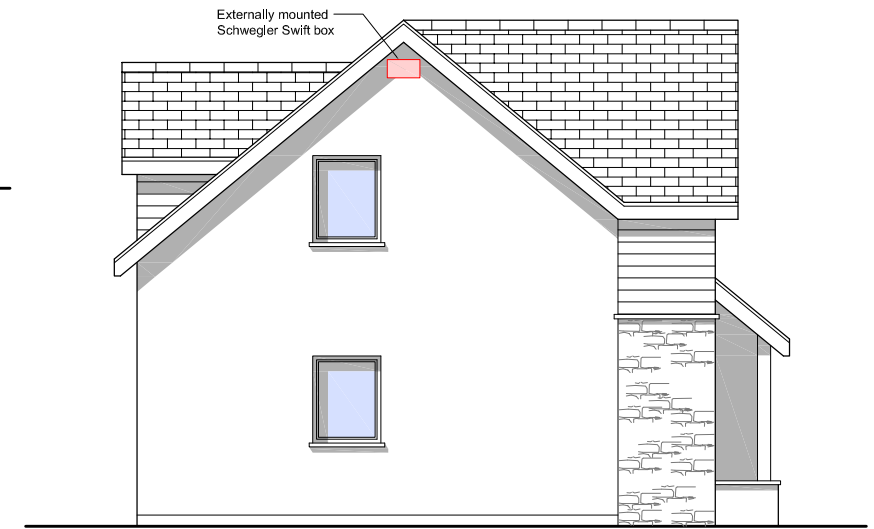
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| | | | Date: May 2023 | |



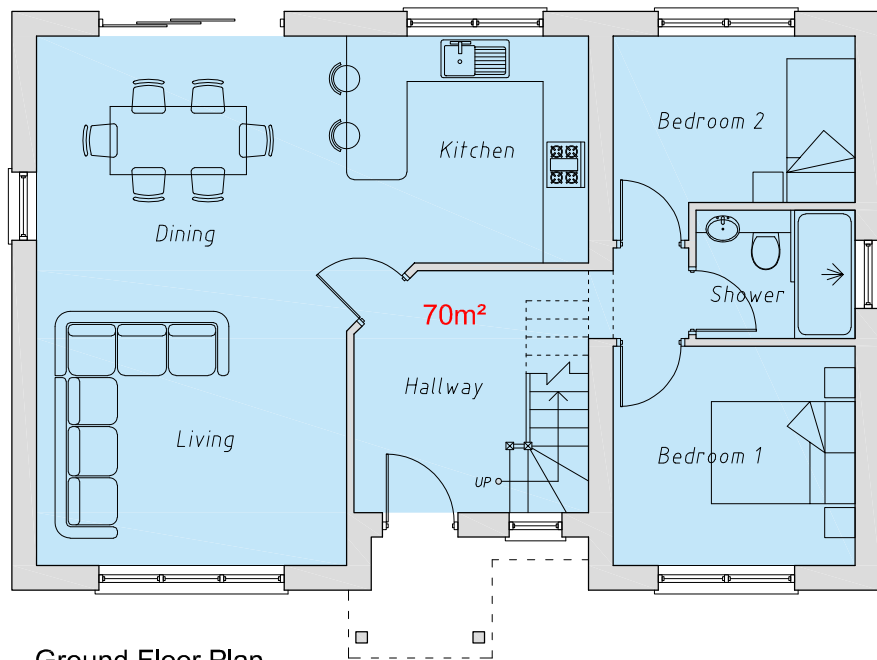
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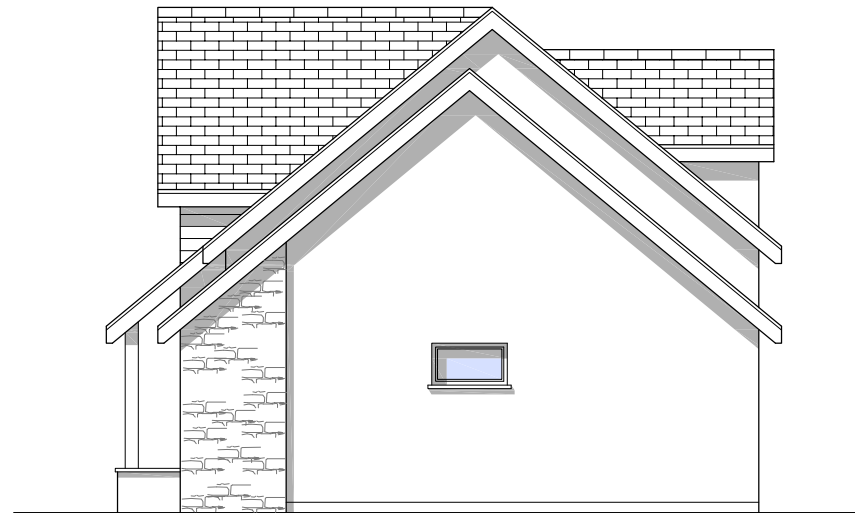
Front Elevation



Side Elevation




Ground Floor Plan

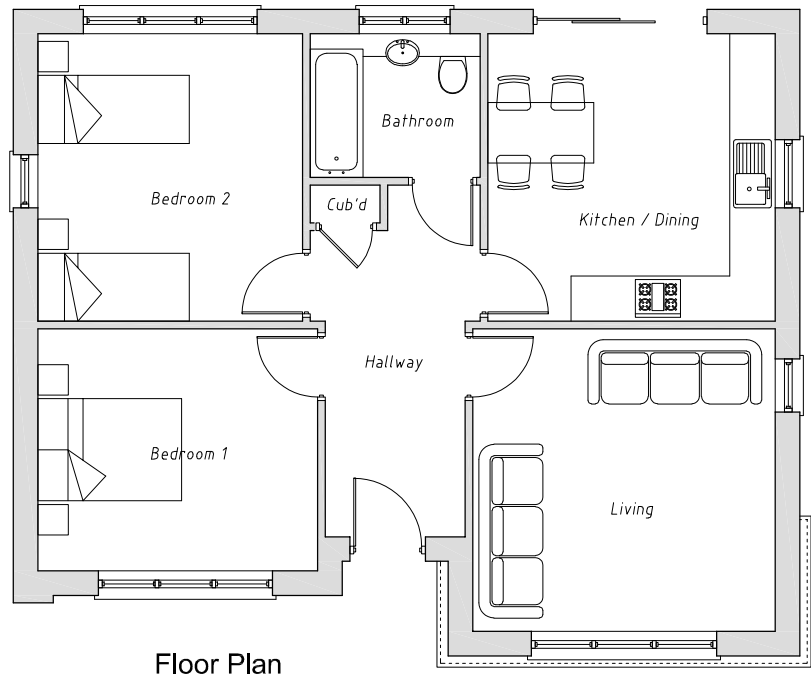


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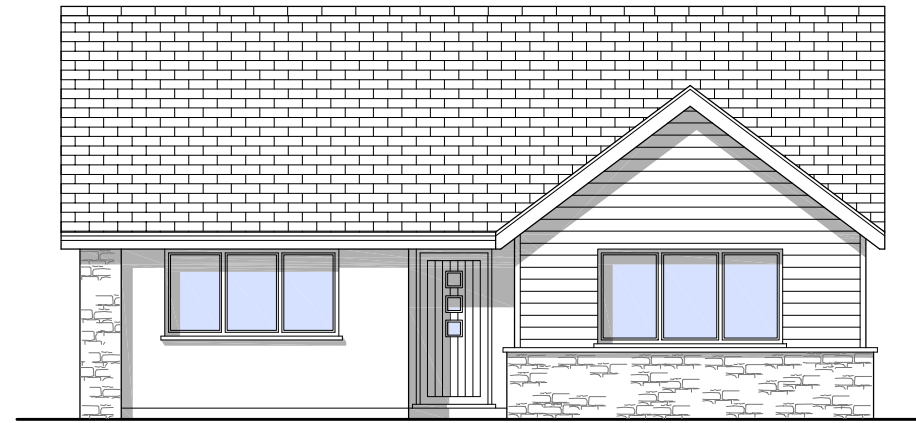


Rear Elevation

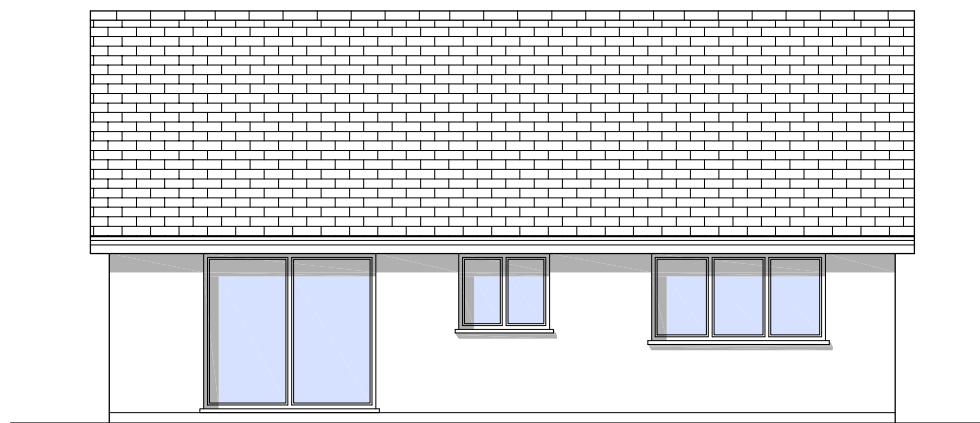
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| | DRAWING TITLE: Proposed Plans & Elevations (Plot 1) | DRAWING NO: SHA-385-02(B) | Drawn: SH Date: May 2023 |



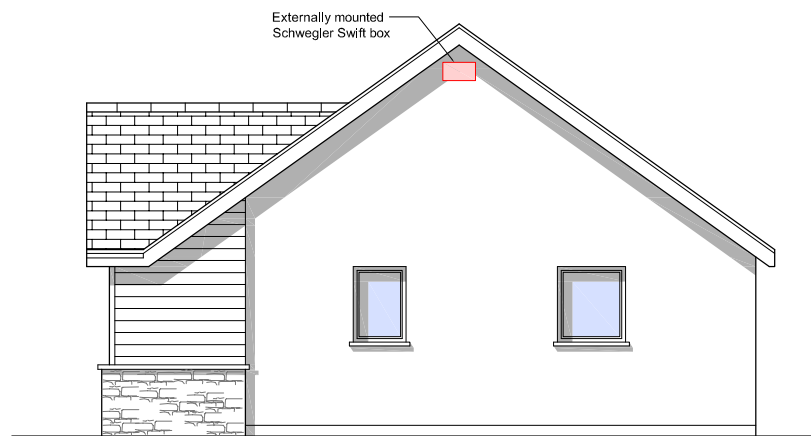
Floor Plan



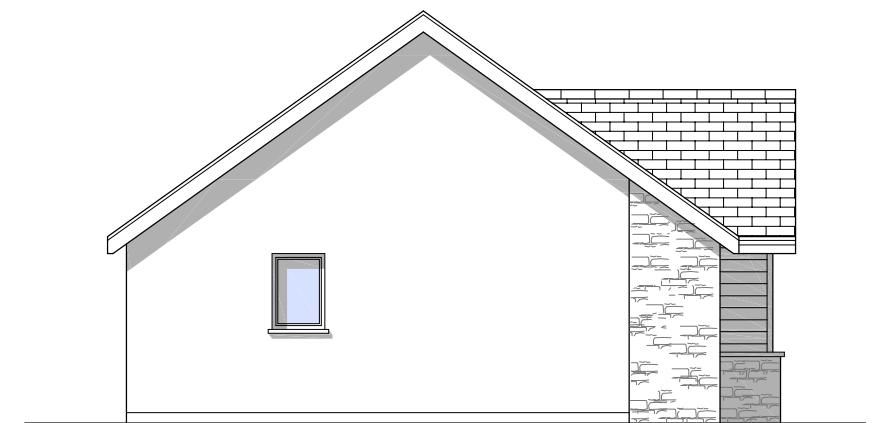
Front Elevation




Rear Elevation



Side Elevation



Side Elevation

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|---|--|------------------|-----------------------|-------------------------------|
|  Simon Hall Architecture T: 07786 720562 E: simon@sha.cymru | PROJECT TITLE: Proposed Affordable Dwelling at Swn Y Mor, Talybont | | Scale: 1:100 | Client: Mr D Thomas |
| | DRAWING TITLE: Proposed Plans & Elevations (Plot 2) | | Paper Size: A3 | |
| | DRAWING NO.: SHA-385-04 | Drawn: SH | Date: May 2023 | |

Snowdonia National Park Authority Date: 06-Sep-2023
– Planning & Access Committee

Application Number: NP5/58/646

Date Application Registered: 17/03/23

Community: Dyffryn Ardudwy

Grid Reference: 258589 323267

Case Officer: Mr Aled Lloyd

Location:

Land near Pentre Uchaf, Dyffryn Ardudwy.

Applicant:

Adra (Tai) Cyfyngedig
 c/o Agent

Description:

Erection of a special adapted bungalow and
 a two-storey dwelling

To GRANT permission subject to conditions

- Start within 5 years
- In accordance with the submitted plan
- Roofing Slate
- Approval of stonework
- Biodiversity Enhancements
- Remove permitted development rights
- Highways

Reason(s) Application Reported to Committee:

Community Council objection, officer recommendation of approval

Site description

Land Designations / Constraints:

Within Housing Development Boundary
 Allocated Housing Site
 Flood Zone C2

Site description

The application site is some 0.15 hectares in area is located off Pentre Uchaf. Existing residential properties on Pentre Uchaf are located to the west and north west of the site, to the south are detached bungalows on Station Road. To the south east is an existing public car park and telephone exchange. To the north east is grassland with dense bracken coverage.

The site has residential development to three sides with an existing public car park and telephone exchange to the south east.

The site is well related to the existing village in terms of its proximity to community facilities and accessibility to surrounding bus links and road network.

The site is located near to an identified badger set.

Proposal:

The proposal is a full application for the following development: -

Erection of two detached dwelling one being a special adapted bungalow and the other being a two-storey dwelling.

The Applicants have identified two local families as having specialist needs, whose housing situation are as follows:

While Family 1 will need a long-life adapted property, it is likely that many of the children will move out as they grow older. Similarly with Family 2 and therefore these properties are proposed so that they can be split into two 3-bedroom properties in future.

The accommodation to be provided comprises the following:

10 person 6 bedroom House

- 6 bedrooms;
- Lounge;
- Dining Room;
- Kitchen;
- Utility;
- 3 Bathrooms; and
- Home Office / Study.

10 person 6 bedroom Special Adapted Bungalow

- 6 bedrooms;
- Lounge;
- Kitchen / Dining Area; and
- 3 Bathrooms

A total of 7 car parking spaces are provided as part of the development.

In order to support the application, the following documents were submitted –

Planning Support Statement;
Drainage Strategy
Preliminary Ecological Appraisal and Reptile Survey.
Badger Survey

Eryri Local Development Plan 2016-2031

- SP A: National Park Purposes and sustainable Development
- SP C: Spatial Development Strategy
- DP 1: General Development Principles
- SP Ch: Social and Physical Infrastructure in new development
- DP 2: Development and the Landscape
- SP D: Natural Environment
- SP G: Housing
- DP 30: Affordable Housing
- DP 6: Sustainable Design and Materials
- DP 8: Protection of Non-Designated sites
- DP 18: The Welsh Language and the Social and Cultural Fabric of Communities
- SP L: Accessibility and Transport

Supplementary Planning Guidance

- SPG 1: Sustainable Design in the National Parks of Wales
- SPG 2: General Development Considerations
- SPG 3: Planning and the Welsh Language
- SPG 5: Planning Obligations
- SPG 6: Nature Conservation & Biodiversity

National Policy

- Future Wales: The National Plan 2040
- Planning Policy Wales (Edition 11) 2021

Technical Advice Note 2: Planning and Affordable Housing
Technical Advice Note 5: Nature Conservation and Planning
Technical Advice Note 12: Design
Technical Advice Note 20: Planning and the Welsh Language

Consultees:

| | |
|--|--|
| Dyffryn Ardudwy and Talybont Community Council | Objection due to concerns about the impact on the residents there already Also not enough information on the plans. This development will reduce the numbers of houses the applicant has declared they are going to build on this site as well there will be a shortage of parking spaces on site. |
| Natural Resources Wales | No objection - Flood Consequence Analysis has been included in the Drainage Strategy document (Caulmert Ltd, February 2023) submitted with the application. The report correctly identifies that the site is not at risk of flooding during the design event of a 1% (1 in 100 year) annual exceedance probability (AEP) with an allowance for climate change. As such we have no concerns with the proposed layout, as shown on Figure 5 of the Drainage Strategy Document. |
| Gwynedd Council - Highways | No objection |
| Welsh Water | No problems are envisaged with the Wastewater Treatment Works for the treatment of domestic discharges from this site. Recommend advisory with regards to take a sustainable approach in considering water supply in new development proposals, including utilising approaches that improve water efficiency and reduce water consumption. |
| SaB | Standard Advise in relation to the need for approval for surface water drainage. |
| Ecology | No objection |

Responses to Publicity:

The application has been publicised by way of a site notice and neighbour notification letter to 24 nearby residential properties.

2 letters of objection have been submitted on the grounds of,

- Matters in relation to protected species and badgers.
- Size of the dwellings

1. Background

1.1 Pre-application advice was sought from the Authority for the erection of the 2 dwellings where it was advised that in principle the Authority could support the provision of dwellings on this site as the site has been allocated in the Eryri Local Development Plan (ELDP).

2.0 Principle of Development

2.1 It is appropriate to consider the proposal against Strategic Policy A, G and Development Policies 1, 6 and 30.

2.2 The proposal would utilise a site that is allocated for housing within the ELDP and where the proposed built development is set entirely within the development boundary of the 'secondary settlement' of Dyffryn Ardudwy.

2.3 LDP Policy 6 Sustainable Design and Materials and policy 30 – Affordable Housing is the most relevant one to be used in determining the principle of this development.

2.4 Each application is considered on its own merits and in this case officers consider that there are material planning considerations to support residential development on the site.

2.5 The full assessment of the policies will be detailed in this report.

3.0 Assessment ***Policy Context***

3.1 Dyffryn Ardudwy is designated as a Secondary Settlement for the purposes of the Eryri Local Development Plan. Within the housing development boundaries of Secondary Settlements there is a requirement for 50% affordable housing contribution of sites for more than 2 dwellings. Whilst there are no requirements for the dwellings to be affordable, they will remain in the ownership of a housing association who will allocate tenancy based on need.

Design

- 3.2 The proposed site layout indicates that the proposed development can be adequately provided within the site, whilst providing amenity space and parking areas.
- 3.3 The area is characterised by a mixture of bungalows and dwellings.
- 3.4 The dwellings are relatively large in size and have been designed to accommodate for families identified as being in need by the housing association.
- 3.5 They have been designed so that they can be split into two 3-bedroom properties in future.
- 3.6 Each house has direct access to a private garden space, which is enclosed by boundary treatments that will ensure surrounding properties are not overlooked. Parking and hard landscaping features are incorporated to the front of the properties.
- 3.7 The dwelling will incorporate a traditional slate roof and the exterior walls will be finished in grey render and slate and stone cladding.
- 3.8 Considering the design details submitted as part of the application, it is believed that the proposal is acceptable based on the impact of visual amenities.

The proposal therefore complies with the requirements of Policies DP1 and DP6

Access and Highways

- 3.9 The site will be accessed off Pentre Uchaf which currently serves a small cluster of existing dwellings. A footpath link is also proposed to the Station Road carpark to the east.
- 3.10 Seven car parking spaces are proposed in total for the development. Three spaces for the Special Adapted Bungalow and four spaces for the House.

Ecology and Biodiversity

- 3.11 It has been identified that the site contains Badger burrows/setts. The Authority's Ecologist has advised that conditions be imposed for the submission of Mitigation and Method Statements for the protection of badgers.
- 3.12 Biodiversity enhancements have not been detailed. This aspect can be covered by condition to ensure that adequate biodiversity enhancements are incorporated into the proposal.

Objections by Dyffryn Ardudwy and Talybont Community Council

- 3.13 The Community Council are objecting on the grounds of impact on existing residents and also not enough information on the plans. This development will reduce the numbers of houses the applicant has declared they are going to build on this site as well there will be a shortage of parking spaces on site.
- 3.14 The objection has been discussed with the agent who has responded by confirming that:
- The proposals meet recognised residential amenity standards in respect of distances from existing dwellings and are not considered to have an impact on any existing residential privacy of amenity.
 - The submitted plans meet national and local validation requirements and provide details of layout (internal & external), parking, landscaping, materials etc.
 - The site is allocated within the Eryri LDP for 10 affordable dwellings.
 - The Highway Authority have no objection.
- 3.15 Whilst the site has been allocated for the erection of 10 affordable dwellings much of the designation is occupied by protected species. Officers have previously advised during the pre-application stage that due to the presence of protected species on the wider site NRW will strongly resisted further development and therefore an application for a larger number of dwellings is unlikely to be supported.
- 3.16 The Community Council was invited to submit further comments following a response from the agent and their further response noted that they continue to object to the proposal for the same reasons as originally stated.

4. Conclusion

- 4.1 Having considered the above assessment, it is believed that the proposal is acceptable and provides suitable accommodation to an identified need.
- 4.2 The objection of the Community Council has been considered and it will be possible to convert the dwellings into two 3-bedroom dwellings in the future.

- 4.3 In assessing the current proposal in its entirety, no substantial harmful impact contrary to local planning policies and relevant national guidance has been identified. Therefore, to this end, it is considered that the proposal is acceptable.
- 4.4 The proposed development complies with the requirements of Development Policy 1 and 6 whereby:
- the height, form and scale of the development is compatible with the capacity and character of the site and locality.
 - it will not detract from the character and form of the existing dwelling or significantly harm the amenity of neighbouring properties.
 - the materials are sympathetic to and enhance their surroundings.
- 4.5 It is recommended therefore that the application is approved subject appropriate conditions.

RECOMMENDATION: To GRANT permission subject appropriate conditions

1. The development hereby permitted shall be commenced before the expiration of five years from the date of this decision.
2. The development hereby permitted shall be carried out in accordance with the following approved plans:
 - Site Location Plan
 - Drawing no A.03.05 rev 07 - Proposed Site Layout
 - Drawing no A.02.11-05 – Proposed Elevations 10P 5B dwelling
 - Drawing no A.02.10 – Proposed floor plans 10P 5B dwelling
 - Drawing no A-03-20 – Proposed 10-person 6-bedroom special dwelling floor plans and elevations.
 - Drawing no A.03-03 – External Works Details
 - Drawing no 3558-CAU-XX-XX-DR-C-5500 revision P01 – Proposed Highway Details
 - Drawing no 3558-CAU-XX-XX-DR-C-1400 revision P01 – Proposed Highway Works.
3. The roof of the dwellings shall be covered with blue-grey slates from the Blaenau Ffestiniog area, or slates with equivalent colour, texture and weathering characteristics details of which shall be provided and approved by means of a formal application to the Local Planning Authority.

4. Prior to any stonework commencing on the site, a trial stonework panel including pointing not less than 2.00 m² shall be constructed. No building operations in stone shall be carried out on the site unless and until the trial panel has been inspected and approved by means of a formal application to the Local Planning Authority. The stonework of the dwellinghouse shall be built in accordance with the approved sample.
5. Notwithstanding the provision of the Town and Country Planning (General Permitted Development) Order 1995 (as amended by the Town and Country Planning General Permitted Development (Amendment) (Wales) Order 2013 (or any Order revoking or re-enacting or amending that Order with or without modification) nothing shall operate so as to permit (within the area subject to this permission) any development referred to in the Parts and Classes of Schedule 2 to the Order, summarised below:

PART 1: DEVELOPMENT WITHIN THE CURTILAGE OF A DWELLINGHOUSE

Class A: The enlargement, improvement or other alteration of a dwellinghouse.

Class B: The enlargement of a dwellinghouse consisting of an addition or alteration to its roof.

Class C: Any other alteration to the roof of a dwellinghouse.

Class D: The erection or construction of a porch outside any external door of a dwellinghouse.

Class E: The provision within the curtilage of the dwellinghouse, of any building or enclosure, raised platform, swimming or other pool required for a purpose incidental to the enjoyment of the dwellinghouse as such, or the maintenance, improvement or other alteration of such a building, enclosure, platform or pool; or a container used for domestic heating purposes for the storage of oil or liquid petroleum gas.

Class F: The provision within the curtilage of a dwellinghouse of a hard surface for any purpose incidental to the enjoyment of the dwellinghouse as such; or the replacement in whole or in part of such a surface.

Class G: The installation, alteration or replacement of a chimney on a dwellinghouse

Class H: The installation, alteration or replacement of a microwave antenna on a dwellinghouse or within the curtilage of a dwellinghouse.

PART 2: MINOR OPERATIONS

Class A: Gates, fences, walls and other means of enclosures

6. No development in pursuant to this permission shall take place until a biodiversity enhancement scheme has been submitted to and approved by means of a formal application to the local planning authority which incorporates the biodiversity enhancement. Any such approved biodiversity enhancement scheme shall be implemented in full within six months of the extension first being occupied and shall thereafter be maintained to the entire satisfaction of the Local Planning Authority.

7. The turning area and car parking accommodation shall be completed in full accordance with the approved plan before the dwellings are occupied.

Reasons:

1. To Comply with Section 91 (as amended) of the Town and Country Planning Act 1990
2. To define the permission and for the avoidance of doubt.
3. To ensure a satisfactory standard of appearance of the development and the use of appropriate local building materials, in accordance with Eryri Local Development Plan Policies and in particular policies 1, 6 and A
4. To ensure a satisfactory standard of appearance of the development and the use of appropriate local building materials, in accordance with Eryri Local Development Plan Policies and in particular policies A, 1, 6.
5. The local planning authority considers that such development should be subject to formal control in order to safeguard the amenities of the area.
6. To ensure a satisfactory standard of development and to minimise the risk of unacceptable harm or disturbance to protected species in accordance with Eryri Local Development Plan Policies and in particular Policy D.
7. In the interest of Highway Safety.

Advisory

1. FLOOD AND WATER MANAGEMENT ACT (FWMA) 2010 THE SUSTAINABLE DRAINAGE (APPROVAL AND ADOPTION PROCEDURE)(WALES) REGULATIONS 2018

The introduction of legislation on 7th January 2019 made sustainable drainage systems a mandatory requirement on new development where the construction area is 100m² or more. It is considered that this development exceeds the above identified threshold and may require Sustainable Drainage Systems (SuDS) consent from the relevant Sustainable Drainage Systems Approval Body (SAB) prior to construction works commencing.

Consequently, you are advised to contact the relevant Sustainable Drainage Systems Approval Body (SAB), i.e. (Gwynedd Council) for advice and guidance on this matter.

2. Your attention is drawn to the content of the consultation response from Dŵr Cymru/Welsh Water dated 13th April 2023 (*Copy attached to this notice*)

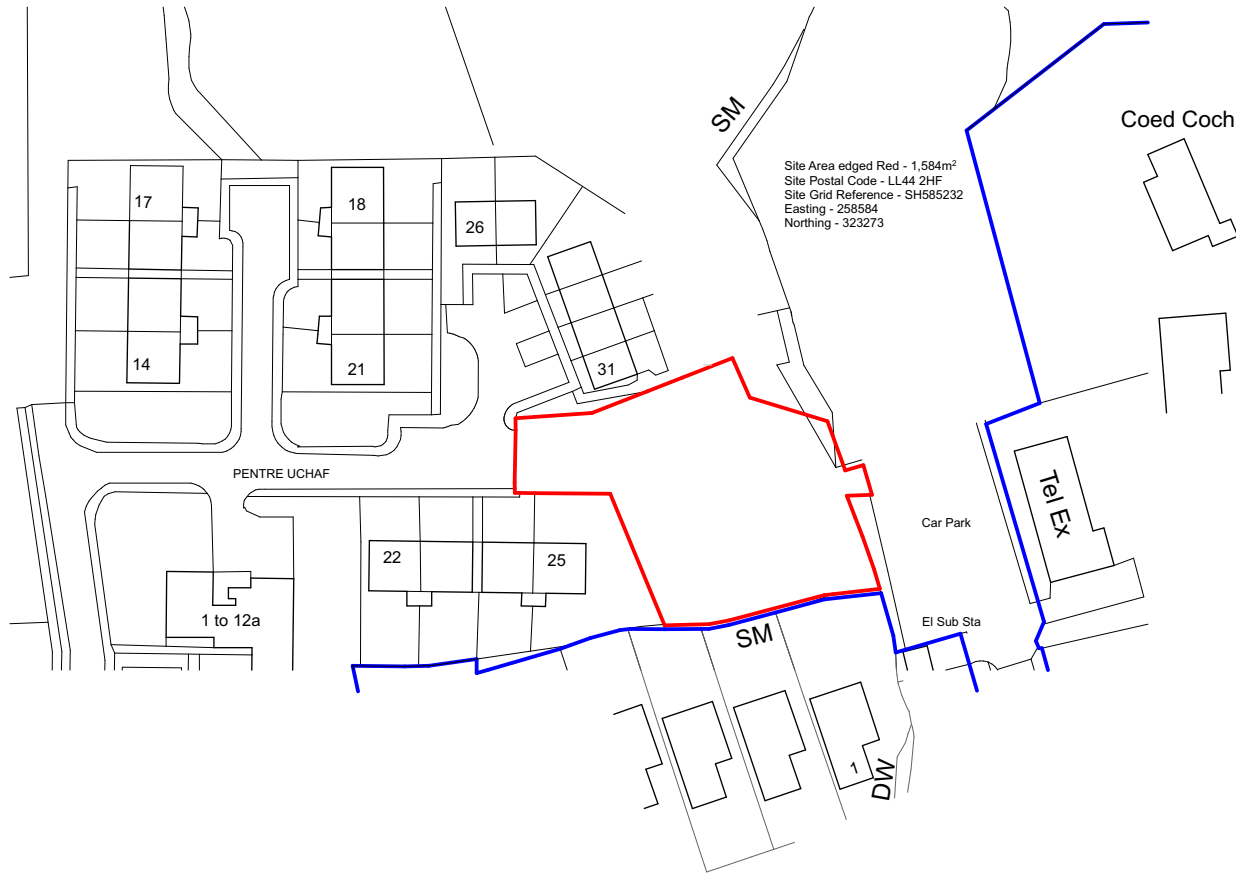
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Construction Risks Maintenance/cleaning Risks Demolition/adaptation Risks

In addition to the hazard/risks normally associated with the types of work detailed on this drawing take note of the above. It is assumed that all works on this drawing will be carried out by a competent contractor working, where appropriate, to an appropriate method statement.

Safety Health and Environmental Information Box



| Rev | Description | Initials | Date |
|--|-------------|----------|------|
| | | | |
| DESIGN AND ARCHITECTURE LIMITED. | | | |
| Pier House St. Georges Road Menai Bridge Anglesey LL59 5EY t: 01248 717230 e: office@wmdesign.co.uk w: www.wmdesign.co.uk | | | |

Proposed Housing Development

Pentre Uchaf

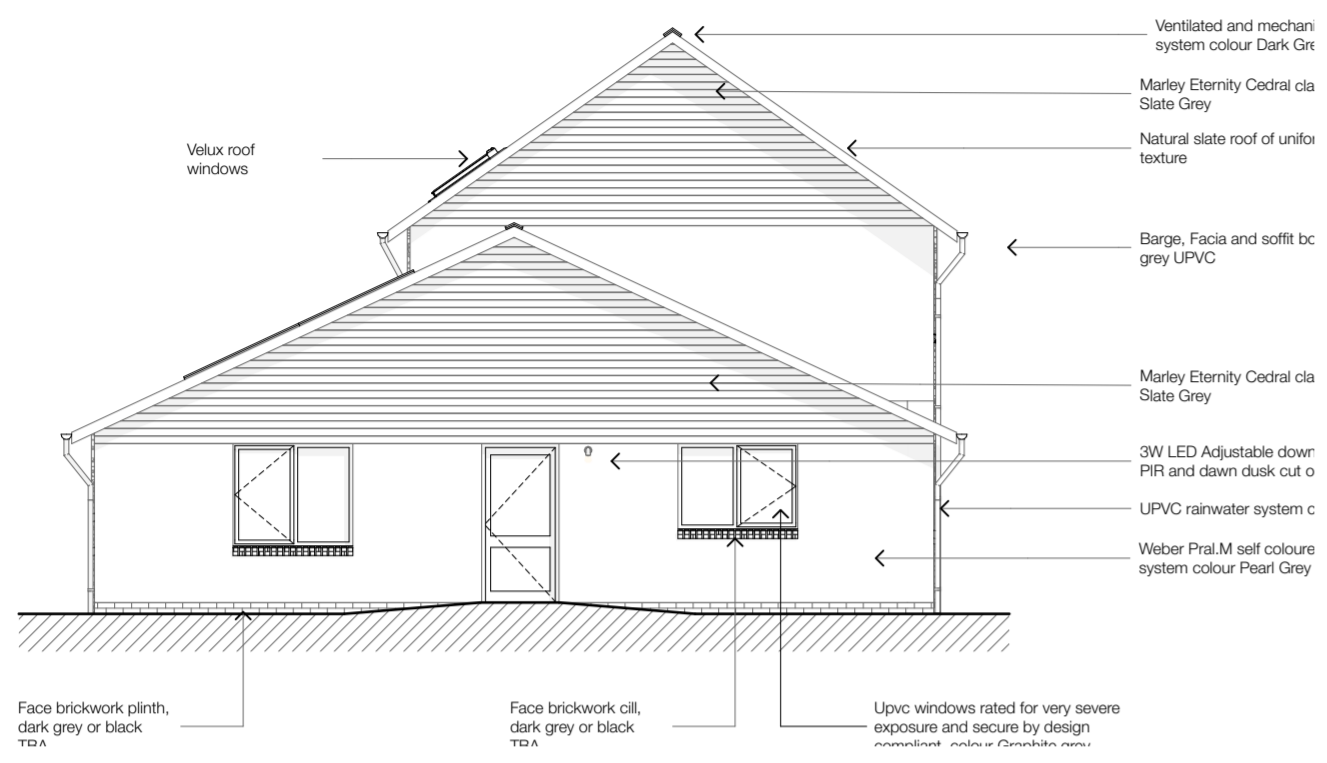
Dyffryn Ardudwy

Site Location Plan

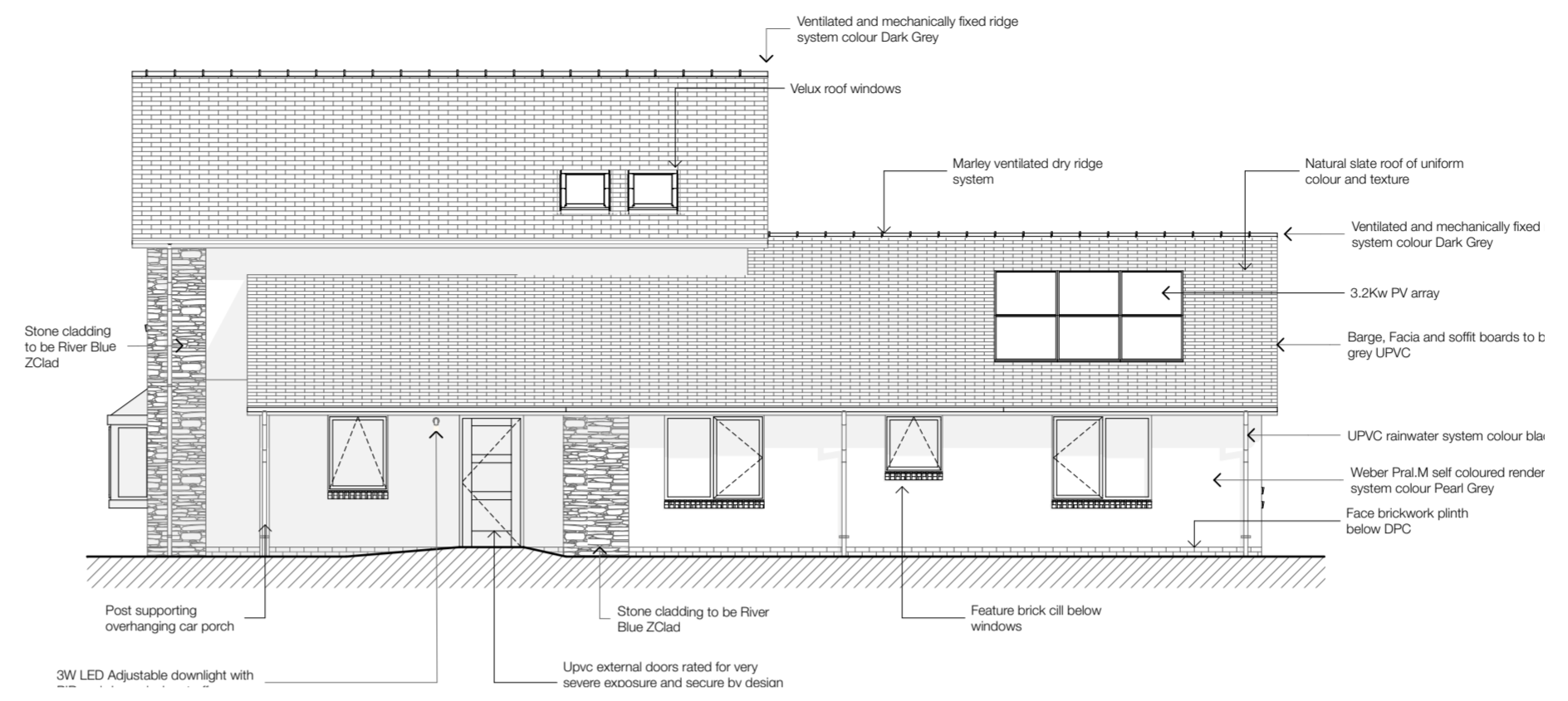
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| project | drawing status | date | |
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| originator | scale @ A4 | number | rev |
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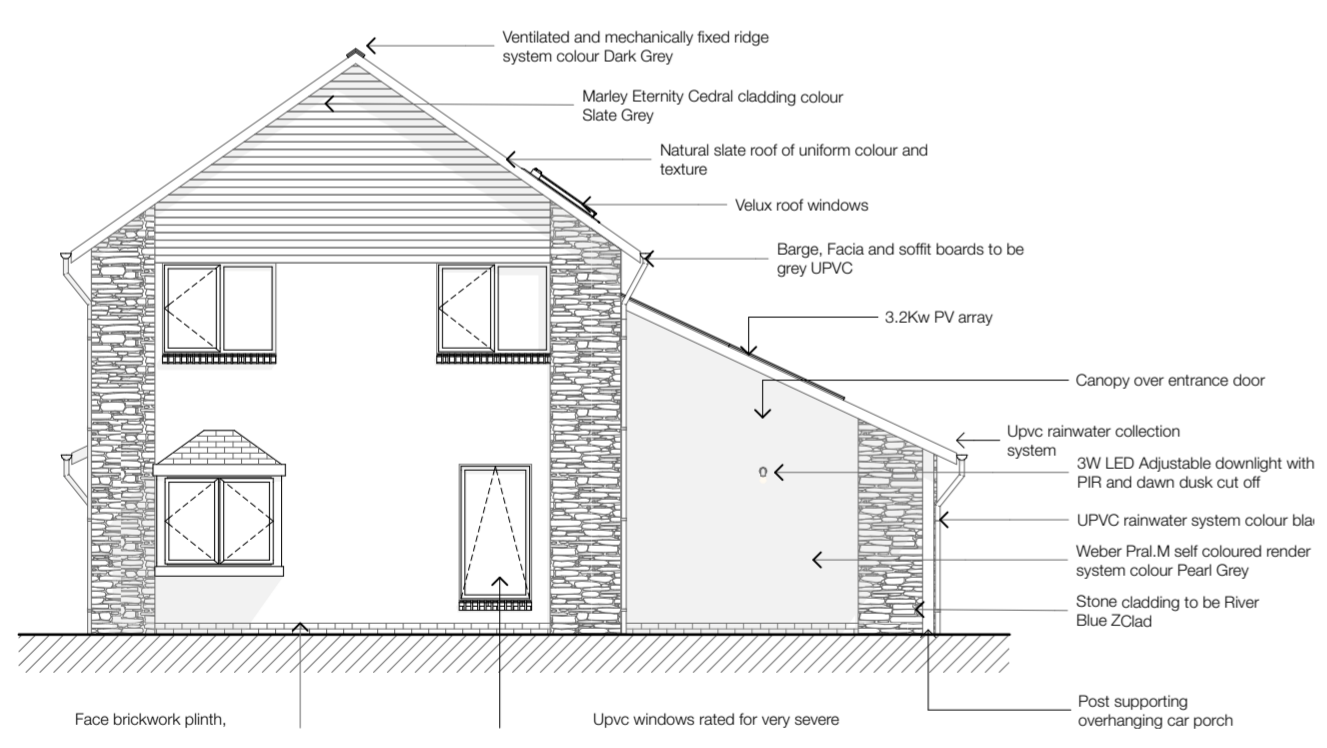
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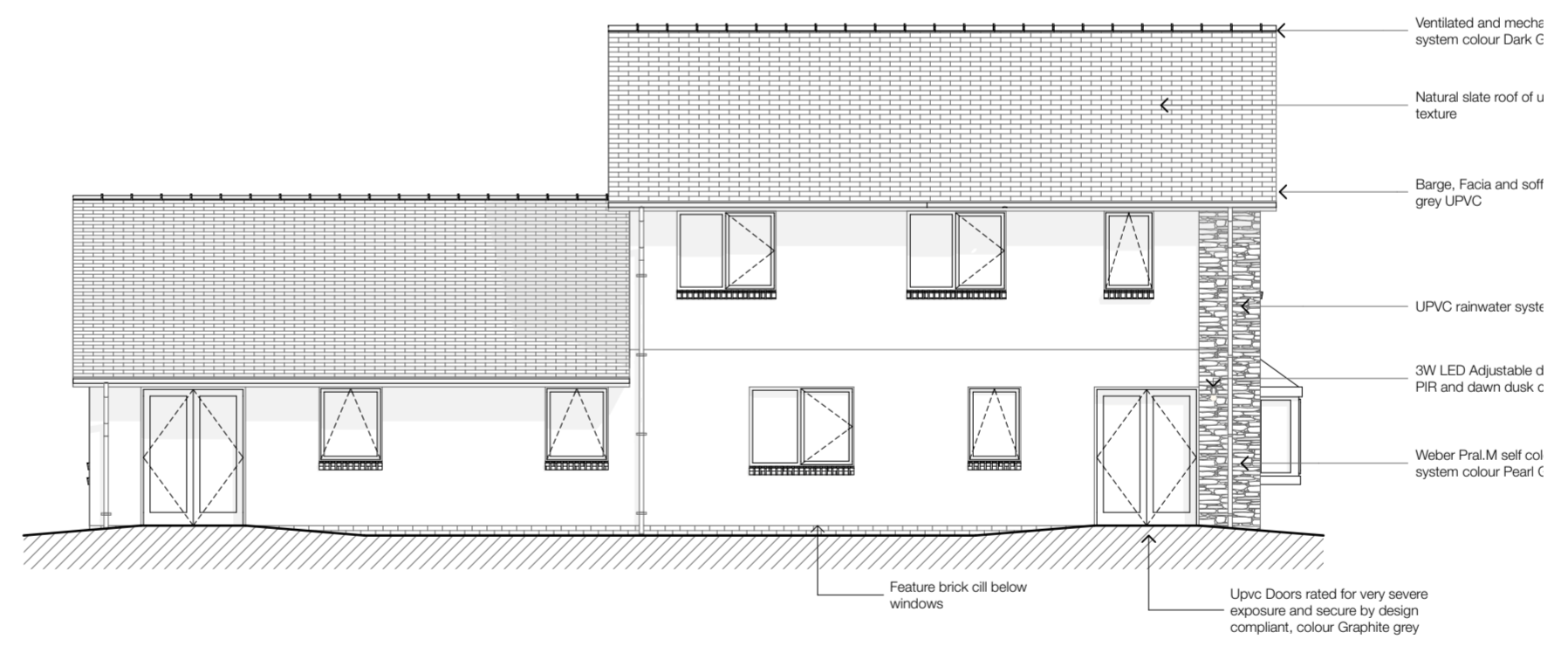
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2 West Elevation 1:100



3 North Elevation 1:100



4 East Elevation 1:100

Rev Change Description Initials Date

DESIGN AND ARCHITECTURE LIMITED.

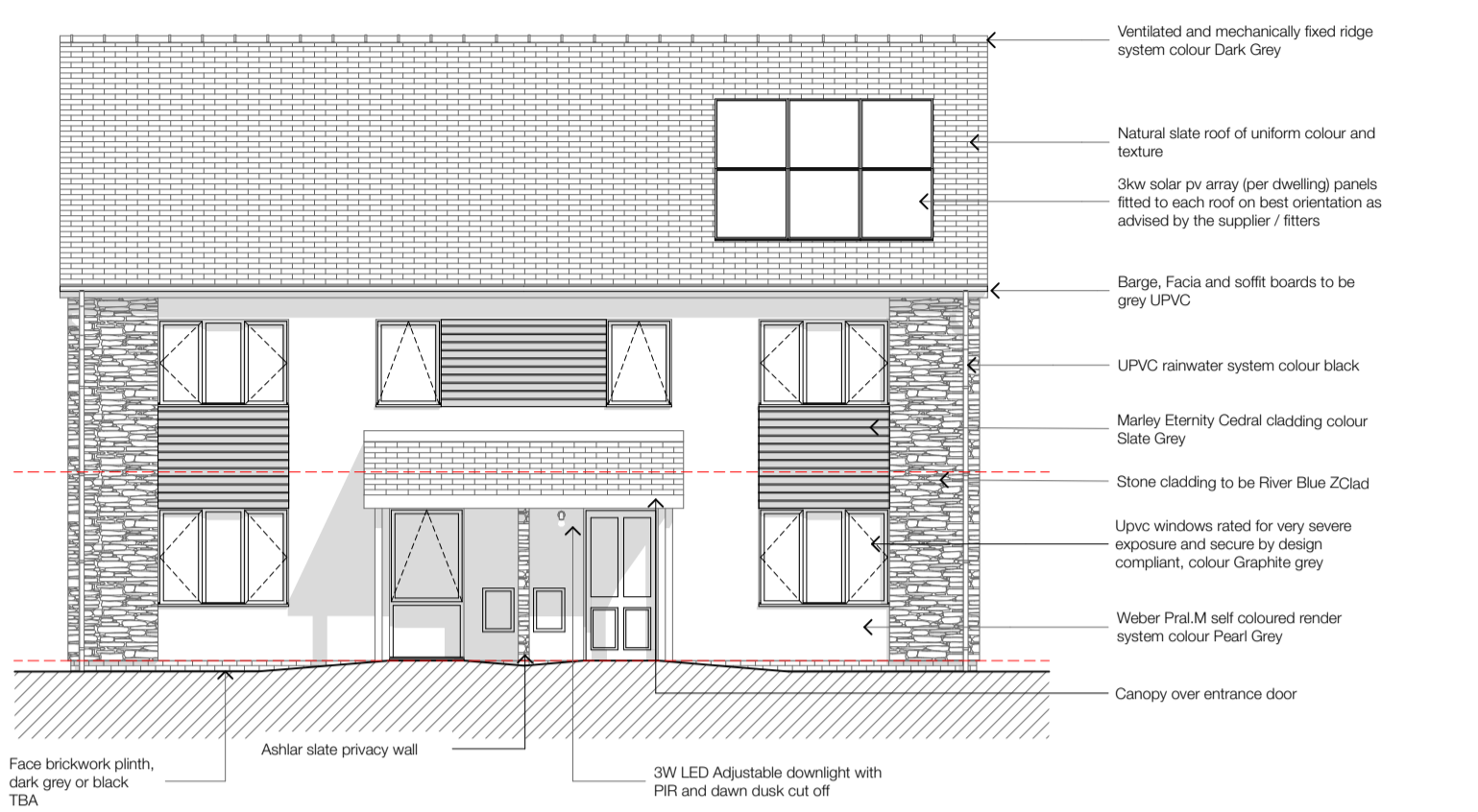
M-SParc, Parc Gwyddoniaeth Menai, Gaerwen, Anglesey, LL60 6AG
 t: 01248 717230 e: office@wmdesign.co.uk w: www.wmdesign.co.uk

Proposed Housing Development
Pentre Uchaf
Dyffryn Ardudwy

Proposed Elevations 10P 5B dwelling

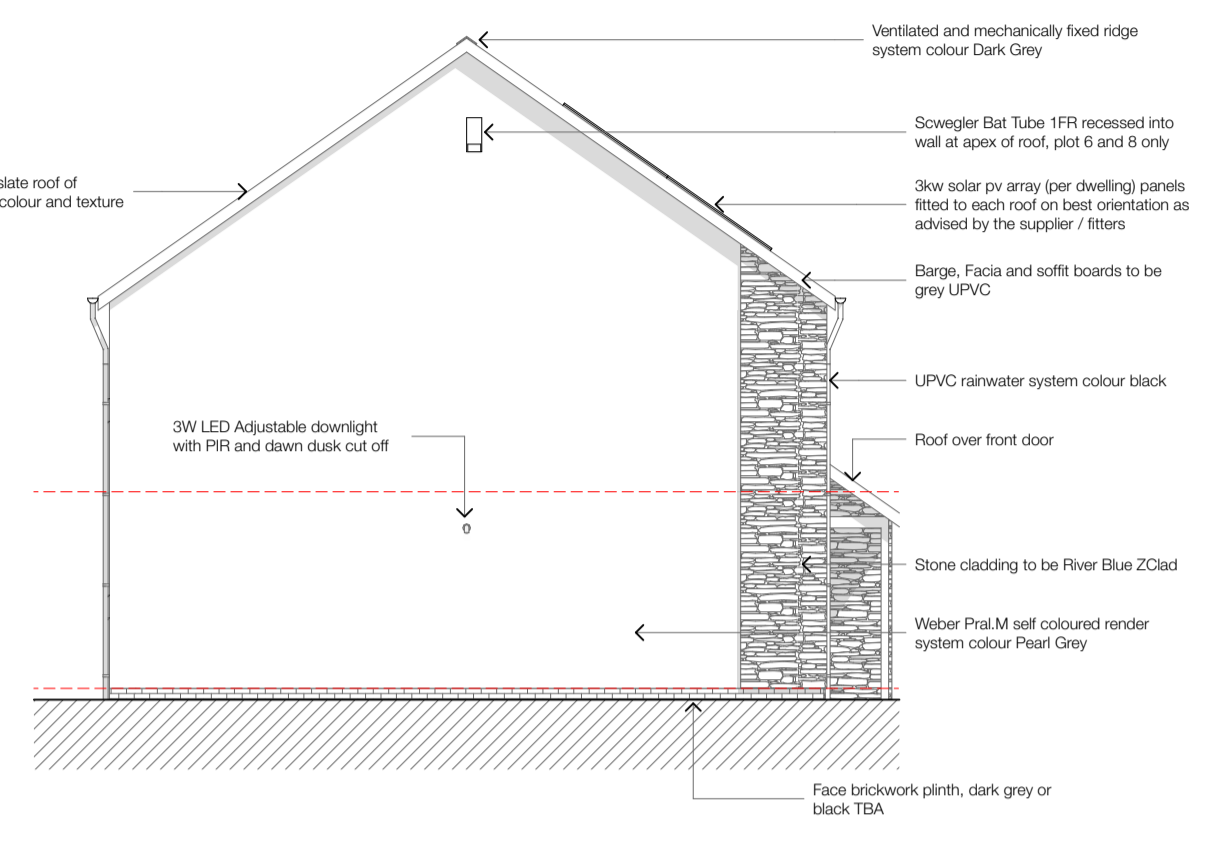
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| SH1709 | Preliminary | 27/06/2022 | |
| originator | scale @ A2 | number | rev |
| NM | 1:100 | A.02.11 | |

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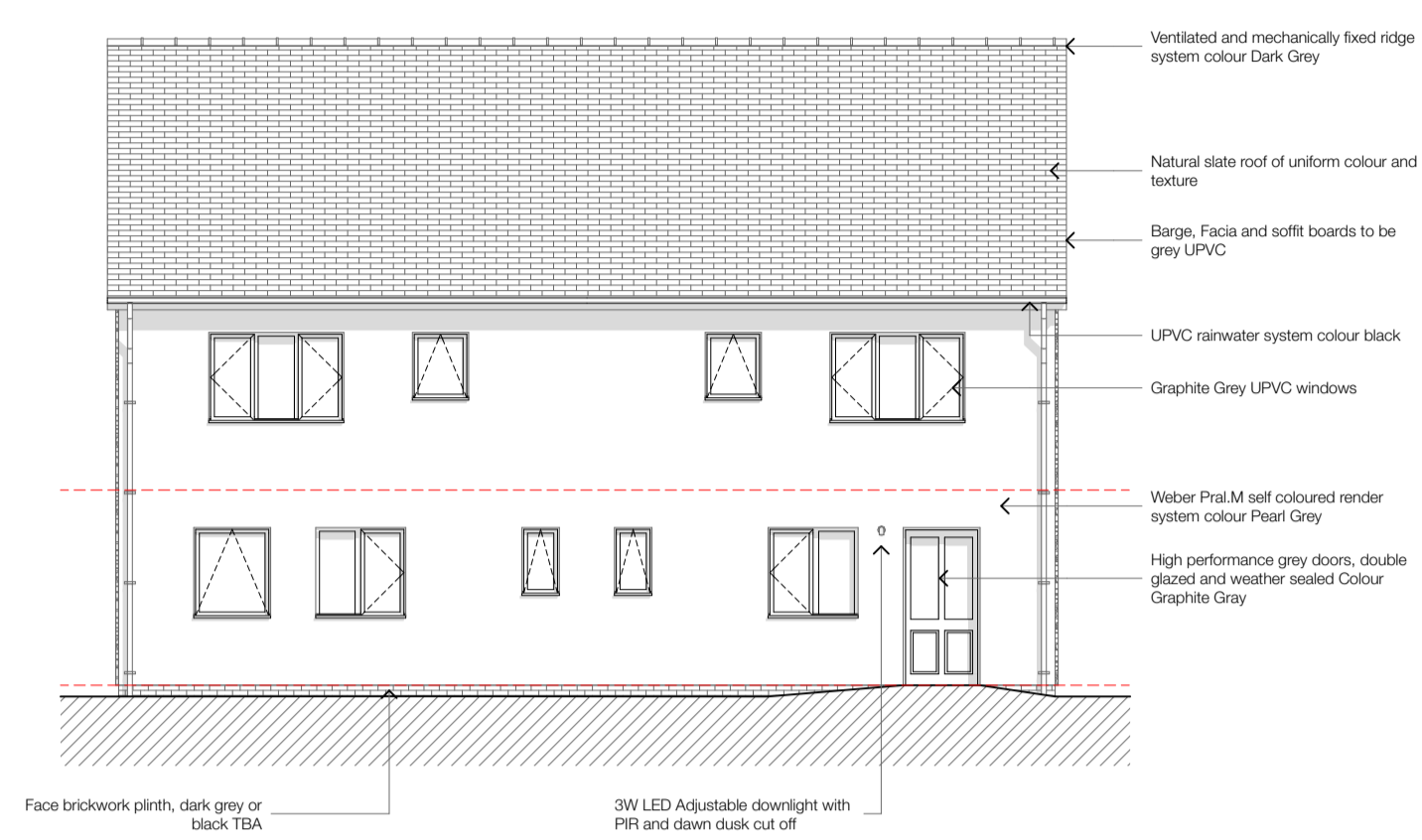
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1:100



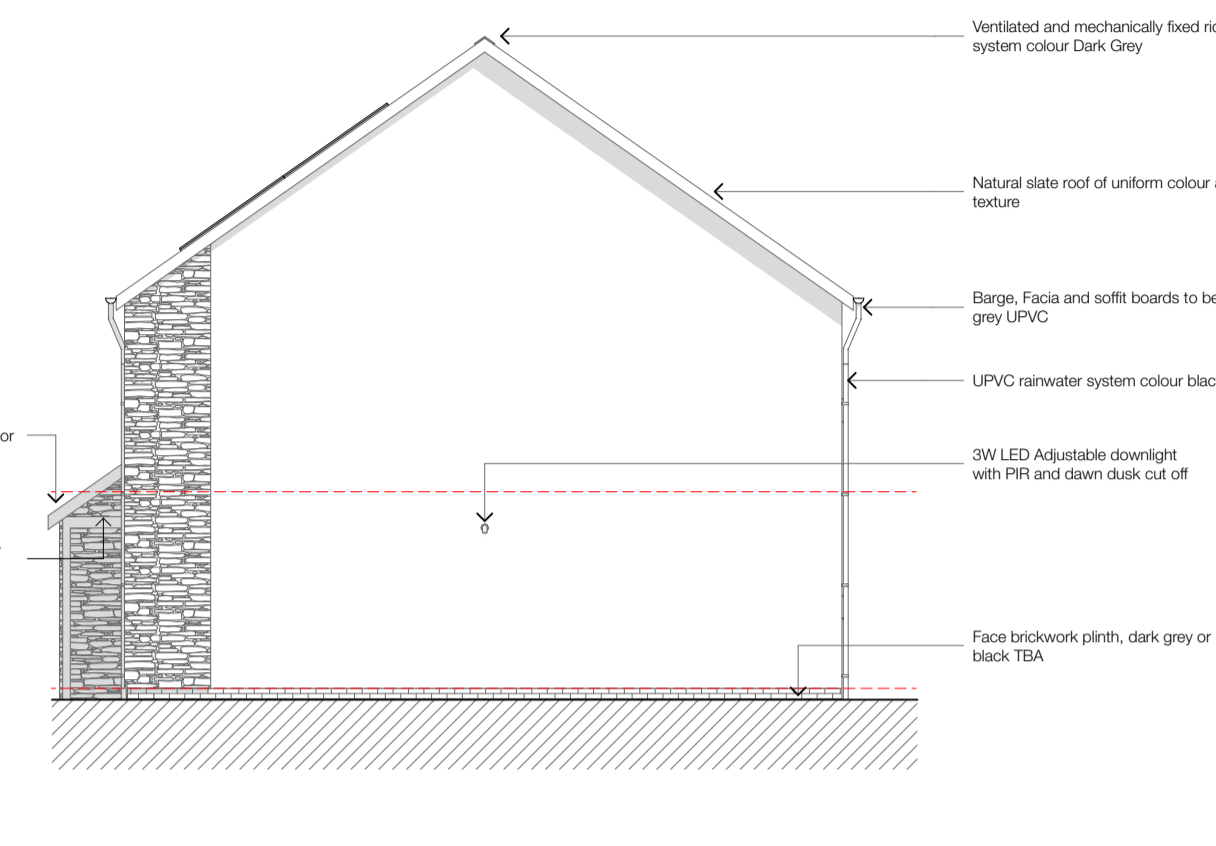
East Elevation

1:100



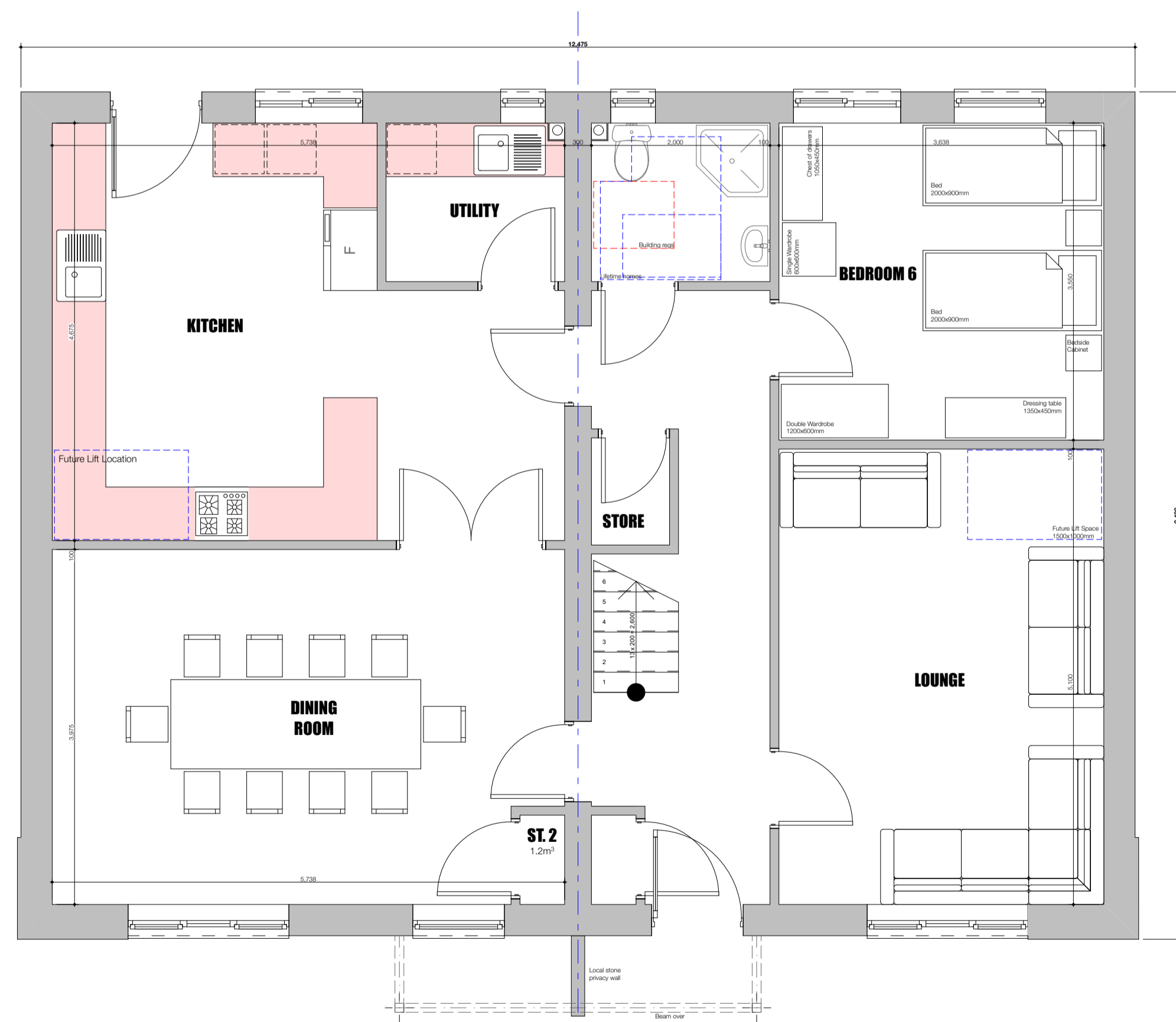
South Elevation

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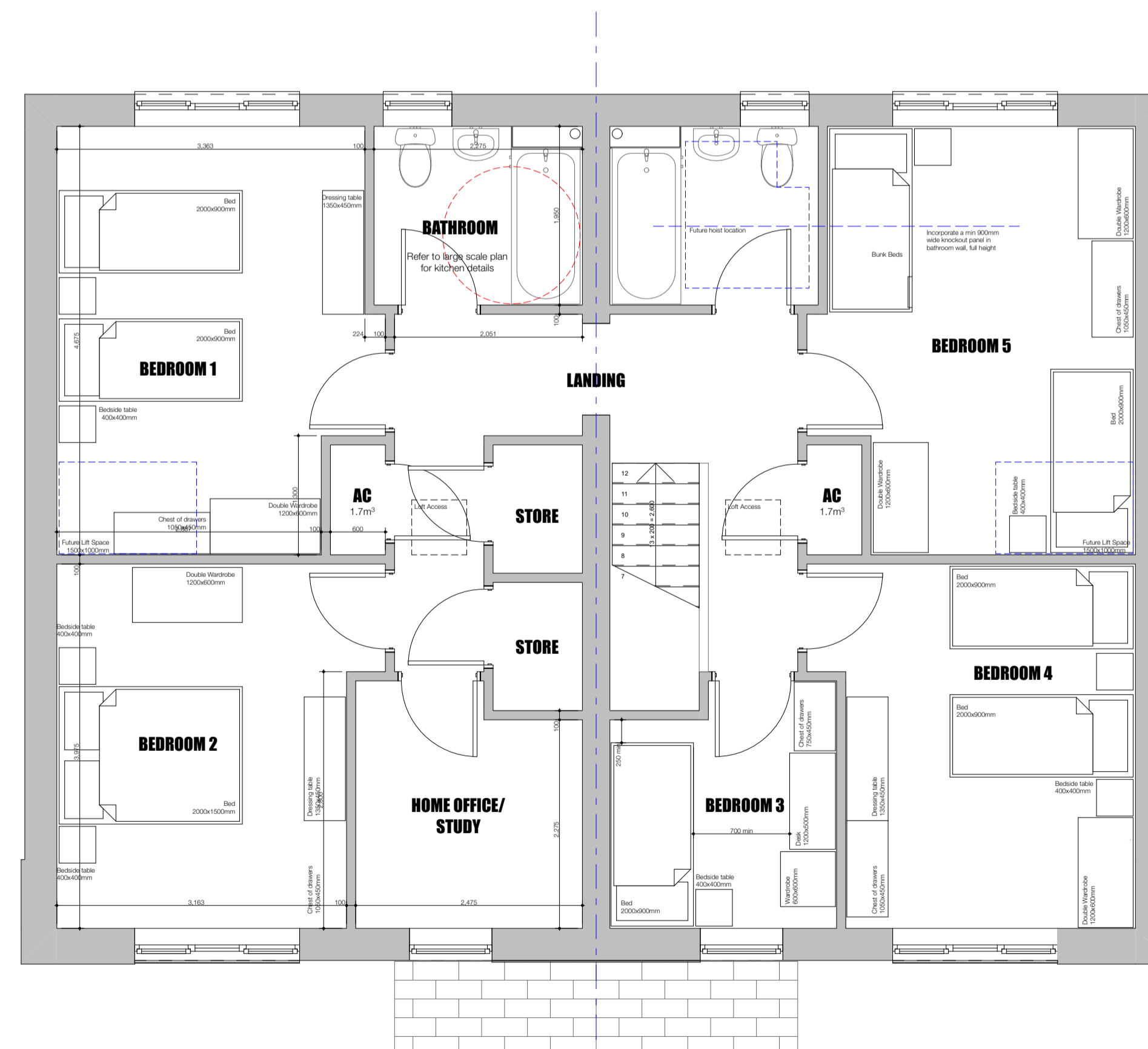
West Elevation

1:100



GF-Ground Floor

1



01-First Floor

2



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Proposed Housing Development

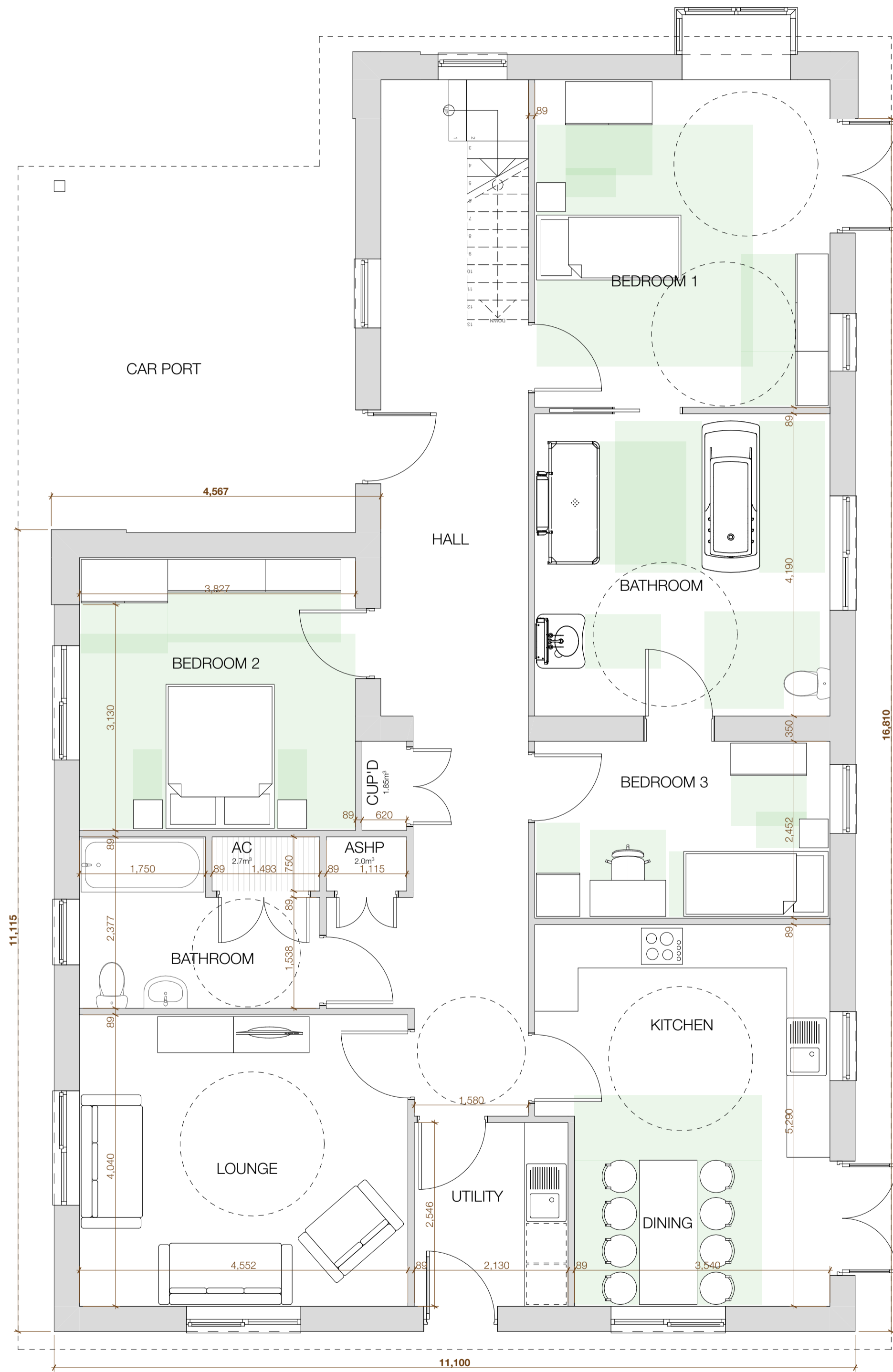
Pentre Uchaf

Dyffryn Arudwy

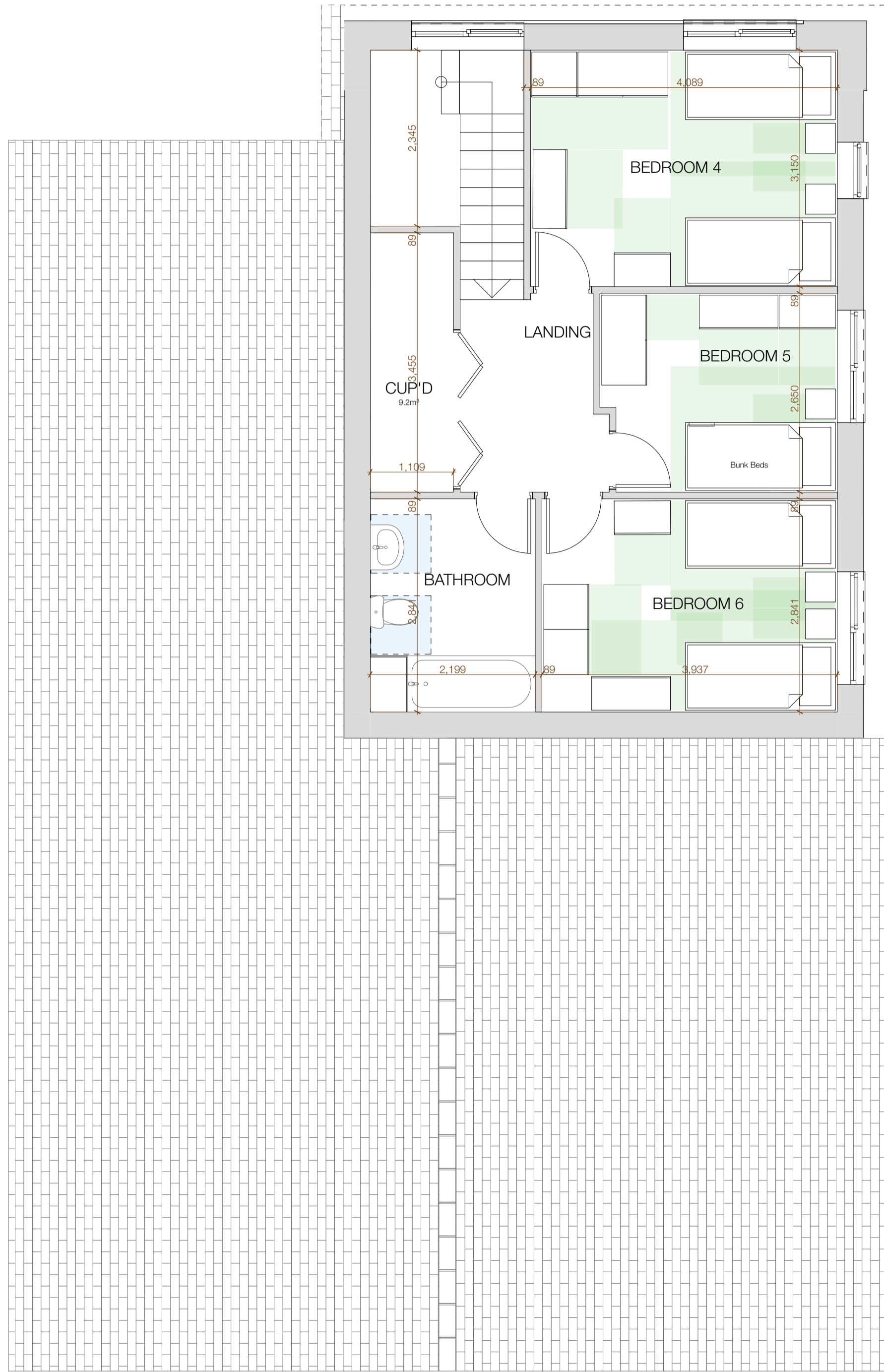
10 person 6 bedroom special dwelling Plans and Elevations

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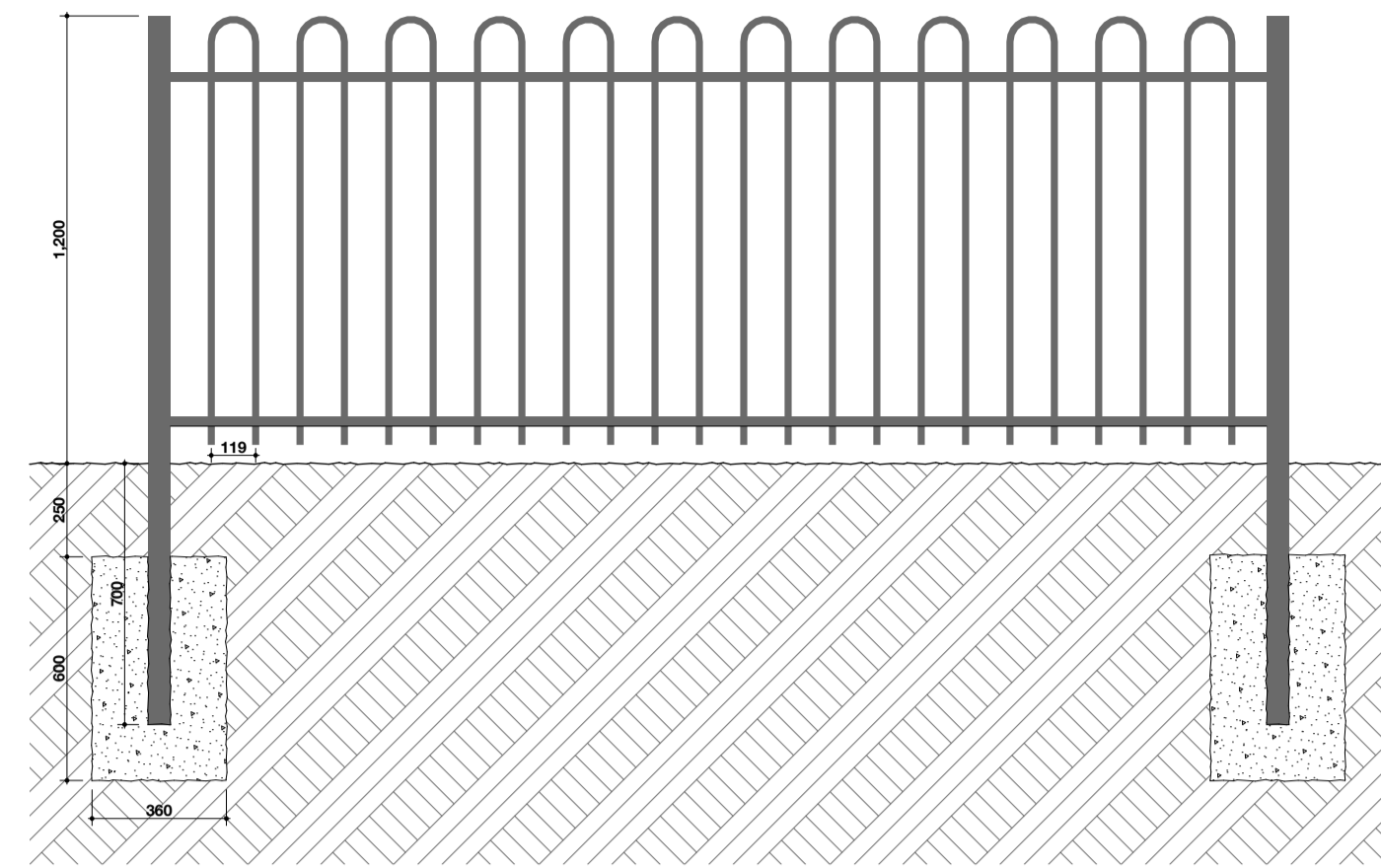
Rev Change Description Initials Date

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 t: 01248 717230 e: office@wmdesign.co.uk w: www.wmdesign.co.uk

Proposed Housing Development
Pentre Uchaf
Dyffryn Arduwy
Proposed floor Plans 10P 5B dwelling

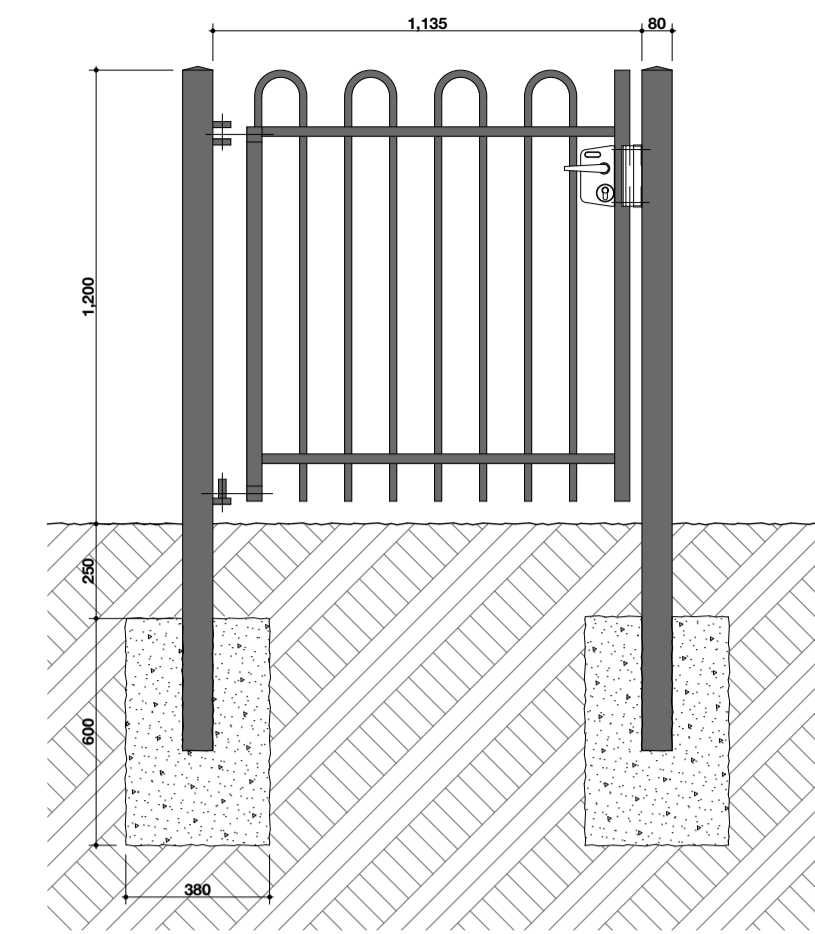
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| project | drawing status | date |
| SH1709 | Preliminary | 27/06/2022 |
| originator | scale @ A1 | number |
| NM | 1:50 | A.02.10 |

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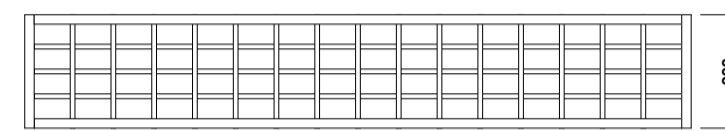
Jacksons or similar and approved bow top fencing comprise the following to front garden areas:
 Posts: 60.3 mm outer diameter.
 Rails: 50 x 25 mm RHS.
 Tubular Infill: 19mm diameter.
 Post centres: 3036 mm.
 Posts set in GEN 1 concrete bed and surround

1 Jacksons Bow Top Fence Details 1:20

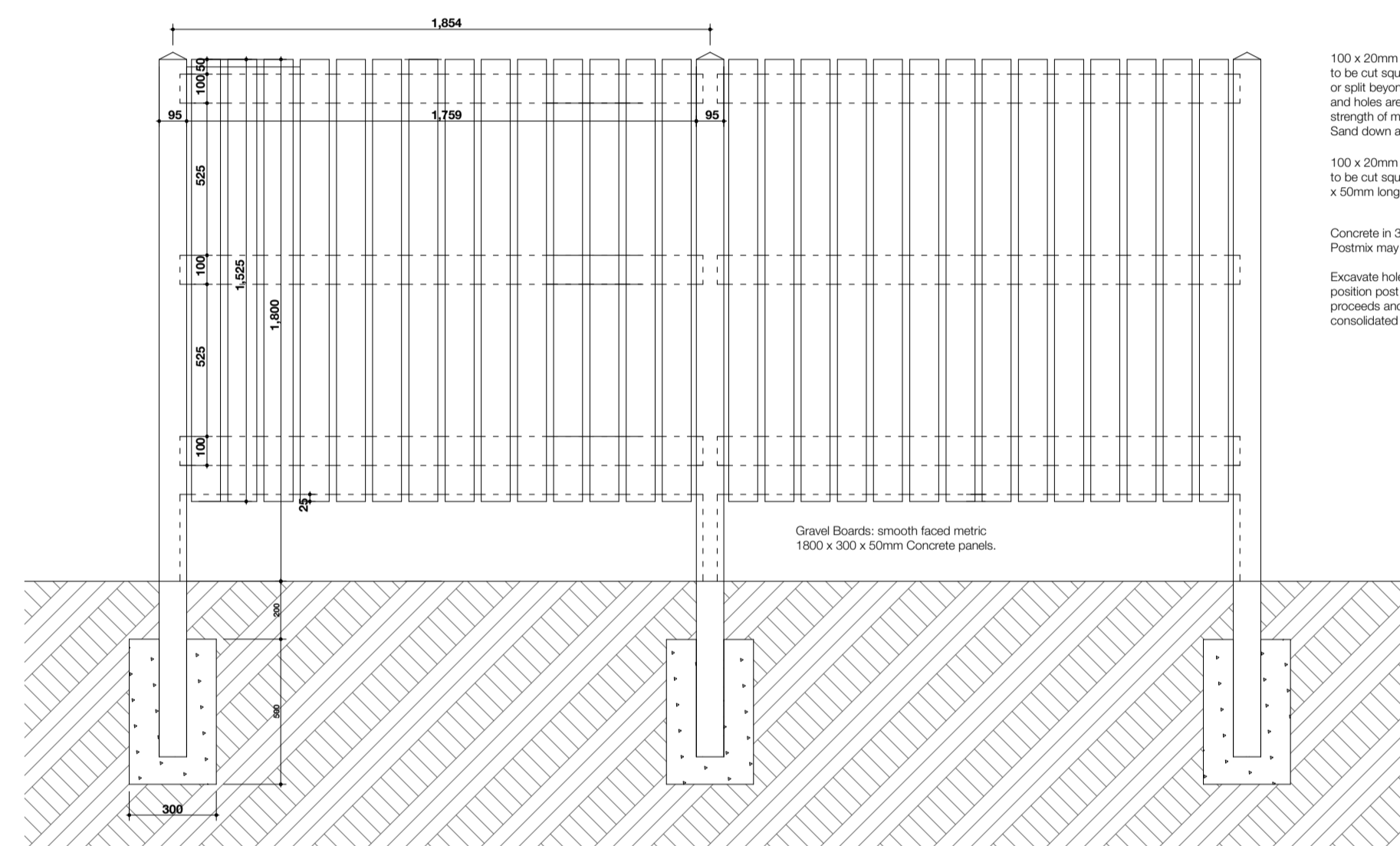


Jacksons or similar and approved bow top gate to front garden areas where shown on the site plan.
 Posts: 80 mm outer diameter.
 Posts set in GEN 1 concrete bed and surround

5 Bow top gate 1:20



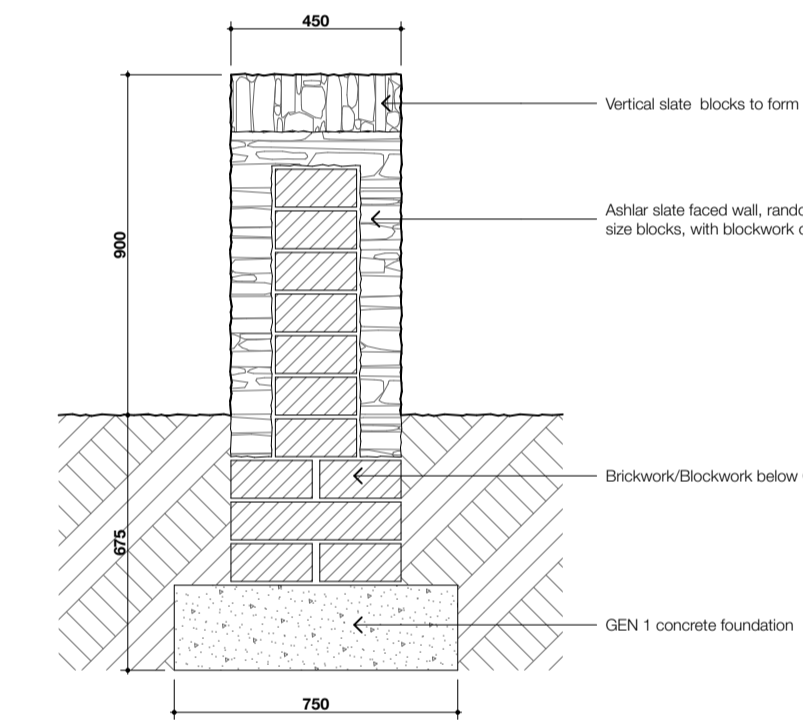
Optional trellis to top of fence if required and as noted on the site layout plan.



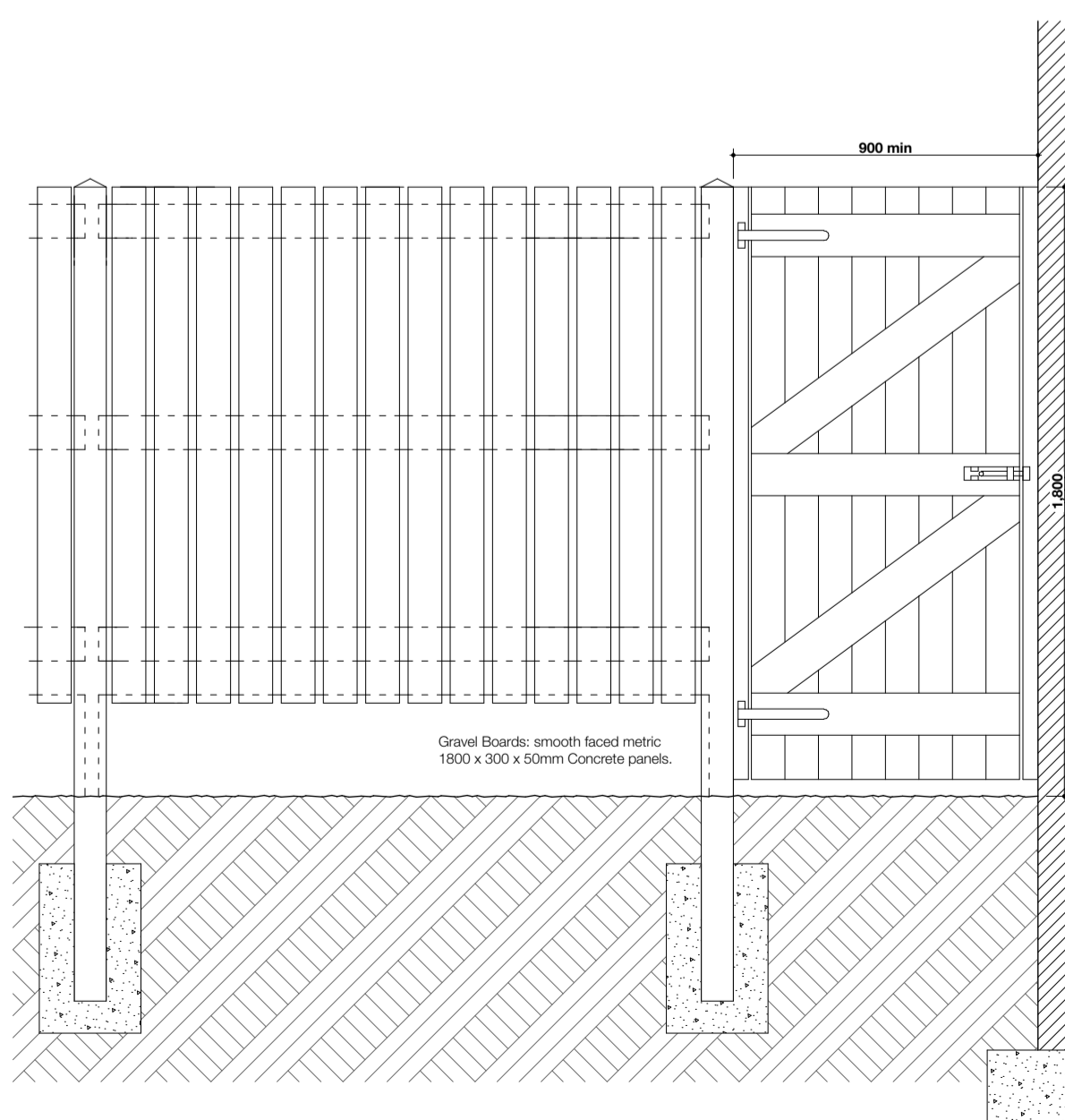
100 x 20mm treated timber palisades spaced 25mm apart. Top of palisades to be cut square. Do not use timber members which are damaged, warped or split beyond the limits permitted by their grading. Ensure that notches and holes are not located near knots or other defects that can reduce strength of members. Do not use scarf joints, finger joints or splice plates. Sand down any splintered edges corners upon completion of work.
 100 x 20mm treated timber palisades spaced 25mm apart. Top of palisades to be cut square. Palisades twice screwed at every intersection with 2he 5 x 50mm long non - ferrous screws.
 Concrete in 300mm diameter (minimum) x 700mm deep mix ST2 or better. Postmix may also be used to BS5838 Part 1.
 Excavate holes neatly and with vertical sides. Unless specified otherwise position post and fill hole with concrete to 500mm, well rammed as filling proceeds and consolidated. Backfill with excavated material, well rammed and consolidated

Gravel Boards: smooth faced metric 1800 x 300 x 50mm Concrete panels.

2 Hit and Miss Fence Detail 1:20



4 Ashlar Slate boundary walls 1:20



Gates to the side of the dwelling that provide access to rear gardens or yards must be robustly constructed, be the same height as the fence (minimum height 1.8m) and be capable of being locked (operable by key from both sides of the gate). Such gates must be located on or as near to the front of the building line as possible.
 Pedestrian gates shall be of a framed design and empty galvanneal adjustable hinges and flange mounted behind the attack face.
 Fittings should be of a galvanneal coach bolt design.
 Hinge systems must not allow the gate to be 'fired off' and therefore should employ a method to restrict the removal of the gate from the fence post or wall. **Gates should be capable of being locked (operable by key from both sides of the gate).** The gate construction should have the same design and construction attributes as the fence.

Gravel Boards: smooth faced metric 1800 x 300 x 50mm Concrete panels.

3 Rear Access Gate 1:20



| | | | |
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| Cartrefi Cymunedol Gwynedd Cyf | | | |
| project | drawing status | date | |
| SH1709 | Preliminary | 27/06/2022 | |
| originator | scale @ A1 | number | rev |
| NM | 1:20 | A-03-03 | |

Snowdonia National Park Authority Date: 06-Sep-2023
– Planning & Access Committee

Application Number: NP5/61/654

Date Application Registered: 22/03/23

Community: Harlech

Grid Reference: 258254 331993

Case Officer: Mr Aled Lloyd

Location:

Land adjoining Pen yr Hwylfa, Harlech.

Applicant:

Mr. Owain Williams,
 Williams Homes (Bala) Ltd.
 18/19 Enterprise Park
 Industrial Estate
 Bala
 Gwynedd
 LL23 7NL

Description:

Erection of 20 (twenty) affordable dwellings,
 formation of new access on to the A496,
 and associated development

Summary of the Recommendation:

To GRANT permission subject to conditions

- Start within 5 years
- In accordance with the submitted plan
- Roofing Slate
- Landscaping
- Submission of Construction Method Statement (CMS)
- Approval of stonework
- Working hours during construction
- Remove permitted development rights
- Ecology and Biodiversity enhancements
- Submission of a lighting scheme
- Archaeological mitigation
- Connection to the public sewerage system
- Highways
- Agree on details regarding Welsh names for the development before the residential units are occupied for any purpose along with advertising signage informing and promoting the development.

Reason(s) Application Reported to Committee:

The application is one that the Director of Planning and Land Management considers to be Major Development

Site description

The site is situated adjacent to the A496 on the northern edge of Harlech. It is relatively level and currently comprises part of a larger field.

It is defined on its western edge by a low stone wall and post & wire fence, together with scattered vegetation, which separate the site from the A496 and an adjacent wide verge.

Set opposite is the Tŷ Canol housing estate, which is a relatively modern housing development, which is defined by two storey properties on the edge facing the site. That estate defines part of the northern built edge of the existing settlement.

The northern edge of the site is currently undefined and faces onto the field of which the site forms part of. Scattered properties and farm complex define the pattern of development in the rural landscape to the north.

The eastern edge of the site proper is roughly defined by a low bank that runs along the boundary. The red line extends beyond that boundary to encompass land that may be needed to provide flood compensation areas. Beyond is the remainder of the field of which the site forms part, with open agricultural land beyond.

The southern edge of the site is defined by a post wire fence and vegetation that separate the site from the adjoining access track (which is a restricted byway). Beyond are Pen yr Hwylfa, and no's 7 & 1 Pen y Hwhlfa, which are all two storey properties.

The site is set on the edge of Harlech, with built development defining its southern and western sides.

Land Designations / Constraints:

Within Housing Development Boundary

Designated Housing allocation

Within World Heritage Site Essential Setting

Zone A of the Development Advice Map (DAM)

Flood Zone 2/3 Sea identified in Flood Map for Planning (FMfP)

Proposal:

The proposal is a full application for the following development:-

- The erection of 20 no dwellings (comprising 4 no. apartments, 2 no. bungalows, and 14 no. houses);
- The formation of a new vehicular and pedestrian access to serve the same, and provision of a new length of pedestrian footway to link into the existing pedestrian network, and provision of an internal access road together with parking areas

- Changes in site levels and potential excavation of adjoining land as part of flood mitigation works
- Provision of an amenity area;
- Soft & hard landscaping as part of the scheme, together with ecological and mitigation measures
- Construction of a surface water drainage system and a connection to the foul sewer

The submission details that following consultation with the Applicant's partner Housing Association – Grŵp Cynefin – it is designed to meet evidenced local needs for affordable dwellings in the community, with the entire scheme to be provided as affordable housing.

Major Development

Section 17 of the Planning (Wales) Act 2015 and the Town and Country Planning (Development Management Procedure) (Wales) Order 2012 (DMPWO), as amended, require applicants to carry out pre-application consultation for major development. Major development includes development carried out “on a site having an area of 1 hectare or more” and, thus, the proposed development falls within the pre-application consultation requirement. This should not be confused with the definition of ‘Major Development’ in Strategic Policy B of the LDP – which refers to developments which are of major significance in a UK context e.g. major road building programmes or major energy projects.. This proposal is not considered to be major in that specific context.

In order to support the application, the following documents were submitted –

Design and Access Statement;
 Planning Support Statement;
 Preliminary Ecological Appraisal and Reptile Survey;
 Placemaking Concept & Landscape Strategy
 Archaeological Assessment & Geophysical Survey
 Flood Consequence Assessment; Drainage Statement;
 Transport Statement;
 Affordable housing and Housing Mix Statement;
 Pre-application Consultation Report (*PAC*).

Eryri Local Development Plan 2016-2031

- SP A: National Park Purposes and sustainable Development
- SP B: Major Development
- SP C: Spatial Development Strategy
- DP 1: General Development Principles

- SP Ch: Social and Physical Infrastructure in new development
- DP 2: Development and the Landscape
- SP D: Natural Environment
- SP Dd: Climate Change
- SP Ff: Historic Environment
- SP G: Housing
- DP 30: Affordable Housing
- DP 6: Sustainable Design and Materials
- DP 8: Protection of Non-Designated sites
- DP 18: The Welsh Language and the Social and Cultural Fabric of Communities
- SP L: Accessibility and Transport

Supplementary Planning Guidance

- SPG 1: Sustainable Design in the National Parks of Wales
- SPG 2: General Development Considerations
- SPG 3: Planning and the Welsh Language
- SPG 5: Planning Obligations
- SPG 6: Nature Conservation & Biodiversity
- SPG 13 Landscape and Sensitivity Assessment

National Policy

- Future Wales: The National Plan 2040
- Planning Policy Wales (Edition 11) 2021

Technical Advice Note 2: Planning and Affordable Housing

Technical Advice Note 5: Nature Conservation and Planning

Technical Advice Note 12: Design

Technical Advice Note 15: Development and Flood Risk

Technical Advice Note 18: Transport

Technical Advice Note 20: Planning and the Welsh Language

Technical Advice Note 24: The Historic Environment

Consultees:

| | |
|---------------------------|---|
| Harlech Community Council | Support in principle, however some members of the Community Council are objecting due to the increased pressure on the sewage and water systems |
|---------------------------|---|

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|--|---|
| <p>Project Manager, Housing and Property Department Cyngor Gwynedd Council</p> | <p>The information contained in the affordable housing statement is consistent with information from a range of buildings.</p> <p>The plan is included in the program to receive a Community Housing Grant.</p> <p>The plans contribute directly to the Gwynedd Council Housing Action Plan to provide more houses to meet the current high demand that exists in the county.</p> |
| <p>Natural Resources Wales</p> | <p>No objection subject to inclusion of documents</p> |
| <p>Gwynedd Council - Highways</p> | <p>No objection - Recommended conditions on maintaining visibility and in accordance with the plans.</p> <p>The submission of a Construction Method Statement to include details regarding: Management of site related traffic during construction</p> <p>The parking of vehicles of site operatives and visitors</p> <p>Loading and unloading of plant and materials</p> <p>Storage of plant and materials used in the construction</p> <p>The erection of maintenance of security hoarding</p> <p>Wheel washing facilities.</p> |
| <p>Welsh Water</p> | <p>No objections in principle – Applicant is engaging with Dŵr Cymru/Welsh Water in relation to Hydraulic Modelling Assessment</p> <p>Recommend conditions on a grant of permission in relation to the point of connection of the sewer.</p> |

| | |
|---|--|
| Cadw | <p>The proposed works will slightly extend the built area of this part of the settlement area of Harlech, but this slight visual impact will not have any effect on the way that the Harlech Castle and the World Heritage Site are experienced, understood and appreciated. Consequently, the proposed development will have no impact on the setting of scheduled monument ME044 or the outstanding universal values of the World Heritage Site.</p> <p>The other designated historic assets identified above are located inside 3km of the proposed development. In most cases intervening topography, buildings and vegetation block all views between them.</p> <p>Where views are possible the new dwellings will be seen with the existing dwellings along Ffordd Tŷ Canol behind them and be viewed as an extension to the existing urban area. Consequently, whilst there may be very slight visual changes from some designated historic assets, the proposed development will have no impact on their settings.</p> |
| SaB | Standard Advise in relation to the need for approval for surface water drainage |
| Gwynedd Archaeological Planning Service | The proposed development has archaeological implications, and a limited programme of mitigation is recommended. Conditions recommended. |
| Network Rail | <p>No objection will not cause additional risk at the railway crossing.</p> <p>Recommend advisory notes on the grant of permission</p> |

| | |
|-----------------------------------|---|
| North Wales Fire & Rescue Service | No objection |
| Ecology | No objection – Biodiversity enhancements and mitigation to protect badgers acceptable |

Responses to Publicity:

The application has been publicised by way of a site notices, neighbour notification letter to 26 nearby residential properties, together with notice published in a newspaper.

2 letters have been submitted on the grounds of,

- Concern on the drainage in that the system is already overloaded
- Dwellings should be available to local people in need

1. Background

1.1 Pre-application advice was sought from the Authority for the erection of 24 dwellings where it was advised that in principle the Authority could support the provision of dwellings on this site as the site has been allocated in the Eryri Local Development Plan (ELDP). No elevational or layout details were submitted as part of the pre-application enquiry.

1.1 As the application is major development, in accordance with Planning Act, it is a requirement to carry out pre-application consultation (PAC) to be undertaken with the local community and stakeholders. The pre-application consultation has been carried out in accordance with the Act and the applicant has submitted a PAC report and addressed all the comments received.

2.0 Principle of Development

2.1 It is appropriate to consider the proposal against Strategic Policy A, G and Development Policies 1, 6 and 30.

2.2 The proposal would utilise a site that is allocated for housing within the ELDP and where the proposed built development is set entirely within the development boundary of the ‘service settlement’ of Harlech.

2.3 LDP Policy 30 – Affordable Housing is the most relevant one to be used in determining the principle of this development.

2.4 Each application is considered on its own merits and in this case officers consider that there are material planning considerations to support residential development on the site

2.5 The full assessment of the policies will be detailed in this report.

3.0 Assessment

Policy Context

- 3.1 Harlech is designated as a Service Settlement for the purposes of the Eryri Local Development Plan. Within the housing development boundaries of Service Settlements there is a requirement for 33% affordable housing contribution on sites of 3 or more dwellings (Development Policy 30) to provide affordable housing to meet local need on all new build dwellings. The proposed development is for 100% affordable housing therefore fully complies with policy. An Affordable Housing Statement has also been submitted which highlights a need for such housing and that the proposed mix of unit type would help improve the balance of social housing stock in the area.
- 3.2 As well as the policies detailed above of particular relevance to the proposal is Strategic Policy G which sets out the Authorities requirements and outlines the types of housing that reflects the local housing market. This development on an allocated residential site contributes to the Authority's target of providing 375 affordable housing within the lifetime of the Eryri Local Development Plan.
- 3.3 The applicant has agreed to enter into a Section 106 Agreement to ensure that the housing are, and remain, affordable.

Design

- 3.4 The proposed development comprises 20 general needs homes built to Welsh Assembly Design Quality Requirements and Lifetime Homes Standards for future adaptability.
- 3.5 The layout takes into account the semi-rural character of the site on the edge of Harlech, with a lower density at the edges of the site and open aspects to the end of each of the roads allowing views in and out.
- 3.6 Orientation of the homes has been considered, with living rooms orientated to the south, east or west, to benefit from passive solar gain.
- 3.7 A new public amenity space will be located adjacent to the A496 main road. Planting this area with trees and hedges creates a sense of identity and place in keeping with the semi-rural surroundings, enhancing the visual amenity of an area that might function as a 'village green'- a place for families, playing children, picnics, dog and frogs.

- 3.8 The creation of new footpaths enhances site permeability, linking the new housing estate to the main road and surrounding context. There is an existing public crossing outside the site to the south west side and an existing path to the north west of the site to Tŷ Canol estate, which is connected via new pedestrian link paths as part of the proposal, with new public amenity space immediately adjacent to this.
- 3.9 The existing embankment on the eastern boundary and green edge adjacent to the main road will be retained, providing an attractive green edge to the scheme that encourages wildlife and biodiversity.
- 3.10 The design will encompass a varied frontage with key gables of some of the properties adjacent to the A496 finished in a local stone to provide a robust treatment in keeping with the vernacular of the town.
- 3.11 Each house has direct access to a private garden space, which is enclosed by boundary treatments that will ensure surrounding properties are not overlooked. Hard landscaping features protecting front gardens, supplemented by barrier planting, low walls to provide clear demarcations.
- 3.12 During consideration of the application officers considered amendments to the design of the flat roof porch on the principal elevations were necessary. Officers advised that the porches incorporated a lean-to slate roof porch to meet the National Park design standards and in consideration that the site is within the World Heritage Site Essential Setting. The applicant has agreed to the amended and amended plans have been submitted.

Visual amenities

- 3.13 The site is located on a plot of land that is visible from the four directions adjacent to the highway, the A496 and within the development boundary of the settlement. It is predominantly residential within the catchment area of the application site, which include buildings of various sizes, height, elevations and age such as single-storey houses, two-storey houses, terraced houses.
- 3.14 Considering the design details submitted as part of the application, it is believed that the proposal is acceptable based on the impact of visual amenities and it is envisaged that ultimately it will create a positive contribution to the built character of this section of the streetscape. Planning Policy Wales, Edition 11, as well as TAN 12: Design, support developments that promote and encourage good design by providing opportunities for innovative design that meet current and future needs. Taking the above assessment into account, it is believed that the proposal is acceptable on the basis of its natural and built context and on the basis of the scale, landscaping, design, height, layout, appearance and elevation treatments.

The proposal therefore complies with the requirements of Policies DP1 and DP6

General and residential amenities

- 3.15 Residential dwellings are located in two different directions, including Tŷ Canol opposite, Pen yr Hwylfa a detached single storey dwelling and the housing estates of Bron yr Hwylfa, Pen y Hwylfa and Pant yr Eithin to the South.
- 3.16 The submitted design would respect the amenities enjoyed by the occupiers of neighbouring properties as the proposal is set at a suitable distance from them and would be of an appropriate height and form to ensure that it would not have an overbearing impact upon the neighbouring dwellings. The proposal is very well separated from the nearest dwellings (Pen yr Hwylfa and No.7 Pen y Hwylfa) that both have blank facing elevations, as such there will be a good degree of privacy for all occupiers.
- 3.17 Activity on the site would be fairly limited and low-key due to the nature of the use and would not be harmful to neighbours due to the level of separation involved. Similarly, movement of vehicles along the site access would have a limited and entirely acceptable impact upon neighbours due to the relatively modest number of movements involved, current levels of vehicle movements in the area, and the acceptable degree of separation between the access and neighbouring properties.
- 3.18 A suitable level of amenity space will be provided for each of the proposed dwellings, with sufficient space provided around them. Similarly, a suitable level of separation would be provided between the proposed dwellings to ensure that their occupiers enjoy a good standard of privacy and amenity.

As such, the proposal will comply with Strategic Policy A and Development Policy 1 of the ELDP as the proposal has been suitably positioned and designed to respect and protect the amenities & privacy of the occupiers of neighbouring properties and to provide a good standard to its own occupiers.

Noise nuisance

- 3.19 Officers have considered the proposal in relation to noise and light nuisance. It is acknowledged that there will be some increase in noise and disruption emanating from this development, however it is not believed to be any different to any noise disruption deriving from general residential areas, e.g. Tŷ Canol, located opposite to the application site. Such noise would emanate from associated domestic and transport activities, which was normal disruption already associated with residential areas. Although it is acknowledged that noise would emanate from the construction activity, it is considered that this element of the application would only be for a temporary period.
- 3.20 As usual with applications of this scale, conditions may be imposed that restrict working hours and the applicant has already confirmed that any contractor would work in accordance with the requirements of the Environmental Building Control Plan, which would prevent machines from working outside working hours and to ensure noise mitigation measures; such a requirement may be imposed in any planning permission.

Access and Highways

- 3.21 In respect of *vehicular access*, the scheme will be served by a new access onto the A496, with a good standard of visibility provided along the road. The proposal entrance will also provide suitable *pedestrian accesses* from the site onto the existing footway network around the site, with a link proposed to the existing provision to the south, and crossings onto the footway set on the opposite side of the A496 at two points (using existing crossing points) and a new length of footway provided in between.
- 3.22 As part of the application a Transport Statement was submitted which noted that expected vehicle movements from the development are low (13 two-way movements in the weekday AM peak hour and 11 in the PM peak, equating to one vehicle trip every 4-6 minutes during those hours) and the report states that *“this increase in traffic will be imperceptible when having regard to the daily fluctuations in traffic and will not have a material impact on the operation or safety of the local highway network.”*

Flooding

- 3.23 The application sites lies zone 3 and zone 2 sea flooding as detailed in TAN 15. The application included the submission of a Flood Consequence Assessment (FCA) to assess the risk posed to the site, the nature of the development, and any impacts arising from it.

- 3.24 The FCA recognises that the development site is located within Flood Zone 2/3 Sea of the Flood Map for Planning (FMfP). The FCA has considered the topography of the land and surrounding areas as well as the peak still tidal water levels for the 0.5% (1 in 200 year) and consideration towards climate change. The topographical survey submitted in support of the application demonstrates that site levels range from 4.850m AOD at the northern end of the development site to 5.75m AOD in the south west corner of the development with levels generally around 5.0-5.3m AOD.
- 3.25 The FCA has taken into consideration an appropriate amount of climate change and has considered the 70th and 95th percentile scenarios. The FCA states that the peak still tidal level for the 0.5% (1 in 200 year) plus climate change to 2120 (70th percentile) is 5.08m AOD and against the 95th percentile the peak still tidal level is shown to be 5.4m AOD. The proposed FFL's are therefore set above the 0.5% (1 in 200 year) tidal event plus climate change levels.
- 3.26 The FCA demonstrates that the risks and consequences of flooding are manageable to an acceptable level, provided that the development is undertaken in accordance with the site levels and FFLs shown in the FCA.

Drainage

- 3.27 A Drainage Report inclusive of a preliminary foul & surface water drainage layout has been submitted as part of the application, this sets out the drainage approach for the scheme.
- 3.28 The FCA advises that a Flood Compensation Area could be implemented as part of the design. This is detailed on the proposed plans.

Foul Drainage

- 3.29 The proposal will connect to the main sewer and Dŵr Cymru/Welsh Water have confirmed that there is adequate capacity in the local waste water treatment works to accommodate the proposal, but that work will be required to investigate the adequacy of sewers and pumping stations in the locality to ensure that these can either accommodate the development as is, or upgrades can be agreed and undertaken to ensure that they can do so. The submission details that *“a full Hydraulic Modelling Assessment is being progressed by DCWW and the DCWW officer has advised that given the assessment was in progress, they would offer a planning condition, possibly pre-occupation in order to support the application”*. Following any planning consent further agreements and consents will need to be sought and agreed with DCWW prior to any commencement of work on the drainage system;

Surface Water Drainage

- 3.30 A proposed drainage approach is set out which addresses the potential for disposal of surface water to soakaways or other SuDS compliant solutions on the site. It is concluded that soakaways are not feasible as the sole means of disposal in this case due to site conditions. As such, it is proposed that surface water will be managed within the site through a detention basin (plus the infrastructure and pipework leading into them) and then discharged at a controlled rate (allowing for climate change and a threshold storm event) to an existing ditch set to the east of the site. Use of an un-lined swale and permeable pavements is also proposed. Rain gardens, bio-retention areas, and rainwater re-use features may be added at detailed design stage.

Sustainability

- 3.31 In respect of access via non-car modes of transport, as per the Transport Statement, the proposal is situated within walking and cycling distance of the local shops, services, facilities, and employment sites available within Harlech. A good number of regular bus and rail services are also available within easy walking distance of the site allowing easy access to a wide variety of key local settlements, as well as the wider region.

Ecology and Biodiversity

- 3.32 An Ecological Appraisal has been submitted, which includes survey results. There are no protected or designated habitats within or close to the site that would be impacted by the scheme. There are also no records of protected or notable species on the site, but there are some records of a variety of species in close proximity to the site.
- 3.33 It has been identified that the site contains Badger burrows/setts. The Authority's Ecologist has requested further information in relation to measures undertaken to prevent human access to the wildlife corridors.
- 3.34 Biodiversity enhancements include the installation of bat and bird boxes on all plots, together with wildlife corridors and internal planting.

Welsh Language

- 3.35 ELDP policy 18 acknowledges that in determining planning applications the Authority must take into consideration the needs and interests of the Welsh language. In so doing account must be taken of matters such as:
- Supporting development which maintains or enhances the integrity of the Welsh language

- Refusing development that would cause significant harm to the character and language balance of a community
 - Mitigate against any adverse effect
 - Encourage all signage by public bodies, commercial interests to be bilingual or in Welsh only and to promote the distinctiveness of any cultural amenity
 - Encourage the use of the Welsh language for place names, house, and street names
- 3.36 The impact on the Welsh Language has been assessed during consideration of allocating the site for residential development.
- 3.37 However, the Welsh Language is a key material consideration and as such, the implications of the proposal for the language and the local Welsh speaking community must be considered when assessing this application.
- 3.38 In this case there are unlikely to be impact as, the proposal is modest in scale in relation to the size of the local resident population, and a development of this scale has been considered to be satisfactory through the LDP allocation process. As such, any 'impact' from its occupiers would also be modest and therefore would not have significant or material impacts upon the local community or use of the Welsh Language;
- 3.39 In the submitted Planning Support Statement it is stated that “A Welsh Language name should be used for the development, and Welsh should be used on any site signage that may be installed.” This can be ensured by including an appropriate condition within any planning permission.
- 3.40 The scheme is likely to be beneficial as it would provide affordable dwellings suited for use by a wide range of local residents, with the mix of sizes reflecting recorded local need. The neutral tenure approach will allow people to move between them as their requirements change. This will ensure that the development provides a long-term asset for the community in meeting affordable housing need as it evolves over the coming years. This would assist in addressing the issue with housing affordability in this community, and thus will be an important component in retaining the Welsh users in this community and in particular the young who are of course vital to the future of the language and the most likely to require assistance in accessing housing.

Dark sky reserve

- 3.41 The site is set within the Dark Sky Reserve (though it is not within a core zone)
- 3.42 A lighting design of the scheme has not been produced. It is expected that lighting of the roads within the development will be required as for the extent of adopted highway. The submission of a lighting scheme will be conditioned.

4. Conclusion

- 4.1 Having considered the above assessment, it is believed that the proposal, as amended, is acceptable and that the fact that 100% of the units are affordable would respond to the needs that have already been identified. The proposal will make a significant contribution to the affordable housing needs of the settlement.
- 4.2 In assessing the current proposal in its entirety, no substantial harmful impact contrary to local planning policies and relevant national guidance has been identified. Therefore, to this end, it is considered that the proposal is acceptable.
- 4.3 The proposed development complies with the requirements of Development Policy 1 and 6 whereby:
- the height, form and scale of the development is compatible with the capacity and character of the site and locality;
 - it will not detract from the character and form of the existing dwelling or significantly harm the amenity of neighbouring properties;
 - the materials are sympathetic to and enhance their surroundings.
- 4.4 The proposal would also fully comply with the requirements of Strategic Policy G and Development Policy 30, i.e. would provide 100% affordable housing.
- 4.5 It is recommended therefore that the application is approved subject appropriate conditions and for the applicant to enter into a section 106 agreement with the Authority.

RECOMMENDATION: To GRANT permission subject appropriate conditions and for the applicant entering into a Section 106 agreement under the Town and Country Planning Act 1990:

1. The development hereby permitted shall be commenced before the expiration of FIVE years from the date of this decision.

1. The development hereby permitted shall be carried out in strict conformity with the details shown on plan(s):
 - Drawing number C1094.004V – Proposed Site Layout - Received on the 28/07/23
 - Drawing number C1094.035D-3P2B – Affordable Bungalow Plan -- Received on the 28/07/23
 - Drawing number C1094.036D-3P2B – Affordable Bungalow Elevations -- Received on the 28/07/23
 - Drawing number C1094.040C -4P2B – House Plans- - Received on the 28/07/23
 - Drawing number C1094.041E – Affordable House Elevations -- Received on the 28/07/23
 - Drawing number C1094.043C Affordable House and Mid Terrace Plans -- Received on the 28/07/23
 - Drawing number C1094.44E – House and Mid Terrace Elevations -- Received on the 28/07/23
 - Drawing number C1094.045C – Affordable House Plans -- Received on the 28/07/23
 - Drawing number C1094.46E – Affordable House Elevations -- Received on the 28/07/23
 - Drawing number C1094.050C – Affordable Side Entry House Plans -- Received on the 28/07/23
 - Drawing number C1094.051E – Affordable Side Entry Elevations -- Received on the 28/07/23
 - Drawing number C1094.056B – Affordable House Plans FF -- Received on the 28/07/23
 - Drawing number C1094.057E - Affordable House Elevations -- Received on the 28/07/23
 - Drawing number C1094.060(1) – Apartment Plans (Handed) -- Received on the 28/07/23
 - Drawing number C1094.061E - Apartment Elevations -- Received on the 28/07/23
 - Drawing number C1094.065D – WC Bungalow Proposed Floor Plan -- Received on the 28/07/23
 - Drawing number C1094.066C – WC Bungalow Proposed Elevations -- Received on the 28/07/23
 - Drainage Statement Rev C -- Received on the 28/07/23
 - Landscaping Plan – 293-LST-xx-xx-Dr-L-0101-- Received on the 28/07/23
 - Drawing number Sk401P04 – Preliminary Road Vertical Alignments -- Received on the 28/07/23
 - Drawing number Sk501P05 – Drainage Layout -- Received on the 28/07/23
 - Drawing No. LST-XX-XX-DR-L-0101, Revision P05' received 28/07/23 submitted to the Local Planning Authority and contained in the form of application and in any other documents accompanying such application unless condition(s) to amend them is/are included on this planning decision notice

3. The roofs of the dwellinghouses and porches shall be covered with blue-grey slates from the Blaenau Ffestiniog area, or slates with equivalent colour, texture and weathering characteristics details of which shall be provided and approved in writing by the Local Planning Authority.
4. All planting, seeding or turfing comprised in the approved details of landscaping shall be carried out in the first planting and seeding seasons following the occupation of the buildings or the completion of the development, whichever is sooner; and any trees or plants which within the period of 5 years from the completion of the development die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species.
5. **Prior to the commencement** of development hereby approved, a Construction Method Statement (CMS) to include the following details shall be submitted to and approved by means of a formal application to the Local Planning Authority
 - Management of site related traffic during construction
 - The parking of vehicles of site operatives and visitors
 - Loading and unloading of plant and materials
 - Storage of plant and materials used in the construction
 - The erection of maintenance of security hoarding
 - Wheel washing facilities.

The CMS shall be carried out in accordance with the approved Plan unless otherwise agreed in writing by the Local Planning Authority.

6. Prior to any stonework commencing on the site, a trial stonework panel including pointing not less than 2.00 m² shall be constructed. No building operations in stone shall be carried out on the site unless and until the trial panel has been inspected and approved by means of a formal application to the Local Planning Authority. The stonework of the dwellinghouse shall be built in accordance with the approved sample.
7. The core working hours for general construction shall be limited to between 0700 and 1800 Monday to Friday, 0700 and 1300 Saturday, and no working on a Sunday or Bank Holidays, unless otherwise approved by the Local Planning Authority.

8. Notwithstanding the provision of the Town and Country Planning (General Permitted Development) Order 1995 (as amended by the Town and Country Planning General Permitted Development (Amendment) (Wales) Order 2013 (or any Order revoking or re-enacting or amending that Order with or without modification) nothing shall operate so as to permit (within the area subject to this permission) any development referred to in the Parts and Classes of Schedule 2 to the Order, summarised below:

PART 1: DEVELOPMENT WITHIN THE CURTILAGE OF A DWELLINGHOUSE

Class A: The enlargement, improvement or other alteration of a dwellinghouse.

Class B: The enlargement of a dwellinghouse consisting of an addition or alteration to its roof.

Class C: Any other alteration to the roof of a dwellinghouse.

Class D: The erection or construction of a porch outside any external door of a dwellinghouse.

Class E: The provision within the curtilage of the dwellinghouse, of any building or enclosure, raised platform, swimming or other pool required for a purpose incidental to the enjoyment of the dwellinghouse as such, or the maintenance, improvement or other alteration of such a building, enclosure, platform or pool; or a container used for domestic heating purposes for the storage of oil or liquid petroleum gas.

Class F: The provision within the curtilage of a dwellinghouse of a hard surface for any purpose incidental to the enjoyment of the dwellinghouse as such; or the replacement in whole or in part of such a surface.

Class G: The installation, alteration or replacement of a chimney on a dwellinghouse

Class H: The installation, alteration or replacement of a microwave antenna on a dwellinghouse or within the curtilage of a dwellinghouse.

PART 2: MINOR OPERATIONS

Class A: Gates, fences, walls and other means of enclosures

9. The 'General Reasonable Avoidance Measures' listed within section 5 and 8 of the Preliminary Ecological Appraisal Report by Enfys Ecology shall be followed and implemented in full.
10. The applicant/developer shall ensure that the newly created hibernaculum as shown in figure 5.1 of report 'Land opposite Ty Canol, Harlech: Reasonable Avoidance Measures (RAMs) For Reptiles', will be left in situ following completion of works as detailed on document 'Land. Opp Fford Ty Canol, Landscape GA Draft, Drawing No. LST-XX-XX-DR-L-0101, Revision P05' dated 27.07.2023',
11. The applicant/developer shall ensure that the Method Statement for Badgers as detailed in Section 5 of report 'Land Opposite Ty Canol, Harlech, shall be followed and implemented in full.

12. The applicant/developer shall ensure that Biodiversity enhancement measures for the site as listed in section 6 of the Preliminary Ecological Appraisal report shall be followed and implemented in full.
13. **No development** shall take place until a scheme of light transmittance on the site is submitted and approved by the local planning authority by means of a formal application. The scheme shall include details of external lighting to be installed as well as detailing methods of mitigation to reduce light pollution. The scheme shall be implemented as approved prior to the first occupation of the dwellings and retained thereafter.
14. **No development** (including site clearance, topsoil strip or other ground works trial pitting, site clearance, topsoil strip or other groundworks) shall take place until a specification for a programme of archaeological work has been submitted to and approved by means of a formal application to the Local Planning Authority. The development shall be carried out and all archaeological work completed in strict accordance with the approved details.
15. A detailed report on the archaeological work required by condition 14 shall be submitted to and approved by means of a formal application to the Local Planning Authority within 6 months of completion of archaeological fieldwork and approved by the Local Planning Authority.
16. **No development** shall take place until a point of connection on the public sewerage system has been identified by a hydraulic modelling assessment, which shall first be submitted to and approved by means of a formal application to the Local Planning Authority. Thereafter, the connection shall be made in strict accordance with the recommended connection option following the implementation of any necessary reinforcement works to the sewerage system, as may be identified by the hydraulic modelling assessment.
17. The highway boundary wall/hedge/fence or any new boundary erected fronting the highway shall at no time be higher than 1 metre above the level of the adjoining county road carriageway along the whole length of the site's boundary with the adjoining highway and nothing exceeding this height shall be erected within 2 metres of the said wall.
18. The access shall be completed in full accordance with the approved plan before the residential dwellings are occupied.
19. Prior to the occupation of the Dwellings on site details shall be submitted to and approved by means of a formal application to the Local Planning Authority of street names and associated signage on the site.

Reasons:

1. To Comply with Section 91 (as amended) of the Town and Country Planning Act 1990.
2. To define the permission and for the avoidance of doubt.
3. To ensure a satisfactory standard of appearance of the development and the use of appropriate local building materials, in accordance with Eryri Local Development Plan Policies 2016-2031 and in particular policies 1, 6 and A.
4. To preserve and enhance the visual amenities of the area, in accordance with Eryri Local Development Plan Policies and in particular Policy 1.
5. For the avoidance of doubt and in order to protect the the environment of the area and the visual impact on the wider landscape in accordance with Eryri Local Development Plan Policies 2016-2031 and in particular policies 1 and A.
6. To ensure a satisfactory standard of appearance of the development and the use of appropriate local building materials, in accordance with Eryri Local Development Plan Policies and in particular policies A, 1, 6.
7. To minimise the loss of amenity to nearby properties and the surrounding area in general in accordance with Eryri Local Development Plan Policies and in particular Policy 1
8. The local planning authority considers that such development should be subject to formal control in order to safeguard the amenities of the area.
9. To ensure a satisfactory standard of development and to minimise the risk of unacceptable harm or disturbance to protected species in accordance with Eryri Local Development Plan Policies and in particular Policy D.
10. To ensure a satisfactory standard of development and to minimise the risk of unacceptable harm or disturbance to protected species in accordance with Eryri Local Development Plan Policies and in particular Policy D.
11. To ensure a satisfactory standard of development and to minimise the risk of unacceptable harm or disturbance to protected species in accordance with Eryri Local Development Plan Policies and in particular Policy D.
12. To ensure a satisfactory standard of development and to minimise the risk of unacceptable harm or disturbance to protected species in accordance with Eryri Local Development Plan Policies and in particular Policy D.

13. To ensure a satisfactory standard of appearance of the development and the use of appropriate lighting for the protection of the night sky, residential amenity and biodiversity in accordance with Eryri Local Development Plan Policies and in particular policies A,D, 1 and 6 and the adopted Supplementary Planning Guidance for Light Pollution.
14. To ensure the implementation of an appropriate programme of archaeological mitigation in accordance with the requirements of Planning Policy Wales 2021 and TAN24: The Historic Environment
15. To ensure that the work will comply with MOPPHE/Management of Archaeological Projects (MAP 2) and the Standards Guidance of the Chartered Institute of Archaeologists (CifA)
16. To prevent hydraulic overloading of the public sewerage system, to protect the health and safety of existing residents and ensure no pollution of or detriment to the environment.
17. In the interest of Highway Safety
18. In the interest of Highway Safety
19. To ensure that appropriate street names are adopted in the interests of the Welsh Language and in accordance with Eryri Local Development Plan Policies and in particular Policy 18.

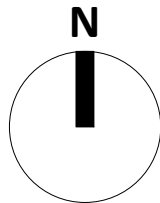
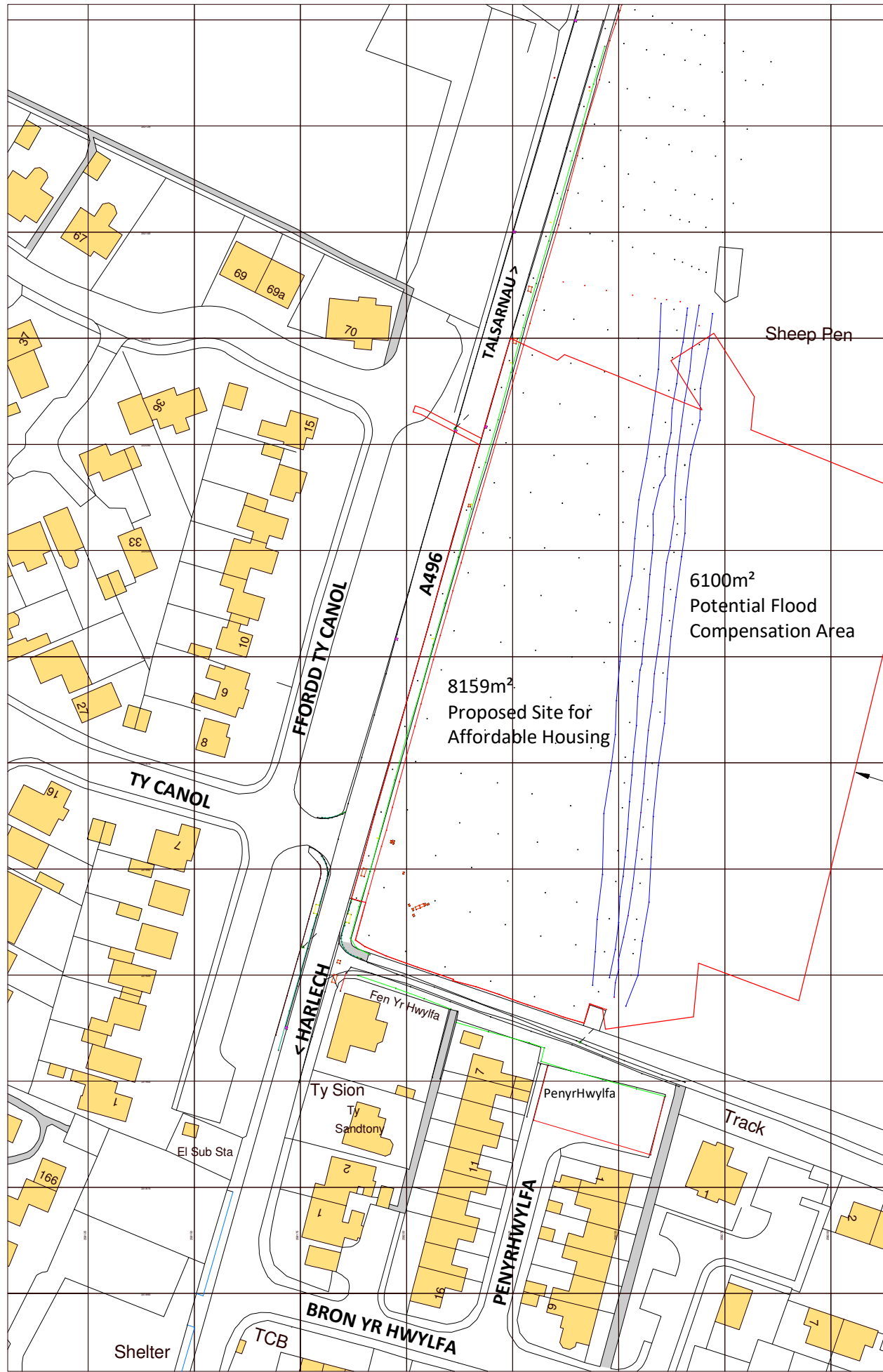
Advisory

1. FLOOD AND WATER MANAGEMENT ACT (FWMA) 2010 THE SUSTAINABLE DRAINAGE (APPROVAL AND ADOPTION PROCEDURE)(WALES) REGULATIONS 2018

The introduction of legislation on 7th January 2019 made sustainable drainage systems a mandatory requirement on new development where the construction area is 100m² or more. It is considered that this development exceeds the above identified threshold and may require Sustainable Drainage Systems (SuDS) consent from the relevant Sustainable Drainage Systems Approval Body (SAB) prior to construction works commencing.

Consequently, you are advised to contact the relevant Sustainable Drainage Systems Approval Body (SAB), i.e. (Gwynedd Council) for advice and guidance on this matter.

2. Your attention is drawn to the content of the consultation response from Dŵr Cymru/Welsh Water dated 17th April 2023 (*Copy attached to this notice*)
3. Your attention is drawn to the content of the consultation response from Network Rail dated 24th April 2023 (*Copy attached to this notice*)



| | | | |
|---|---|----------|----|
| E | UNDERGROUND WIRE EASEMENT ADDED TO SITE BOUNDARY | 10.05.23 | IO |
| D | NOTES ADDED | 10.03.23 | IO |
| C | 6100m ² FLOOD COMPENSATION AREA ADDED | 09.03.23 | IO |
| B | SITE BOUNDARY AMENDED TO INCLUDE OFF SITE DRAINAGE | 06.03.23 | IO |
| A | RED LINE EXTENDED FOR SURFACE WATER DRAINAGE CONNECTION | 18.11.22 | GT |

| REV | DESCRIPTION | DATE | BY |
|-----|-------------|------|----|
|-----|-------------|------|----|

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PROJECT
PENYRHWYLFA
for GRWP CYNEFIN

DRAWING TITLE
LOCATION PLAN

| | | | |
|--------------|----------|-------|---------|
| SCALE | DATE | DRAWN | CHECKED |
| 1 : 1250 @A3 | 10/11/22 | GT | SV |

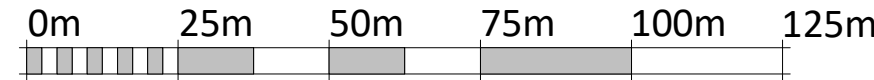
DRAWING STATUS
PRELIMINARY

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| JOB No | DRAWING No | REVISION |
| C1094 | 001 | E |

AG | **A** **AINSLEY GOMMON ARCHITECTS**

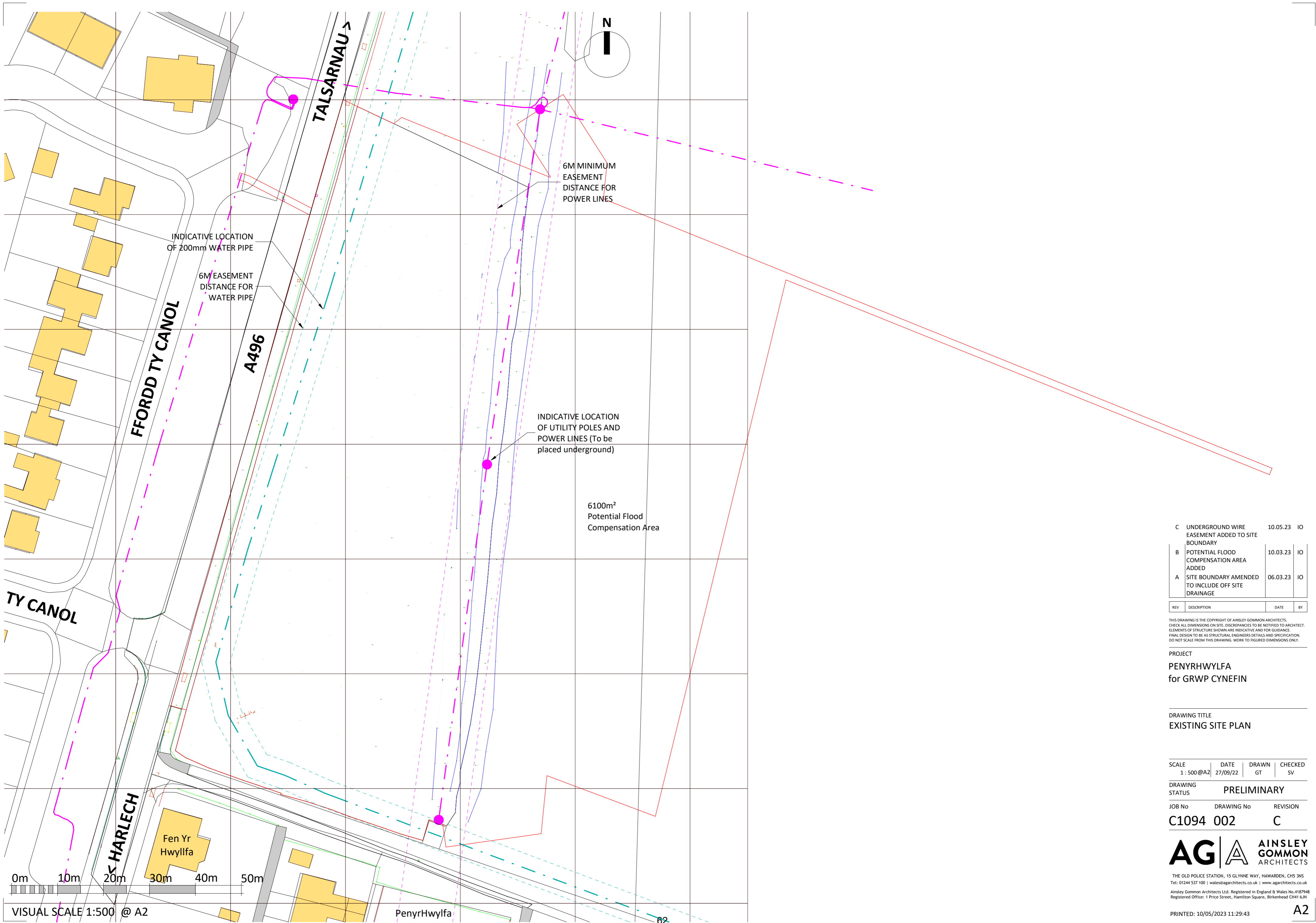
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VISUAL SCALE 1:1250 @ A4

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| | | | |
|---|--|----------|----|
| C | UNDERGROUND WIRE EASEMENT ADDED TO SITE BOUNDARY | 10.05.23 | IO |
| B | POTENTIAL FLOOD COMPENSATION AREA ADDED | 10.03.23 | IO |
| A | SITE BOUNDARY AMENDED TO INCLUDE OFF SITE DRAINAGE | 06.03.23 | IO |

| REV | DESCRIPTION | DATE | BY |
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PROJECT
PENYRHWYLFA
 for GRWP CYNEFIN

DRAWING TITLE
EXISTING SITE PLAN

| | | | |
|------------|----------|-------|---------|
| SCALE | DATE | DRAWN | CHECKED |
| 1: 500 @A2 | 27/09/22 | GT | SV |

DRAWING STATUS
PRELIMINARY

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| JOB No | DRAWING No | REVISION |
| C1094 | 002 | C |



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ECOLOGY

ALL PLOTS ARE FITTED WITH WITH A BAT BOX AND 2 x MULTICAVITY SWIFTBXES.

BIRD BOXES
 26mm OPENING - PLOTS 10 & 13 & 19 & 20
 32mm OPENING - PLOTS 2 & 4 & 6 & 12 & 15-16
 45mm OPENING - PLOTS 1 & 3 & 7 & 9 & 14

HOUSING KEY

- 9 No. 4P2B HOUSE
- 3 No. 5P3B HOUSE
- 1 No. 5P3B SIDE ENTRY HOUSE
- 4 No. 2P1B FLATS
- 1 No. 3P2B BUNGALOW
- 1 No. 4B ASSISTED LIVING BUNGALOW
- 1 No. 7P4B HOUSE

| GIFA (m ²) | PLOT NO. | REV | DESCRIPTION | DATE | BY |
|------------------------|--------------------------------|-----|--|----------|----|
| 83.30 | 3, 5, 6, 8, 9, 11, 12, 13, 19. | | | | |
| 94.28 | 4, 7, 10. | | | | |
| 94.60 | 14. | | | | |
| 51.20 | 15-18. | | | | |
| 58.80 | 20. | | | | |
| 126.26 | 1. | V | BASIN UPDATED | 23.07.13 | OR |
| | | U | ECOLOGY MITIGATION ADDED + PLOT 1 MOVED EASTWARD | 22.06.23 | OR |
| | | T | AMENDED PORCHES TO BE PITCHED + REMOVAL OF BIN STORES + AMENDED SITE LAYOUT DUE TO WATER MAIN | 14.06.23 | OR |
| 115.03 | 2. | S | UNDERGROUND WIRE EASEMENT ADDED TO SITE BOUNDARY | 10.05.23 | IO |
| | | R | GIFA ADDED ON KEY | 09.05.23 | IO |
| | | Q | UNDERGROUND POWER LINE DIVERTED TO THE EAST | 09.05.23 | IO |
| | | P | GATES CHANGED AFTER SBD COMMENTS | 28.03.23 | IO |
| | | N | SHEDS AND BINS ADDED | 22.03.23 | IO |
| | | M | STOCK PROOF FENCE REMOVED ALONG WESTERN BOUNDARY | 16.03.23 | IO |
| | | L | POTENTIAL FLOOD COMPENSATION AREA ADDED | 10.03.23 | IO |
| | | K | SITE BOUNDARY AMENDED TO INCLUDE OFF SITE DRAINAGE | 06.03.23 | IO |
| | | J | WILDLIFE CORRIDOR NOTE REMOVED, KITCHEN AND LOUNGE POSITIONED REVERSED ON 15-18 | 02.03.23 | IO |
| | | H | IMPROVEMENTS TO HIGHWAY, PATH ALONG FRONTAGE ADDED | 15.02.23 | IO |
| | | G | NAME CHANGE OF PLOT 1 TO ASSISTED LIVING BUNGALOW | 22.11.22 | GT |
| | | F | RED LINE EXTENDED, SIDE WINDOWS REMOVED ON PLOTS 2-5, 9 & 12, PATHS ALTERED & FRONT GABLE ADDED TO PLOT 17 | 18.11.22 | GT |
| | | E | SITE LAYOUT AMENDED & LOCATION OF WATER PIPE ADDED | 15.11.22 | GT |
| | | D | SITE LAYOUT AMENDED | 09.11.22 | GT |
| | | C | SITE LAYOUT UPDATED WITH SPECIAL NEEDS BUNGALOW | 02.11.22 | GT |
| | | B | PLOT MIX AND SITE AMENDMENTS | 27.10.22 | OR |

TOTAL:
20no. UNITS

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PROJECT
PENYRHWYLFA
 for GRWP CYNEFIN

DRAWING TITLE
PROPOSED SITE LAYOUT

| | | | |
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| SCALE | DATE | DRAWN | CHECKED |
| 1: 500 @ A2 | 27/09/22 | IO | SV |
| DRAWING STATUS PRELIMINARY | | | |
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| C1094 | 004 | V | |

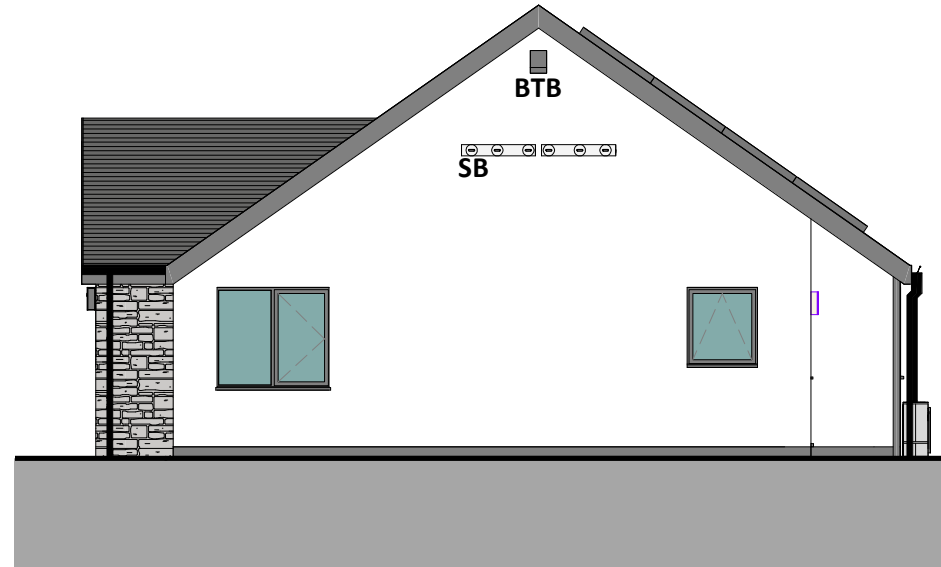


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FRONT ELEVATION

SCALE: 1 : 100



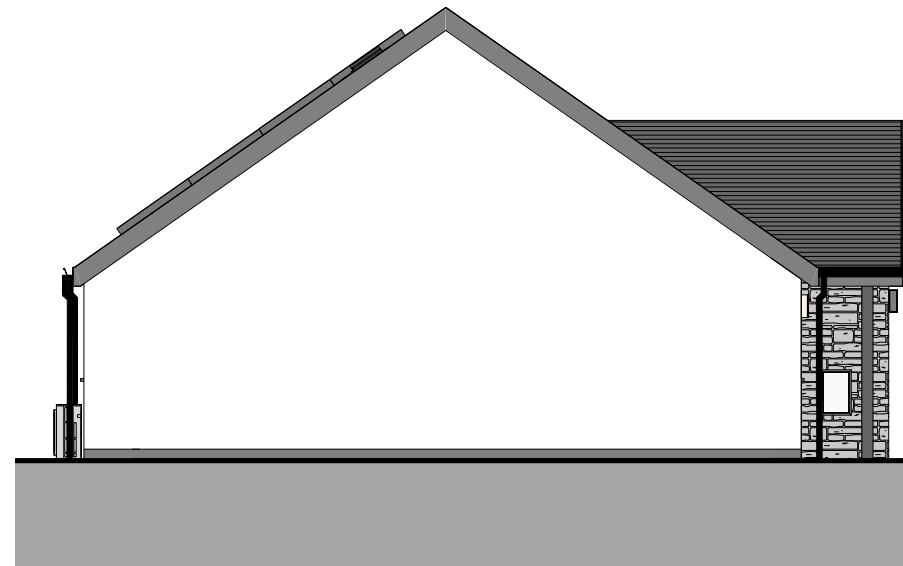
SIDE ELEVATION

SCALE: 1 : 100



REAR ELEVATION

SCALE: 1 : 100



PARTY WALL ELEVATION

SCALE: 1 : 100

MATERIAL KEY

- NATURAL SLATE / SLIM CONCRETE TILES
SUBJECT TO APPROVAL
- RENDER - OFF WHITE
- STONE
- GREY ENGINEERING BRICK
- WINDOWS AND DOORS - UPVC GRAPHITE
- FACIAS, SOFFITS AND RWG'S - UPVC

BB - BIRD BOX
BTB - BAT BOX
SB - SWIFT BOX

| | | | |
|---|--|----------|----|
| D | UPDATED MATERIAL KEY | 14/07/23 | OR |
| C | ELEVATION CHANGES FOLLOWING WH COMMENTS | 12/07/23 | OR |
| B | ECOLOGY MITIGATION ADDED | 22/06/23 | OR |
| A | CHANGES FOLLOWING NEW DQR AND COMMENTS FROM WH | 03/03/23 | IO |

| REV | DESCRIPTION | DATE | BY |
|-----|-------------|------|----|
|-----|-------------|------|----|

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PROJECT
PENYRHWYLFA, HARLECH
for WILLIAMS HOMES
(BALA)

DRAWING TITLE
3P2B AFFORDABLE
BUNGALOW ELEVATIONS

| | | | |
|--------|----------|-------|---------|
| SCALE | DATE | DRAWN | CHECKED |
| As @A3 | 14/11/22 | GT | SV |

indicated
 DRAWING
 STATUS **PRELIMINARY**

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| JOB No | DRAWING No | REVISION |
| C1094 | 036 | D |

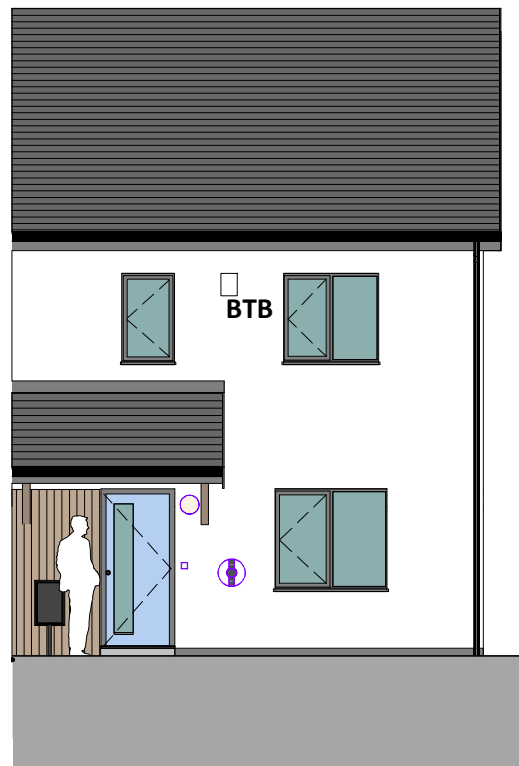


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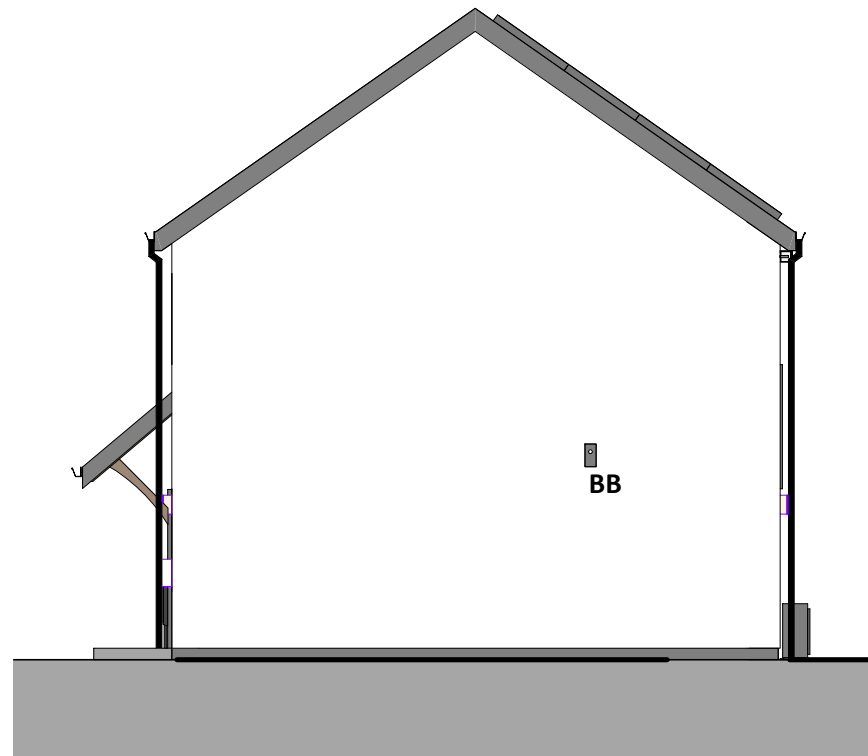
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A3



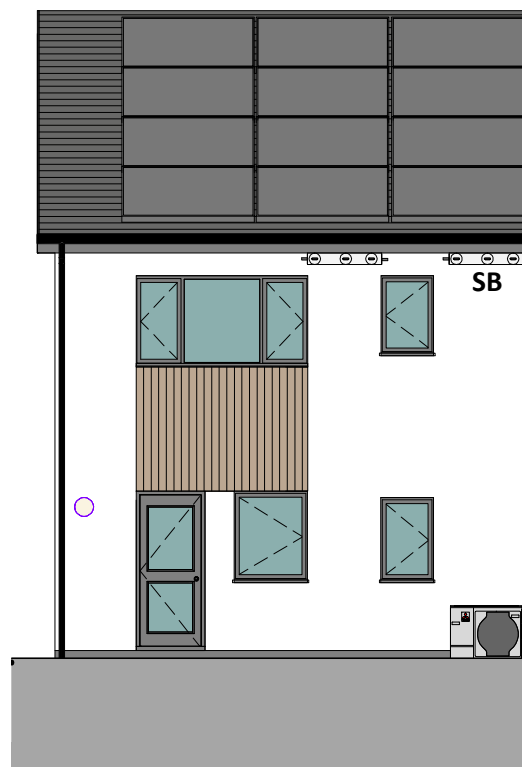
FRONT ELEVATION

SCALE: 1 : 100



SIDE ELEVATION







SCALE: 1 : 100



REAR ELEVATION

SCALE: 1 : 100

MATERIAL KEY

-  NATURAL SLATE / SLIM CONCRETE TILES
SUBJECT TO APPROVAL
-  RENDER - OFF WHITE
-  NATURAL TIMBER CLADDING (VERTICAL)
-  GREY ENGINEERING BRICK
-  WINDOWS AND DOORS - UPVC GRAPHITE
-  FACIAS, SOFFITS AND RWG'S - UPVC

- BB** - BIRD BOX
- BTB** - BAT BOX
- SB** - SWIFT BOX

| | | | |
|---|--|----------|----|
| B | UPDATED MATERIAL KEY | 14/07/23 | OR |
| A | ELEVATION CHANGES FOLLOWING WH COMMENTS | 12/07/23 | OR |

| REV | DESCRIPTION | DATE | BY |
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PROJECT
PENYRHWYLFA, HARLECH
for WILLIAMS HOMES
(BALA)

DRAWING TITLE
AFFORDABLE 4P2B HOUSE
ELEVATIONS (HANDED)

| | | | |
|--------|----------|-------|---------|
| SCALE | DATE | DRAWN | CHECKED |
| As @A3 | 10/07/23 | OR | SV |

DRAWING STATUS
PRELIMINARY

| | | |
|--------|------------|----------|
| JOB No | DRAWING No | REVISION |
| C1094 | 041(1) | B |

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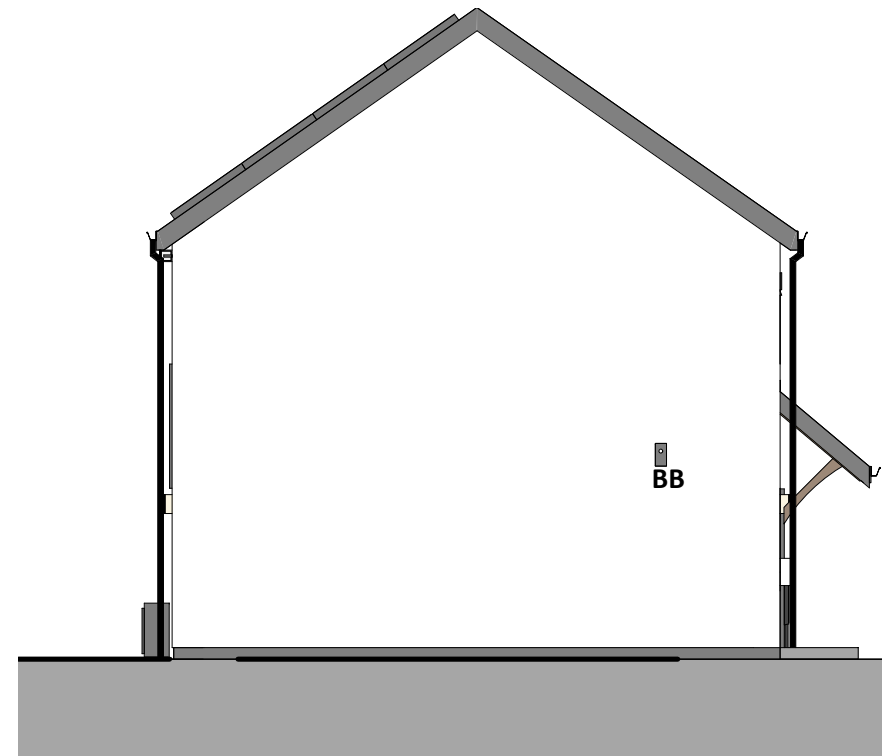
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A3



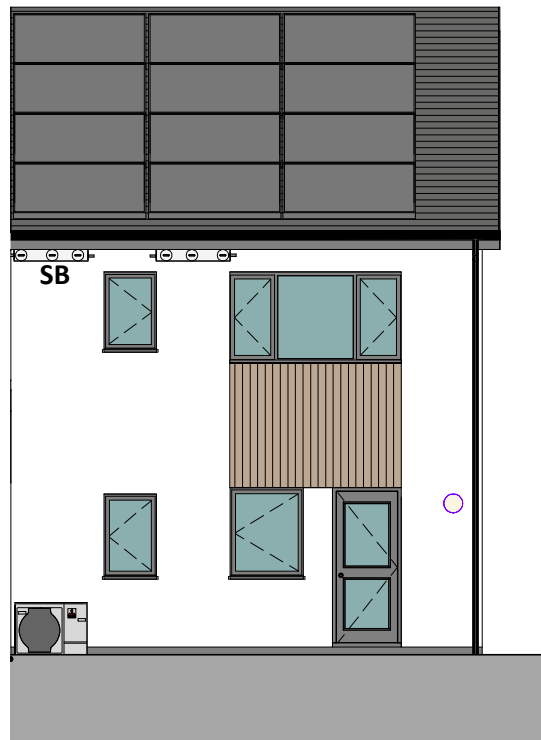
FRONT ELEVATION

SCALE: 1 : 100



SIDE ELEVATION







SCALE: 1 : 100



REAR ELEVATION

SCALE: 1 : 100

MATERIAL KEY

-  NATURAL SLATE / SLIM CONCRETE TILES
SUBJECT TO APPROVAL
-  RENDER - OFF WHITE
-  NATURAL TIMBER CLADDING (VERTICAL)
-  GREY ENGINEERING BRICK
-  WINDOWS AND DOORS - UPVC GRAPHITE
-  FACIAS, SOFFITS AND RWG'S - UPVC

- BB** - BIRD BOX
- BTB** - BAT BOX
- SB** - SWIFT BOX

| | | | |
|-----------------------|---|----------|----|
| E | UPDATED MATERIAL KEY | 14/07/23 | OR |
| D | ELEVATION CHANGES | 12/07/23 | OR |
| FOLLOWING WH COMMENTS | | | |
| C | ECOLOGY MITIGATION ADDED | 22/06/23 | OR |
| B | AMEND PORCHES TO BE PITCHED + REMOVED BIN STORE | 12/06/23 | OR |
| A | CHANGES FOLLOWING NEW DQR AND COMMENTS FROM WH | 03/03/23 | IO |

| REV | DESCRIPTION | DATE | BY |
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PROJECT
PENYRHWYLFA, HARLECH
for WILLIAMS HOMES
(BALA)

DRAWING TITLE
AFFORDABLE 4P2B HOUSE
ELEVATIONS

SCALE: As @A3 | DATE: 14/11/22 | DRAWN: GT | CHECKED: SV

DRAWING STATUS: PRELIMINARY

JOB No: C1094 | DRAWING No: 041 | REVISION: E

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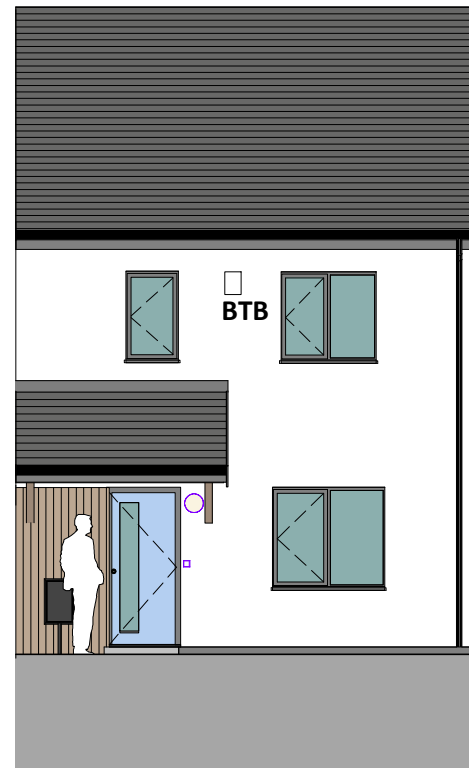
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A3

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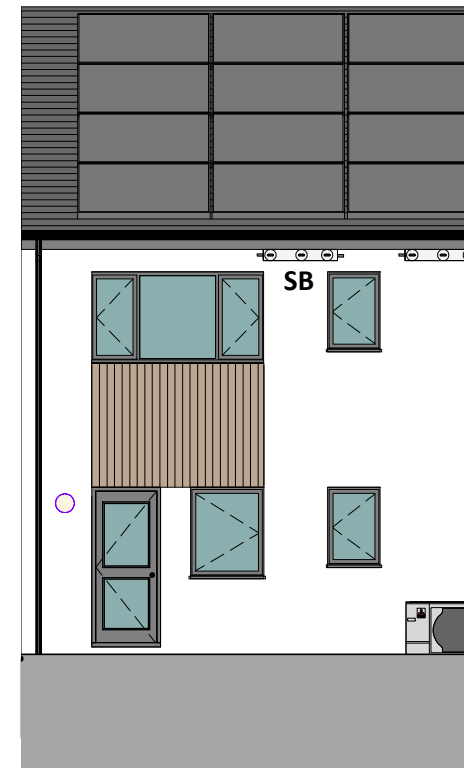
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SUBJECT TO APPROVAL
-  RENDER - OFF WHITE
-  NATURAL TIMBER CLADDING (VERTICAL)
-  GREY ENGINEERING BRICK
-  WINDOWS AND DOORS - UPVC GRAPHITE
-  FACIAS, SOFFITS AND RWG'S - UPVC

- BB** - BIRD BOX
- BTB** - BAT BOX
- SB** - SWIFT BOX



FRONT ELEVATION

SCALE: 1 : 100



REAR ELEVATION

SCALE: 1 : 100

| | | | |
|---|--|----------|----|
| B | UPDATED MATERIAL KEY | 14/07/23 | OR |
| A | ELEVATION CHANGES FOLLOWING WH COMMENTS | 12/07/23 | OR |

| REV | DESCRIPTION | DATE | BY |
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PROJECT
PENYRHWYLFA, HARLECH
for WILLIAMS HOMES
(BALA)

DRAWING TITLE
AFFORDABLE 4P2B HOUSE
MID TERRACE ELEVATIONS
(HANDDED)

| | | | |
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| SCALE | DATE | DRAWN | CHECKED |
| As @A3 | 11/07/23 | OR | SV |

DRAWING STATUS
PRELIMINARY

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| JOB No | DRAWING No | REVISION |
| C1094 | 044(1) | B |









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A3

MATERIAL KEY

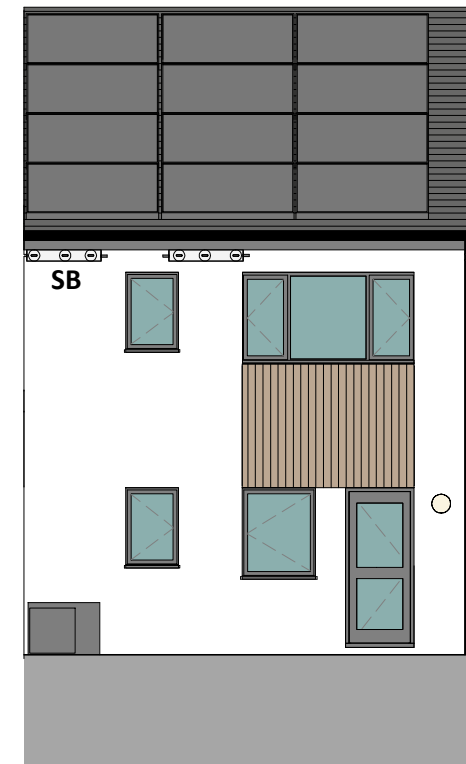
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SUBJECT TO APPROVAL
-  RENDER - OFF WHITE
-  NATURAL TIMBER CLADDING (VERTICAL)
-  GREY ENGINEERING BRICK
-  WINDOWS AND DOORS - UPVC GRAPHITE
-  FACIAS, SOFFITS AND RWG'S - UPVC

- BB** - BIRD BOX
- BTB** - BAT BOX
- SB** - SWIFT BOX



FRONT ELEVATION

SCALE: 1 : 100



REAR ELEVATION

SCALE: 1 : 100

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| E | UPDATED MATERIAL KEY | 14/07/23 | OR |
| D | ELEVATION CHANGES | 12/07/23 | OR |
| FOLLOWING WH COMMENTS | | | |
| C | ECOLOGY MITIGATION ADDED | 22/06/23 | OR |
| B | AMEND PORCHES TO BE PITCHED + REMOVED BIN STORE | 12/06/23 | OR |
| A | CHANGES FOLLOWING NEW DQR AND COMMENTS FROM WH | 03/03/23 | IO |

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PROJECT
PENYRHWYLFA, HARLECH
for WILLIAMS HOMES
(BALA)

DRAWING TITLE
AFFORDABLE 4P2B HOUSE
MID TERRACE ELEVATIONS

| | | | |
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| SCALE | DATE | DRAWN | CHECKED |
| As @A3 | 10/07/23 | OR | SV |

indicated
DRAWING
STATUS PRELIMINARY

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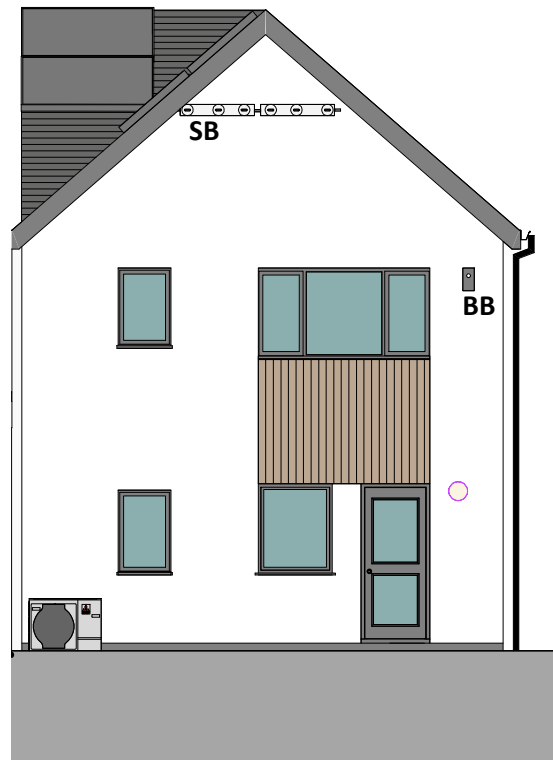
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A3



FRONT ELEVATION

SCALE: 1 : 100



REAR ELEVATION







SCALE: 1 : 100



SIDE ELEVATION

SCALE: 1 : 100

MATERIAL KEY

-  NATURAL SLATE / SLIM CONCRETE TILES
SUBJECT TO APPROVAL
-  RENDER - OFF WHITE
-  NATURAL TIMBER CLADDING (VERTICAL)
-  GREY ENGINEERING BRICK
-  WINDOWS AND DOORS - UPVC GRAPHITE
-  FASCIAS, SOFFITS AND RWG'S - UPVC

- BB** - BIRD BOX
- BTB** - BAT BOX
- SB** - SWIFT BOX

| | | | |
|-----------------------|---|----------|----|
| E | UPDATED MATERIAL KEY | 14/07/23 | OR |
| D | ELEVATION CHANGES | 12/07/23 | OR |
| FOLLOWING WH COMMENTS | | | |
| C | ECOLOGY MITIGATION ADDED | 22/06/23 | OR |
| B | AMEND PORCHES TO BE PITCHED + REMOVED BIN STORE | 12/06/23 | OR |
| A | CHANGES FOLLOWING NEW DQR AND COMMENTS FROM WH | 03/03/23 | IO |

| REV | DESCRIPTION | DATE | BY |
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PROJECT
PENYRHWYLFA, HARLECH
for WILLIAMS HOMES
(BALA)

DRAWING TITLE
AFFORDABLE 5P3B HOUSE
ELEVATIONS

| | | | |
|--------|----------|-------|---------|
| SCALE | DATE | DRAWN | CHECKED |
| As @A3 | 14/11/22 | GT | SV |

indicated
DRAWING
STATUS PRELIMINARY

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| C1094 | 046 | E |

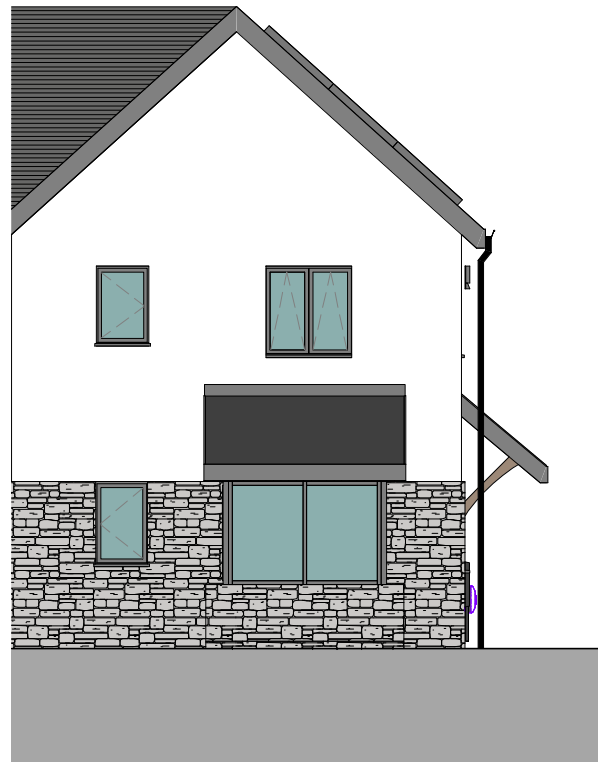
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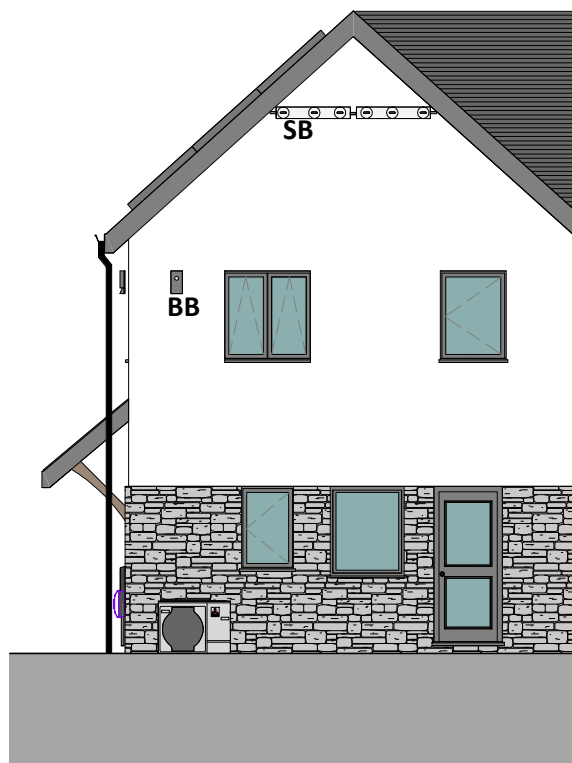
FRONT ELEVATION

SCALE: 1 : 100



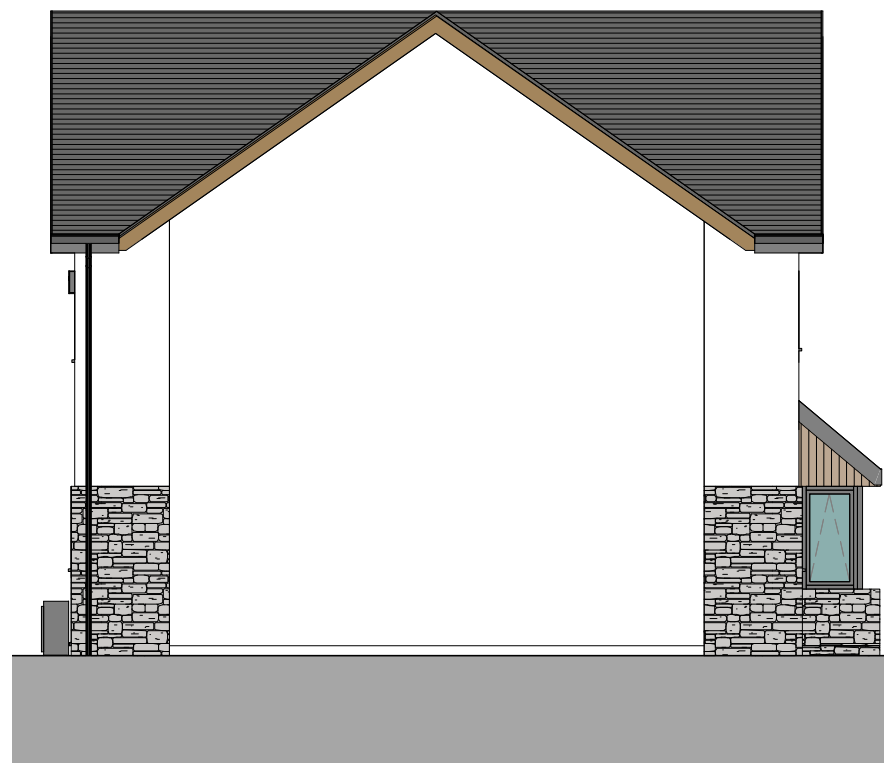
SIDE ELEVATION - ENTRANCE

SCALE: 1 : 100



REAR ELEVATION








SCALE: 1 : 100



PARTY WALL SECTION

SCALE: 1 : 100

MATERIAL KEY

-  NATURAL SLATE / SLIM CONCRETE TILES
SUBJECT TO APPROVAL
 -  RENDER - OFF WHITE
 -  NATURAL TIMBER CLADDING (VERTICAL)
 -  STONE
 -  GREY ENGINEERING BRICK
 -  WINDOWS AND DOORS - UPVC GRAPHITE
 -  FACIAS, SOFFITS AND RWG'S - UPVC
- BB - BIRD BOX**
BTB - BAT BOX
SB - SWIFT BOX

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|---|---|----------|----|
| E | UPDATED MATERIAL KEY | 14/07/23 | OR |
| D | ELEVATION CHANGES | 12/07/23 | OR |
| C | FOLLOWING WH COMMENTS | | |
| C | ECOLOGY MITIAGTION ADDED | 22/06/23 | OR |
| B | AMEND PORCHES TO BE PITCHED + REMOVED BIN STORE | 12/06/23 | OR |
| A | CHANGES FOLLOWING NEW DQR AND COMMENTS FROM WH | 03/03/23 | IO |

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PROJECT
PENYRHWYLFA, HARLECH
 for WILLIAMS HOMES
 (BALA)

DRAWING TITLE
5P3B AFFORDABLE SIDE ENTRY HOUSE ELEVATIONS

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| SCALE | DATE | DRAWN | CHECKED |
| As @A3 | 14/11/22 | GT | SV |

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 STATUS **PRELIMINARY**

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| C1094 | 051 | E |



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A3



FRONT ELEVATION

SCALE: 1 : 100



GABLE ELEVATION

SCALE: 1 : 100



REAR ELEVATION

SCALE: 1 : 100



SIDE ELEVATION

SCALE: 1 : 100

MATERIAL KEY

- NATURAL SLATE / SLIM CONCRETE TILES
SUBJECT TO APPROVAL
- RENDER - OFF WHITE
- NATURAL TIMBER CLADDING (VERTICAL)
- STONE
- GREY ENGINEERING BRICK
- WINDOWS AND DOORS - UPVC GRAPHITE
- FACIAS, SOFFITS AND RWG'S - UPVC

- BB** - BIRD BOX
- BTB** - BAT BOX
- SB** - SWIFT BOX

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| E | UPDATED MATERIAL KEY | 14/07/23 | OR |
| D | ELEVATION CHANGES FOLLOWING WH COMMENTS | 12/07/23 | OR |
| C | ECOLOGY MITIGATION ADDED | 22/06/23 | OR |
| B | AMEND PORCHES TO BE PITCHED + REMOVED BIN STORE | 12/06/23 | OR |
| A | CHANGES FOLLOWING NEW DQR AND COMMENTS FROM WH | 03/03/23 | IO |

| REV | DESCRIPTION | DATE | BY |
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PROJECT
PENYRHWYLFA, HARLECH
for WILLIAMS HOMES
(BALA)

DRAWING TITLE
7P4B AFFORDABLE HOUSE
ELEVATIONS

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| SCALE | DATE | DRAWN | CHECKED |
| As @A3 | 14/11/22 | GT | SV |
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| C1094 | 057 | E |



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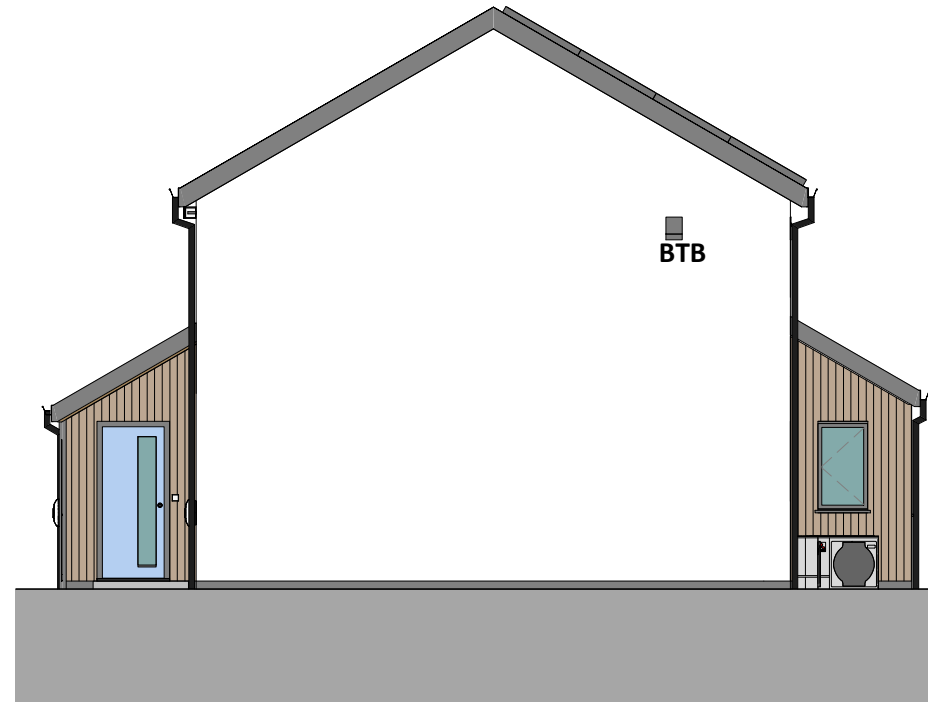
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A3



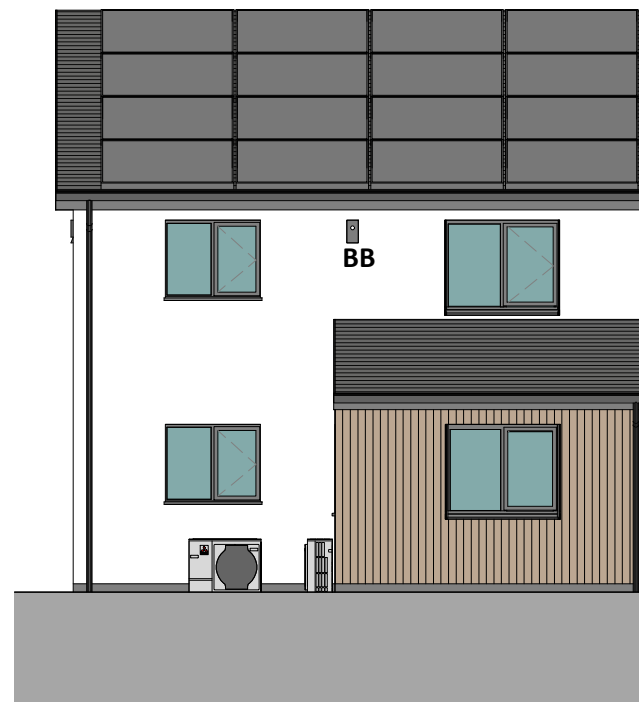
FRONT ELEVATION

SCALE: 1 : 100



GABLE / SIDE ELEVATION







SCALE: 1 : 100



REAR ELEVATION

SCALE: 1 : 100

MATERIAL KEY

-  NATURAL SLATE / SLIM CONCRETE TILES
SUBJECT TO APPROVAL
-  RENDER - OFF WHITE
-  NATURAL TIMBER CLADDING (VERTICAL)
-  GREY ENGINEERING BRICK
-  WINDOWS AND DOORS - UPVC GRAPHITE
-  FACIAS, SOFFITS AND RWG'S - UPVC

- BB** - BIRD BOX
- BTB** - BAT BOX
- SB** - SWIFT BOX

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| B | UPDATED MATERIAL KEY | 14/07/23 | OR |
| A | ELEVATION CHANGES FOLLOWING WH COMMENTS | 12/07/23 | OR |

| REV | DESCRIPTION | DATE | BY |
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PROJECT
PENYRHWYLFA, HARLECH
for WILLIAMS HOMES
(BALA)

DRAWING TITLE
2P1B APARTMENT
ELEVATIONS (HANDED)

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| SCALE | DATE | DRAWN | CHECKED |
| As @A3 | 10/07/23 | OR | SV |

indicated
DRAWING
STATUS PRELIMINARY

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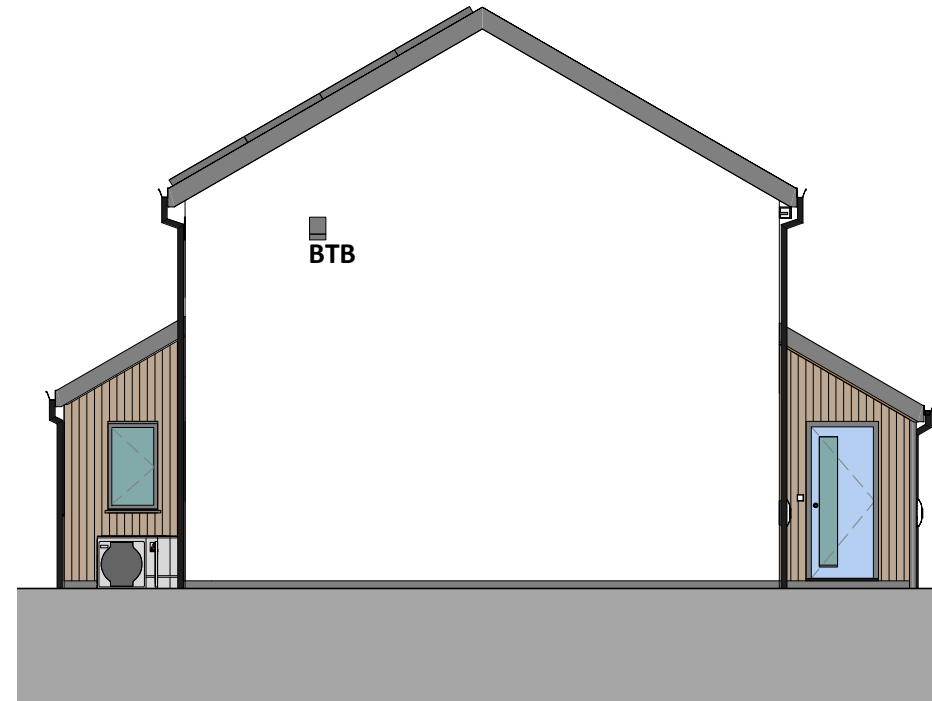
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A3



FRONT ELEVATION

SCALE: 1 : 100



GABLE / SIDE ELEVATION







SCALE: 1 : 100



REAR ELEVATION

SCALE: 1 : 100

MATERIAL KEY

-  NATURAL SLATE / SLIM CONCRETE TILES
SUBJECT TO APPROVAL
-  RENDER - OFF WHITE
-  NATURAL TIMBER CLADDING (VERTICAL)
-  GREY ENGINEERING BRICK
-  WINDOWS AND DOORS - UPVC GRAPHITE
-  FACIAS, SOFFITS AND RWG'S - UPVC

BB - BIRD BOX

BTB - BAT BOX

SB - SWIFT BOX

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| E | UPDATED MATERIAL KEY | 14/07/23 | OR |
| D | ELEVATION CHANGES | 12/07/23 | OR |
| FOLLOWING WH COMMENTS | | | |
| C | ECOLOGY MITIAGTION ADDED | 22/06/23 | OR |
| B | AMEND PORCHES TO BE PITCHED + REMOVED BIN STORE | 12/06/23 | OR |
| A | CHANGES FOLLOWING NEW DQR AND COMMENTS FROM WH | 03/03/23 | IO |

| REV | DESCRIPTION | DATE | BY |
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PROJECT
PENYRHWYLFA, HARLECH
for WILLIAMS HOMES
(BALA)

DRAWING TITLE
2P1B APARTMENT
ELEVATIONS

| | | | |
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| SCALE | DATE | DRAWN | CHECKED |
| As @A3 | 14/11/22 | GT | SV |

DRAWING STATUS
PRELIMINARY

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| C1094 | 061 | E |

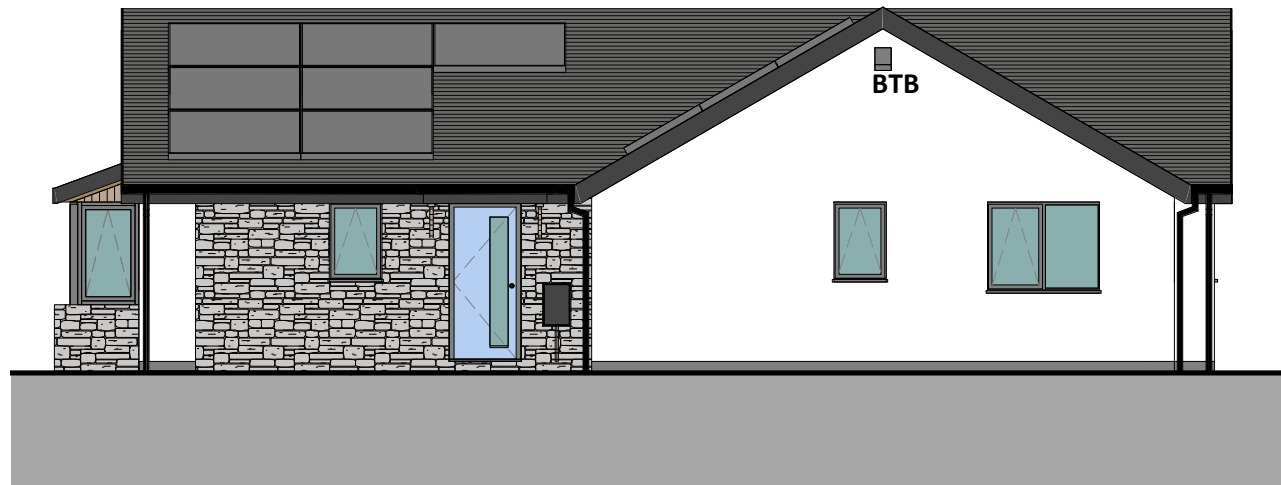


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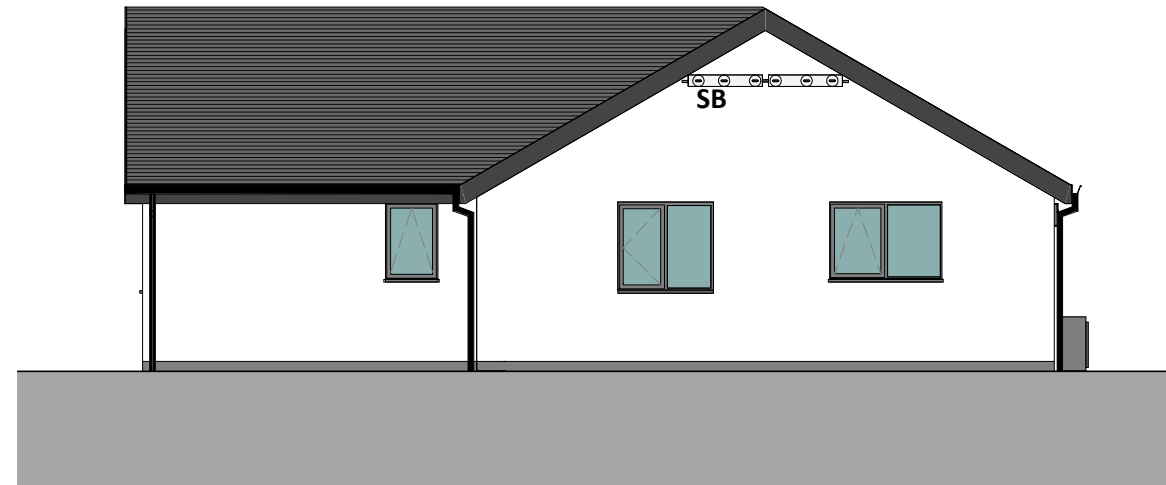
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A3



FRONT ELEVATION








SCALE: 1 : 100



SIDE ELEVATION

SCALE: 1 : 100

MATERIAL KEY

-  NATURAL SLATE / SLIM CONCRETE TILES
SUBJECT TO APPROVAL
-  RENDER - OFF WHITE
-  NATURAL TIMBER CLADDING (VERTICAL)
-  STONE
-  GREY ENGINEERING BRICK
-  WINDOWS AND DOORS - UPVC GRAPHITE
-  FASCIAS, SOFFITS AND RWG'S - UPVC

- BB** - BIRD BOX
- BTB** - BAT BOX
- SB** - SWIFT BOX

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| D | UPDATED MATERIAL KEY | 14/07/23 | OR |
| C | ELEVATION CHANGES FOLLOWING WH COMMENTS | 12/07/23 | OR |
| B | ECOLOGY MITIGATION ADDED | 22/06/23 | OR |
| A | CHANGES FOLLOWING NEW DQR AND COMMENTS FROM WH | 03/03/23 | IO |

| REV | DESCRIPTION | DATE | BY |
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PROJECT
PENYRHWYLFA, HARLECH
for WILLIAMS HOMES
(BALA)

DRAWING TITLE
4B SL WC BUNGALOW -
PROPOSED ELEVATIONS

SCALE As @A3 | DATE 14/11/22 | DRAWN GT | CHECKED SV

DRAWING STATUS PRELIMINARY

JOB No C1094 | DRAWING No 066 | REVISION D

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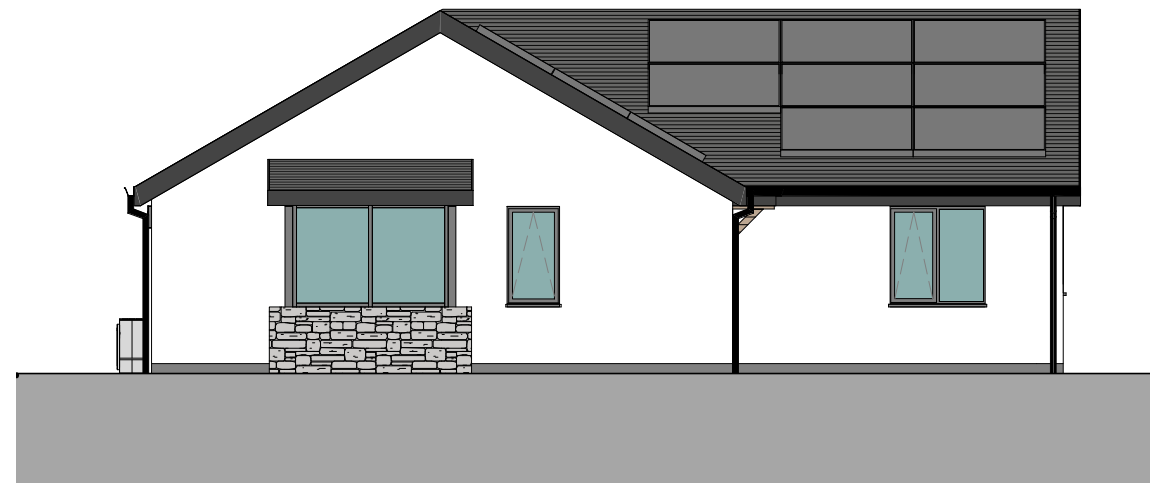
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A3



REAR ELEVATION

SCALE: 1 : 100



SIDE ELEVATION

SCALE: 1 : 100

ITEM NO. 5

| | |
|------------------|--|
| MEETING | Planning & Access Committee |
| DATE | September 6 th 2023 |
| TITLE | Planning Compliance Cases |
| REPORT BY | Director of Planning & Land Management |
| PURPOSE | To remove the reporting of 'live' enforcement cases from the Planning & Access Committee |

1. Introduction

- Members will be aware that the National Park Authority have historically provide a list of 'live' planning compliance cases, in the form of a list of cases with very simple information relating to each case. The cases in this list are all delegated matters, which means there is no requirement for a decision from the Planning Committee to progress them – and officers have the delegated authority to progress them.
- I don't consider the way this list is currently used at each Committee is the most efficient use of limited resources and wish to propose an alternative.

4. Current Practice

- At present, the officers prepare a list of compliance cases to each Planning Committee, which includes very basic information on each case. This basic information usually omits the complicated nature and nuance of each individual case. As committee papers usually must be completed 3-4 weeks prior to the actual committee date, this leaves a very small window to update the entire list from the preceding committee. Members will be aware that this part of the planning service has been under capacity in recent years. In the past it has had 3 full time planning officers, whereas more recently this has been down to 0.6 full time equivalent (FTE). This is partly down to austerity cuts, but also due to sickness, maternity leave and recruitment challenges.
- However, I'm pleased to say we are now crucially rebuilding capacity in this section, and my hope is that we will have 3 FTE in the near future. However, despite this rebuilding of capacity, I don't consider that current practice of taking the full list of compliance cases is an efficient use of both Officer and Member time.

7. Practice Elsewhere

8. As part of the preparation for this Committee Report, I enquired how the 6 North Wales Councils (Ynys Mon, Gwynedd, Conwy, Denbighshire, Wrexham, and Flintshire) handled this information at committee meetings. None of them provided their 'live' enforcement list to the committee, making Eryri an outlier in how this information is used at planning committee. As it was generally considered to be a delegated matter, the other Councils did not appear to be a need for it to be presented to committee meetings.

9. Future Proposals

10. Whilst we plan to remove the 'live' list of enforcement cases from every Planning Committee meeting, we would still wish to have Member input on the performance of this section (as well as other parts of the Service).
11. In this regard I propose to take an annual paper on the overall performance of the service to the Planning Committee for discussion. I would like the discussion to follow the 'financial year' (April-March), and the earliest committee this could be done at is the June Planning Committee. This paper would allow us to assess in depth some aspects of the service – and this could of course include the compliance case load and the progress made on these cases. We could present the 'live' list of compliance cases (possibly in a different format to the one we have historically used) at such a meeting. As we have missed this year's June Committee to do this, I propose to take an interim paper to December committee highlighting our performance for the 1st 6 months of this year (Apr-Sept). Again, this paper would include progress made on the compliance case load.
12. In addition, Members can always contact officers at any time should they have any enquiries about any specific compliance cases that they wish to discuss.

13. Conclusion

14. Officers propose to remove the compliance case load from the regular Planning Committee papers, and instead have a more in-depth assessment of performance at the end of the financial year (June Committee). As this was not done in June this year, we propose to take an interim paper on planning performance to the December Committee, which will include an assessment of the first 6 months of the year (April- Sept). These papers can include the progress we are making on compliance cases.

15. Recommendation:

16. For Members to note the content of the report.



PLANNING AND ACCESS COMMITTEE
06 SEPTEMBER 2023

SECTION 106 AGREEMENTS

**SNOWDONIA NATIONAL PARK AUTHORITY
PLANNING AND ACCESS COMMITTEE, 06 SEPTEMBER 2023**

SECTION 106 AGREEMENTS

| Rhif | Application No. | Date application was received | Location | Development | Present Position |
|-------------|------------------------|--------------------------------------|---|--|--|
| 1. | NP2/16/451B | 18/12/2022 | Land adjacent to Pen-y-Bryn, Penmorfa. LL49 9SB | Construction of a single two storey affordable, local occupancy dwelling, formation of new vehicular access and associated landscaping | Draft with applicant for consideration |
| 2. | NP4/11/337D | 23/07/2022 | Hendre Farm, Betws y Coed, LL24 0BN | Construction of new affordable dwelling and installation of associated foul water disposal | Awaiting relevant details from applicant to commence drafting. |
| 3. | NP5/55/L140E | 03/06/2021 | Capel Bethlehem, Brynchrug. LL36 9PW | Change of use of chapel to form one 1 bedroomed and one 5 bedroomed dwelling | Draft sent to applicant. |
| 4. | NP5/65/L302D | 25/08/2020 | Wern y Pistyll, Bontddu. LL40 2UP | Conversion and extension of barn to dwelling including installation of septic tank, retrospective consent for access track to building and engineering works to create hardstanding / parking area around the building, temporary siting of static caravan and construction of compensatory bat roost. | Awaiting solicitor details from the applicant. Reminder sent 11.01.2023 |
| 5. | NP5/72/25H | 22/02/22 | Gwern-y-Genau, Arenig, Bala. | Conversion of outdoor pursuits centre into dwelling | Waiting Land Registry details from applicant |
| 6. | NP5/75/68B | 15/09/21 | Land opposite Maesteg, Pennal. SY20 9DL | Erection of five affordable dwellings together with associated access, parking and landscaping | With Legal drafting agreement |

Number of applications on committee list 28 June = 6

**APPLICATIONS SUBJECT TO A SECTION 106 AGREEMENT AND WHICH HAVE BEEN COMPLETED SINCE
PLANNING & ACCESS COMMITTEE
28 JUNE 2023**

| Application No. | Location | Development |
|------------------------|-----------------|--------------------|
| | | |
| | | |

**APPLICATIONS SUBJECT TO A SECTION 106 AGREEMENT WHICH HAVE BEEN REFUSED, WITHDRAWN, OR
DISPOSED, OR WHERE AN AGREEMENT IS NO LONGER NECESSARY SINCE PLANNING & ACCESS
COMMITTEE 28 JUNE 2023**

| Application No. | Location | Development |
|------------------------|-----------------|--------------------|
| | | |



PLANNING AND ACCESS COMMITTEE

06 SEPTEMBER 2023

**OUTSTANDING APPLICATIONS
WHERE MORE THAN 13 WEEKS HAVE
ELAPSED**

SNOWDONIA NATIONAL PARK AUTHORITY

PLANNING AND ACCESS COMMITTEE 06 SEPTEMBER 2023 OUTSTANDING APPLICATIONS WHERE MORE THAN 13 WEEKS HAVE ELAPSED

In Discussion with Agent / Applicant

| | | | |
|-------------|----------|---|---|
| NP5/54/459A | 03/05/23 | Cefn Ceunant Isaf Forest, Brithdir. | Hydro-electric scheme (34kw) including construction of power house, intake weir and 3 girder bridges, Cefn Ceunant Isaf Forest, Brithdir. |
| NP5/72/218F | 22/03/23 | Ty'n Cornel Holiday Park, Fronoch. LL23 7NU | Part change of use for the restructured layout of 23 existing touring caravan and camping pitches. |
| NP5/78/91B | 04/01/22 | Wern Gron, Trawsfynydd. LL41 4UN | Conversion and change of use of barn to form an affordable dwelling and a short term holiday letting unit including installation of septic tank and associated works. |

Awaiting Amended Plans

| | | | |
|--------------|----------|---|---|
| NP3/12/126C | 20/09/22 | Bron Fedw Uchaf, Rhyd Ddu. LL54 7YS | Conversion and change of use of rural outbuildings to 3 holiday letting units, erection of bat barn, alterations to existing vehicular access and associated works. |
| NP5/59/802A | 15/12/22 | Pen y Brisgyll, Sun Street, Llan Ffestiniog, LL4 14NE | Erection of agricultural and domestic storage shed (Revised application). |
| NP5/69/L113P | 07/11/22 | Llanfendigaid, Rhoslefain. LL36 9LS | Conversion of laundry and workshop to form 2 holiday units and installation of rooflights on front and rear roof. |
| NP5/73/424A | 28/09/20 | Cilderi, Tan y Bwlch. Maentwrog. LL41 3YU | Erection of double garage, retrospective application for extension to curtilage, retention of stone terracing and engineering works. |

Awaiting Ecology Information

| | | | |
|------------|----------|--|--|
| NP5/68/235 | 03/11/22 | Land adjoining Garreg Frech, Llanfrothen. LL48 6BZ | Erection of 8 dwellings and formation of new vehicular and pedestrian access |
| NP5/77/347 | 18/01/23 | Land near Ty Mawr, Talsarnau. LL47 6UF | Construction of affordable dwelling, formation of curtilage, extend access track, and alterations to existing vehicular access |

Awaiting Details from Agent / Applicant

| | | | |
|------------|----------|--|--|
| NP5/54/585 | 21/12/22 | Land at Ty Newydd-y-Mynydd, Rhydymain. | Installation of a 50m high lattice tower supporting 6 antennas, 4 transmission dishes, and installation of 2 ground based equipment cabinets, 1 meter cabinet, and ancillary development including the siting of a generator and associated fuel tank, formation of a hardstanding area, formation of new access track, and construction of a 1.1m high fenced compound. |
|------------|----------|--|--|

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|--------------|----------|---|---|
| NP5/57/1176 | 14/04/23 | Canolfan Dolfeurig, Baker Street, Dolgellau. LL40 1EL | Demolish existing building and redundant outbuildings and the construction of a new building. Hard and soft landscaping including new car parking, fenced storage compound with storage containers and external canopies and cycle shelter. Erection of new garden outbuildings including sheds and polytunnels,. |
| NP5/58/629 | 29/01/20 | Land between Plas Meini & Swyn y Mor, Dyffryn Ardudwy. LL42 2BH | Outline permission for the erection of 2 open market and 2 affordable dwellings. integral garages and formation of new vehicular access on to the A496. |
| NP5/58/363H | 04/10/22 | Nant Eos, Dyffryn Ardudwy. LL44 2HX | Conversion to Open Market Dwelling unit and installation of sewage treatment plant (Repeat application), |
| NP5/59/511M | 03/03/23 | Land to rear of Penrhiw, Llan Ffestiniog. LL41 4PS | Variation of Condition No.2 of Planning Consent NP5/59/511G dated 24/01/2019 for amended site layout and to remove garage on Plot 15, garage space to be substituted on Plots 5 & 16 to be domestic floor area to create forth bedroom, and internal alterations to alter units from being all 3 bedrooms to a mix of 2, 3 and 4 bed units. |
| NP5/61/T558D | 19/04/21 | Former Tabernacl Chapel, High Street, Harlech. LL46 2YB | Conversion of former car showroom & basement car parts shop to convenience store on ground and basement, creation of 2 flats on first floor (Open market) together with the removal of existing unauthorised UPVC windows and replace with timber slimline double-glazed windows. |
| NP5/61/580M | 10/11/22 | Land to rear of Nant-y-Mynydd, Hwylfa'r Nant, Harlech. | Erection of an affordable detached dormer bungalow |
| NP5/62/T143B | 05/10/22 | Tanws Wern Gron, Llanbedr. LL45 2PH | Restore, extend and convert old mill into dwelling, formation of curtilage, and installation of underground septic tank |
| NP5/68/100F | 08/08/22 | Creua, Llanfrothen. LL48 6SH | Erection of single storey extension to barn, installation of 2 rooflights on existing barn roof, construction of 4 sleeping cabins and formation of access paths, and installation of underground sewage package treatment plant, |
| NP5/70/171 | 16/01/23 | Land at Maes Afallen, Rhosygwaliau, LL23 7EY | Siting of 2 holiday pods and installation of package treatment plant, |
| NP5/73/287P | 06/02/23 | Decommissioning Site, Trawsfynydd. LL41 4DT | Part retention / part completion of replacement sewage treatment plant, together with associated works, |
| NP5/74/181A | 05/10/22 | Barn at Bryn Cleifion Hall, Mallwyd, SY20 9HW | Conversion of barn to residential and installation of septic tank |

Re-Consultation

| | | | |
|------------|----------|--|---|
| NP3/21/T78 | 20/10/22 | Old Barn, Ty'n-y-Maes, Nant Ffrancon, Bethesda. LL57 3LX | Use of semi-derelict outbuilding to house biomass store and boiler. |
| NP5/64/190 | 12/10/22 | Land at Ffridd Bryn Coch, Llanegryn. LL36 9UG | Installation of a 20m high lattice tower supporting 6 no. antennas, 4 no. transmission dishes, 2 no. equipment cabinets, 1 no. meter cabinet and ancillary development thereto including a generator and associated fuel tank, a hardstanding area, a new access track and a 2.4m high fenced compound with gabion wall |
| NP5/70/166 | 25/02/22 | Ysgubor Esgeiriau, Rhosygwaliau. LL23 7ET | Conversion and change of use of redundant farm building, access track and installation of package treatment plant for use as short term holiday accommodation as part of farm diversification project, |

Awaiting Ecological Comments

| | | | |
|-------------|----------|--|---|
| NP5/57/1174 | 27/10/21 | Land adjoining Penmaen Ucha, Penmaenpool. LL40 1YD | Construction of rural enterprise dwelling, garage, new driveway and vehicle access. |
| NP5/70/83E | 23/12/22 | Ffynnon Gower, Llangower. LL23 7DA | Construction of a agricultural shed, |
| NP5/71/497 | 14/03/23 | 27 Maes y Pandy, Llanuwchllyn. LL23 7TR | Construction of single storey rear extension, |

Awaiting HRA Appropriate Assessment

| | | | |
|-------------|----------|---|--|
| NP4/12/214C | 20/02/23 | Llyn Dulyn Reservoir, Tal-y-Bont. | Works in association with proposed pipe replacement including new culvert head and scour discharge area, reinforced concrete wall, siting of 10ft shipping container and temporary construction compound, rock mesh and laydown area, |
| NP4/12/235 | 20/02/23 | Land near Rowlyn Uchaf, Tal-y-Bont. LL32 8SH | Temporary construction and laydown area in association with engineering works at Llyn Cwm Dulyn, |
| NP5/62/434 | 14/11/22 | Ty Capel Moriah, Llanbedr, LL45 2LE | Alterations to existing chapel house including construction of new link to associated vestry, installation of rooflights to vestry roof, and change of use of vestry and garden area to residential, |
| NP5/65/274H | 24/03/22 | Maes Hyfryd, Llanelltyd. LL40 2HF | Construction of a steel framed building on existing hardstanding for the purpose of housing agricultural machinery, animal feed and fertiliser |
| NP5/65/367A | 22/03/22 | Dolfawr, Llanelltyd. LL40 2HD | Construction of single storey building for use as commercial cattery. |
| NP5/69/113N | 07/11/22 | Llanfendigaid, Rhoslefain. LL36 9LS | Change of use of old mill into office and storage space |
| NP5/70/71E | 12/04/23 | Felindre, Llanuwchllyn. LL23 7DD | Engineering works for construction of new manège, and extension to existing agricultural building to accommodate associated items. |
| NP5/71/495 | 14/02/23 | Land near Cefn Yr Odyn, Llanuwchllyn. LL23 7TL | Construction of a detached two storey dwelling |
| NP5/71/496 | 10/02/23 | Afonfechan Farm, Cynllwyd Isaf, Bala, LL23 7DE | Construction of agricultural building to store miden (cattle and sheep excrement), forage and fodder |
| NP5/72/24A | 10/02/23 | Garth Nodol, Llidiardau, LL23 7SG | Demolition of an existing substandard dwelling and the construction of a replacement dwelling |
| NP5/73/423B | 29/04/22 | Y Felin Lifio, Tan y Bwlch, Maentwrog. LL41 3YU | Conversion of outbuilding into annex accommodation |
| NP5/74/505 | 05/09/22 | Bryn Uchaf, Llanymawddwy. SY20 9AH | Construction of agricultural building along with roof over manure store and extension to manure store |
| NP5/77/115J | 28/11/22 | Cynefin, Llandecwyn, LL47 6YR | Construction of single storey kitchen/dining room extension to side/rear of cottage, |
| NP5/78/19E | 07/12/22 | Hendre, Cwm Prysor, Trawsfynydd, LL41 4TR | Construction of agricultural building for indoor manure storage on the site of an existing slurry pit |
| NP5/78/482B | 27/06/22 | Y Goppa, Trawsfynydd. LL41 4TN. | Erection of steel framed shed for agricultural storage purposes, |
| NP5/78/572 | 06/07/22 | Land at Mynydd Bach, Trawsfynydd. LL41 4TR | Installation of 30m high lattice tower supporting 9 no. antennas, 6 no. transmission dishes, 6 no. equipment cabinets, 1 no. meter cabinet, together the siting of a generator and associated fuel tank, formation of a hardstanding area, construction of a gabion wall, and formation of a fenced compound |

Awaiting Flood Consequences Assessment

| | | | |
|------------|----------|----------------------------------|---|
| NP5/61/647 | 05/12/22 | Ty'n y Gwater, Harlech. LL46 2UW | Demolition of existing buildings and construction of a new detached two storey rural enterprise dwelling, |
|------------|----------|----------------------------------|---|

Awaiting Natural Resources Wales landscape comments

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|-------------|----------|---|--|
| NP2/11/52L | 04/04/23 | Pen y Pass Car Park, Nant Gwynant. LL55 4NU | Installation of 15m monopole telecoms mast with associated antennas, ground based apparatus and ancillary infrastructure. |
| NP2/11/715F | 09/03/23 | Llyn Gwynant Campsite, Nant Gwynant. LL55 4NW | Extension to existing telecommunications mast to increase height by 5 meters, relocate existing 3 antennas and 2 dishes, installation of 6 new antennas and 4 new ground based cabinets, and other ancillary apparatus within facility compound. |

Awaiting Welsh Government Highways comments

| | | | |
|-------------|----------|-----------------------------------|--|
| NP4/13/155G | 26/04/23 | Bryn Tyrch, Capel Curig. LL24 0EL | Conversion and change of use of outbuilding, bunkhouse and toilet/shower block into 6 short term self-contained holiday accommodation units together with formation of parking area and associated outdoor facilities. |
|-------------|----------|-----------------------------------|--|

S106 being considered by applicant

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|-------------|----------|--|--|
| NP4/31/112B | 17/03/23 | Gwern Hywel Uchaf, Ysbyty Ifan. LL24 0PD | Demolition of outbuilding and erection of rural enterprise dwelling, creation of new access and associated works |
|-------------|----------|--|--|

Total applications on list = 48

Total applications on list Committee 28 June = 56



PLANNING AND ACCESS COMMITTEE
06 SEPTEMBER 2023

DELEGATED DECISIONS

SNOWDONIA NATIONAL PARK AUTHORITY

PLANNING AND ACCESS COMMITTEE 06 SEPTEMBER 2023

DELEGATED DECISIONS

Applications Approved

| | Application No. | Proposed | Location | Decision Date | Case Officer |
|-----|------------------------|---|--|----------------------|---------------------|
| 1. | NP2/14/16A | Construction of a greenhouse | Pengwastadnant, Nasareth. LL54 6DT | 20/07/23 | Mr Richard Thomas |
| 2. | NP2/16/468 | Installation of private sewage treatment plant | Beudy'r Garth, Cwmystradllyn, Garndolbenmaen. LL51 9BQ | 20/07/23 | Mr Richard Thomas |
| 3. | NP3/15/180L | Installation of a 5,000 litre diesel tank and extended timber fence and gateway | Land at upper car park, Snowdonia Mountain Railway, Llanberis. | 28/07/23 | Mr Richard Thomas |
| 4. | NP4/11/10U | Outline application for the erection of single storey 3 bedroomed dwellinghouse and garage | Plot 2, Parc Trawsafon, Betws y Coed. LL24 0AF | 15/06/23 | Mr Richard Thomas |
| 5. | NP4/11/213D | Replacement windows to shop and first floor | Rohan Shop (formerly Riverside & Ancaster Hotel), Holyhead Road, Betws y Coed. LL24 0BN | 21/07/23 | Mr Richard Thomas |
| 6. | NP4/12/175B | Discharge Condition No.4 (stonework panel) attached to Planning Consent NP4/12/175A dated 07/04/2005 | Yr Hen Felin, Tal-y-Bont, Conwy, LL32 8SD | 27/06/23 | Mr Richard Thomas |
| 7. | NP4/13/T134D | Non-material amendments to Planning Consent NP4/13/T134C dated 15/08/2022 to include additional roof window and amendment to balcony. | Drws Y Coed, Capel Curig, LL24 0EE | 27/06/23 | Mr Richard Thomas |
| 8. | NP4/16/237 | Demolition of existing single storey lean-to offshoot and construction of single storey side extension | Bryn Teg, Dolwyddelan. LL25 0EQ | 27/06/23 | Mr Richard Thomas |
| 9. | NP4/16/411A | Demolition of existing garage and construction of a replacement garage | 9 Maes y Llan, Dolwyddelan. LL25 0SQ | 18/07/23 | Mr Richard Thomas |
| 10. | NP4/26/195D | Retrospective application for the siting of a single of visitor accommodation pod | Llwynau, Capel Garmon, LL26 0RR | 12/07/23 | Mr. Dafydd Thomas |

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|-----|-----------------|--|---|----------|-------------------|
| 11. | NP4/26/307B | Proposed slurry store within existing agricultural shed and construction of roof over existing feeding yard | Tai Duon, Padog, Betws y Coed. LL24 0HL | 28/07/23 | Mr Richard Thomas |
| 12. | NP4/30/163F | Demolition of annex and construction of dwelling, creation of new vehicular access and associated works | Glan y Coed Lodge, Dwygyfylchi. LL34 6UE | 22/06/23 | Mr Richard Thomas |
| 13. | NP4/32/LUL155 C | Certificate of Lawful Use (Proposed) to renew the roof with matching slates | Capel Ebeneser, Trefriw. | 18/07/23 | Mr Richard Thomas |
| 14. | NP4/32/T245 | Construction of porch to front elevation. | 1 Bryn Crafnant, Trefriw, LL27 0NX | 20/07/23 | Mr Richard Thomas |
| 15. | NP5/50/748 | Construction of a two-storey detached dwelling | Land at Brîg-y-Don, Aberdyfi. LL35 0NH | 04/08/23 | Mrs. Iona Roberts |
| 16. | NP5/50/752 | Rear terrace from the second storey to create access to garden | 19 Penhelyg Road, Aberdyfi. LL35 0PT | 31/07/23 | Mrs. Iona Roberts |
| 17. | NP5/50/L443D | Discharge Condition No.3 (details of external finishes) attached to Planning Consent NP5/50/L443 dated 21/09/2020 | Balkan Hill House, Aberdyfi. LL35 0LB | 11/07/23 | Mrs. Iona Roberts |
| 18. | NP5/52/391 | Demolish conservatory and erect single storey side extension and installation of two rooflights at the front | Iscoed, Arthog. LL39 1YU | 06/07/23 | Mrs. Iona Roberts |
| 19. | NP5/52/E387D | Discharge Condition No.7 (Landscape and Ecological Management Plan) of DBEIS decision reference 12.04.09.05-1450U dated 24.03.2022 relating to consultation NP5/52/E387B | Abergwynant, Penmaenpool. | 04/08/23 | Mrs. Iona Roberts |
| 20. | NP5/53/37K | Siting of catering van within the rear yard | Land to rear of The Goat, High Street, Bala. LL23 7AF | 19/06/23 | Mr. Dafydd Thomas |
| 21. | NP5/53/ADL41V | Advertisement Consent for replacement internally illuminated ATM signage | HSBC, 54-56 High Street, Bala, LL23 7ND | 13/06/23 | Mr. Dafydd Thomas |
| 22. | NP5/53/L41U | Replace existing ATM machine and install CCTV camera | HSBC, 54-56 High Street, Bala. LL23 7ND | 13/06/23 | Mr. Dafydd Thomas |
| 23. | NP5/54/465 | Installation of 12 solar panels (4.92kw) on south elevation of roof | 35 Bryniau, Brithdir, LL40 2TY | 04/08/23 | Mr. Dafydd Thomas |
| 24. | NP5/57/133B | Construction of dwelling and detached garage (Revised design to that approved under extant reserved details permission NP5/57/PIAW133A) | Land at Hirnant, Ffordd Pencefn, Dolgellau. LL40 2YP | 26/06/23 | Mrs. Iona Roberts |

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|-----|---------------|---|---|----------|----------------------|
| 25. | NP5/57/558D | Amendment to NP5/57/558B to include alterations to roof including minor increase in height, installation of 4 rooflights and bat house (mitigation). | Frongoch Old Power House, Plas y Brithdir, Dolgellau. LL40 2PW | 28/06/23 | Mrs. Iona Roberts |
| 26. | NP5/57/911F | Non material amendment to Planning Consent NP5/57/911D dated 11/05/2020 to amend external cladding of chimney from stone to render | The Old Gaol, Bodlondeb, Dolgellau, LL40 1SN | 18/07/23 | Mrs. Iona Roberts |
| 27. | NP5/57/LB336F | Installation of two air source heat pump units and associated services | W.D. Wilkins, Glyndwr Buildings, Bridge Street, Dolgellau. LL40 1AS | 21/07/23 | Ms Eleanor Carpenter |
| 28. | NP5/58/655 | Erection of two storey side extension and new front porch | 9 Glanwerydd, Dyffryn Ardudwy. LL44 2BW | 03/08/23 | Mr Aled Lloyd |
| 29. | NP5/59/177Q | Proposed battery store building and extension to existing building to form excitation transformer building | Ffestiniog Power Station, Tanygrisiau. LL41 3TP | 06/07/23 | Mr Aled Lloyd |
| 30. | NP5/59/177R | Non material amendment to Planning Consent NP5/59/177Q dated 06/07/2023 for the omission of 3 no. windows on the building's northern elevation; and the addition of 4 no. louvered panels for natural ventilation, 2 no. on the building's western elevation and 2 no. on the building's eastern elevation | Ffestiniog Power Station, Tanygrisiau. LL41 3TP | 01/08/23 | Mr Aled Lloyd |
| 31. | NP5/61/100Q | Conversion of existing professional golf shop and office to 9 bed dormitory accommodation, relocate the professional golf shop into existing trolley store, drying room and part of changing room erection of glazed canopy and installation of 2 rooflights on the north elevation | Royal St. David's Golf Club, Harlech. LL46 2UB | 17/07/23 | Mr Aled Lloyd |
| 32. | NP5/61/637D | Variation of Condition 2 (approved plans) and Condition 7 (biodiversity enhancements) of planning permission NP5/61/637 to allow for alterations to the ground level and positioning of dwelling, alterations to land levels to the rear of dwelling to facilitate associated drainage systems, and submission of details on biodiversity enhancements. | Beaumont, Old Llanfair Road, Harlech. LL46 2SS | 31/07/23 | Mrs. Alys Tatum |

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|-----|--------------|---|--|----------|-------------------|
| 33. | NP5/61/657A | Erection of two storey rear extension, removal of existing chimney stack, new dormers and first floor balcony on front elevation and front patio area. Engineering works to create new parking bay and retaining wall | Aelfor, Ffordd Isaf, Harlech. LL46 2PR | 01/08/23 | Mr Aled Lloyd |
| 34. | NP5/61/L189E | Retrospective application for the conversion of derelict farmhouse to holiday let accommodation and creation of access track. | Cae Du Farm, Harlech, LL46 2TT | 19/07/23 | Mr. Dafydd Thomas |
| 35. | NP5/62/116E | Remove existing balcony enclosure wall and replace with black, steel railings and copings | Cysgod Y Coed, Llanbedr, LL45 2LH | 31/07/23 | Mr Aled Lloyd |
| 36. | NP5/62/94B | Demolition of flat roof extension and construction of single storey gable roof extension | Crossing Cottage, Llanbedr, LL45 2DZ | 11/07/23 | Mrs. Iona Roberts |
| 37. | NP5/63/237D | Telecommunications installation upgrade to existing mast including antenna, support pole and associated works | Land near Cil Talgarth, Frongoch. LL23 7NU | 26/06/23 | Mr. Dafydd Thomas |
| 38. | NP5/65/372 | Single storey front extension including construction of short length of boundary stone wall with gate access | 4 Cysgod y Celyn, Llanelltyd. LL40 2TA | 14/07/23 | Mr. Dafydd Thomas |
| 39. | NP5/67/80H | Vary Condition No.1 & 2 of Planning Consent NP5/67/80G to retain telecommunication equipment for an additional 10 years | Existing Airwave Site NWA125, Tan y Coed Farm, Abergynolwyn. | 28/06/23 | Mrs. Iona Roberts |
| 40. | NP5/69/415 | Construction of agricultural building | Coed Mawr, Llwyngwriol. LL37 2QH | 16/06/23 | Ms. Sophie Berry |
| 41. | NP5/71/476B | Construction of a conservatory to the side of the dwelling | Lloches Don, Llanuwchllyn. LL23 7UE | 04/08/23 | Mr. Dafydd Thomas |
| 42. | NP5/71/53E | Replacement of outbuilding to form workshop / garage | Ty'n-y-Llechwedd, Llanuwchllyn. LL23 7ST | 04/08/23 | Mr. Dafydd Thomas |
| 43. | NP5/72/134P | Non material amendment to Planning Application NP5/72/134L dated 17/03/2021 to re-locate living room bifold door/sliding door from the rear elevation to the NorthEast Elevation | Plot 4, Maes Gwyn, Rhyduchaf. LL23 7SD | 19/06/23 | Mr. Dafydd Thomas |
| 44. | NP5/72/65H | Change of use of improvement grassland and redundant buildings to extend area of existing caravan park, relocation of nine pitches including associated roads, paths and landscaping | Plas Moel y Garnedd Caravan Park, Llanycil. LL23 7YG | 26/06/23 | Mr. Dafydd Thomas |

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|-----|---------------|---|--|----------|----------------------|
| 45. | NP5/73/287Q | Drilling of 17no. boreholes for investigating and monitoring of groundwater | Decommissioning Site, Trawsfynydd. LL41 4DT | 31/07/23 | Mr Aled Lloyd |
| 46. | NP5/73/4S | Installation of a water booster tanks and associated pumps enclosed with 1.8m palisade high fencing | Caravan Club Site, Coed y Llwyn, Gellilydan. LL41 4EN | 31/07/23 | Mr Aled Lloyd |
| 47. | NP5/74/LU506A | The siting of a single static caravan on the land for use as annex accommodation ancillary to the main dwellinghouse (Llwyn Glas). | The dwellinghouse known as Llwyn Glas is outlined in green on the attached plan. | 30/06/23 | Mrs. Iona Roberts |
| 48. | NP5/75/264 | Widen, resurface and extend existing access ramp from roadside layby to forest block. Construct track of approximately 100m in length including turnaround at end of track. | Layby on A493 to east of Pennal. | 30/06/23 | Ms. Sophie Berry |
| 49. | NP5/77/LB228A | New toilet, upgrade drainage system, and installation of new sewage treatment plant | Walled Gardens, Glyn Cywarch, Talsarnau. LL47 6TE | 29/06/23 | Ms Eleanor Carpenter |
| 50. | NP5/77/LB228B | Listed Building Consent for new toilet, upgrade drainage system, and installation of new sewage treatment plant | Walled Gardens, Glyn Cywarch, Talsarnau. LL47 6TE | 29/06/23 | Ms Eleanor Carpenter |
| 51. | NP5/77/LB65B | Listed Building Consent for proposed re-roofing of Soar Chapel (Grade II Listed) together with construction of log store as part of ecological mitigation measures | Capel Soar, Soar, LL47 6UT | 19/07/23 | Ms Eleanor Carpenter |
| 52. | NP5/78/571 | Refurbishment and extension to existing decking | Cabin 149, Trawsfynydd Holiday Village, Bronaber. LL41 4YB | 14/07/23 | Mr. Dafydd Thomas |
| 53. | NP5/78/580 | Installation of decking and balustrade and the replacement of windows to central French doors and new windows | Cabin 83, Trawsfynydd Holiday Village, Bronaber. LL41 4YB | 19/06/23 | Mr. Dafydd Thomas |
| 54. | NP5/78/584 | Construction of new timber front decking | Cabin 220, Trawsfynydd Holiday Village, Bronaber. LL41 4YB | 18/07/23 | Mr. Dafydd Thomas |

Applications Refused

| | App No. | Proposed | Location | Reason for Refusal | Case Officer |
|----|-------------|---|---|--|-------------------|
| 1. | NP4/32/366 | Erection of two storey 4 bedroomed detached dwellinghouse with storeroom, plantroom and garage undercroft | Land adjacent to Bryn Awelon, Top Road, Trefriw. LL27 0JX | <p>03/08/23</p> <p>By reason of the application presenting a new dwelling of inappropriate design and form which if approved would constitute an incongruous feature to the detriment of the character of the environment and street scene which it is located this application is in conflict with ELDP policies DP 1.</p> <p>By reason of inappropriate features proposed on the new dwelling it is considered that a loss of amenity would be experienced to the neighbouring dwelling (Bryn Awelon) and harm to the Dark Skies Reserve designation would result. As such this application is considered to be in conflict with ELDP policy DP 1.</p> | Mr Richard Thomas |
| 2. | NP5/54/136E | Construction of a single storey pitched roof extension to the North elevation | Gwel y Garn, Llanfachreth. LL40 2EH | <p>16/07/23</p> <p>By reason of the form, design and material of the proposal, the proposed extension fails to comply with the criteria outlined in Development Policy 15 and Development Policy 6 of the ELDP and would have a detrimental effect on the character and setting of the existing dwelling as well as on its wider surroundings.</p> | Mr. Dafydd Thomas |
| 3. | NP5/54/255B | Demolish existing wood and zinc sheets agricultural building and construct new steel framed agricultural building with cladding and metal roof sheets | Llwyn-y-Sarn, Rhydymain. LL40 2BU | <p>03/08/23</p> <p>By reason of insufficient information of an ecological nature upon which a fully informed decision can be made, this application fails to comply with the criteria outlined in Development policy 1 and Strategic Policy D.</p> | Mr. Dafydd Thomas |

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| 4. | NP5/54/LB210 C | Conversion of three curtilage buildings to four cottages. Conversion of existing garage and wood store to a single bedroom cottage. The four-bay garage and loft over converted to a two-bedroom cottage. The existing residential apartments over stables converted to back-to-back two bedroom cottages and all associated works | Caerynwch, Brithdir. LL40 2RF | <p>21/06/23</p> <p>The proposed conversion of the outbuildings to four cottages to be used as self-catering holiday accommodation has not been sufficiently demonstrated to be part of a rural enterprise and is therefore contrary to Development Policy 9 – Conversion and Change of Use of Rural Buildings of the adopted Eryri Local Development Plan (February 2019) and adopted Supplementary Planning Guidance 8 ‘Visitor Accommodation’ (January 2020). Furthermore, insufficient detail has been provided to thoroughly assess the proposal against Criterion (ii), (iii) and (iv) of Development Policy 9 – Conversion and Change of Use of Rural Buildings.</p> <p>The proposal fails to satisfy the requirements of Policies A, Ff, 1, 6 and 7 of the Eryri Local Development Plan 2016-2031; the guidance set out in Planning Policy Wales 11 (February 2021), specifically paragraphs 6.1.10 to 6.1.13; and the guidance set out in Technical Advice Note 24 The Historic Environment, specifically paragraphs 5.9 to 5.27 which aim to ensure no significant harm to the special historic or architectural character of listed buildings and curtilage listed buildings. Furthermore, insufficient detail has been submitted to assess whether the materials and finishes to be used will be compatible with those of the original structures or whether the proposal will have a detrimental effect on the architectural integrity and character of the listed curtilage buildings or on the setting of</p> | Ms Eleanor Carpenter |
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| | | | | <p>the Grade II house known as Caerynwch.</p> <p>No detail has been submitted to assess potential effects on bats and where any effect will be sufficiently avoided or mitigated. The proposal is therefore contrary to criterion (v) Development Policy 1 – General Development Principles of the Adopted Eryri Local Development Plan (February 2019) and Strategic Policy D: Natural Environment which aims to ensure proposals do not adversely affect wider biodiversity resources within the National Park.</p> | |
| 5. | NP5/54/LB210 D | Listed Building Consent for conversion of three curtilage buildings associated with the principal Listed Building Caerynwch into four cottages. Existing Garage and wood store converted to a single bedroom, open plan kitchen /living room, wood burning stove with flue through roof on South gable elevation with new single storey bathroom part glazed extension and existing openings with timber glazed units extending full height on South and West Elevations. Four bay Coachhouse openings enclosed with timber framed glazed units extending full height and timber framed two storey extension to rear housing new stairs and | Caerynwch, Brithdir. LL40 2RF | <p>21/06/23</p> <p>The information submitted is inadequate and lacking in detail regarding the potential impact of the proposed works. As a result of the lack of information provided, the application presents a considerable risk to the fabric, character and appearance of the curtilage listed buildings, together with presenting a potential detrimental impact on the setting of the associated Grade II listed Caerynwch and on the relationship between the buildings. The proposal therefore fails to satisfy the requirements of Policies A, Ff, 1, 6 and 7 of the Eryri Local Development Plan 2016-2031; the guidance set out in Planning Policy Wales 11 (February 2021), specifically paragraphs 6.1.10 to 6.1.13; and the guidance set out in Technical Advice Note 24 The Historic Environment, specifically paragraphs 5.9 to 5.27.</p> | Ms Eleanor Carpenter |

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| | | access to 'en-suite' Alcove bedroom, part internal West wall taken down and new opening enclosed with glazed partition enclosing new bathroom. Existing residential units above stable block to be divided into two back-to-back cottages with open plan kitchen/ living room to ground floor with new stairs access to 'en-suite' bedroom, bathroom and second bedroom on first floor level. Glazed wood framed cover way to outside stairs access East elevation and all associated works | | | |
| 6. | NP5/58/112C | Construction of one treehouse holiday unit with associated access, parking, landscaping for the and installation of new package treatment plant | Meifod Isaf, Dyffryn Ardudwy. LL44 2DS | 01/08/23 By reason of the applicant failing to demonstrate that the proposal is located on a bone fide farm holding and provides for a scheme of farm diversification to supplement the income of a farm holding this application is in conflict with ELDP policies C, 20 and 29. By way of the proposal introducing a new large-scale, inappropriately designed development within the open countryside, it is considered to be an inappropriate form of development which fails to enhance or conserve the 'Special Qualities' of the Eryri National Park and will have a detrimental impact on the character of the wider landscape. | Mr Aled Lloyd |

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| | | | | Therefore, the proposal conflicts with Development Policy 1: General Development Principles, Development Policy 2: Development and the Landscape and Development Policy 29: Alternative Holiday Accommodation of the adopted Eryri Local Development Plan. | |
| 7. | NP5/61/608B | Conversion of barn to a one-bedroomed annexe accommodation together with the construction of an extension and installation of 4 rooflights (3 on front elevation and 1 on rear elevation), and installation of external flue (resubmission) | Foel, Harlech. LL46 2TR | 05/07/23 By reason of this application proposing the conversion and change of use of a rural building, which falls in the open countryside and outside any domestic curtilage, for its use as an annex it is in conflict with Eryri Local Development Plan Policies C and 14 and Supplementary Planning Guidance 11. By reason that no justification has been provided that the proposed annexe is ancillary to the property known as Foel in terms of usage, it is in conflict with Eryri Local Development Plan Policy 14 and Supplementary Planning Guidance 11. | Mr Aled Lloyd |
| 8. | NP5/71/499 | Removal of Condition 2 (Agricultural Worker Occupancy) attached to Planning Permission PEN.R/1246/P dated 19/07/1973 | Derwen Gam, Llanuwchllyn. LL23 7UN | 27/07/23 By reason of Insufficient evidence provided to justify the removal of condition 2 with the proposal therefore failing to comply with the criteria outlined in Development Policy 17 of the ELDP. | Mr. Dafydd Thomas |
| 9. | NP5/72/151C | Conversion of barn to holiday accommodation, formation of access road, and installation of package treatment plant | Cyffdy, Parc, Bala. LL23 7YU | 18/07/23 By reason the proposal failing to comply with the criteria outlined in Development Policy 9 of the ELDP and Supplementary Planning Guidance 8. | Mr. Dafydd Thomas |

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| | | | | By reason of insufficient information of an ecological nature upon which a fully informed decision can be made, this application fails to comply with the criteria outlined in Development Policy 1 and Strategic Policy D. | |
| 10. | NP5/73/26C | Change of use of land to external storage yard (Resubmission) | Utica, Gellilydan. LL41 4DU | 04/07/23 By reason of the applicant failing to supply required details as directed by the Welsh Government Highways Authority on which a fully informed decision can be made for this application, it is in conflict with criteria vii of Development Policy 1 of the Eryri Local Development Plan. | Mr Aled Lloyd |



Appeal Decision

by Iwan Lloyd BA BTP MRTPI

an Inspector appointed by the Welsh Ministers

Decision date: 07/08/2023

Appeal reference: CAS-02057-F4H7R1

Site address: Ty'n Ffridd, Nasareth, Caernarfon, Gwynedd LL54 6DS

- The appeal is made under section 195 of the Town and Country Planning Act 1990 as amended by the Planning and Compensation Act 1991 against a refusal to grant a certificate of lawful use or development (LDC).
 - The appeal is made by Mrs Marian Roberts against the decision of Snowdonia National Park Authority.
 - The application Ref NP2/14/LU15A, dated 9 August 2021, was refused by notice dated 7 March 2022.
 - The application was made under section 191(1)(a) of the Town and Country Planning Act 1990 as amended.
 - The use for which a certificate of lawful use or development is sought is “confirmed as lawful C3 dwelling house use”.
 - A site visit was made on 2 May 2023.
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Decision

1. The appeal is dismissed.

Procedural Matters

2. A revised plan was provided of the red line LDC site which encompasses the small rectangular building but excluding the larger building attached to it and situated to its rear. The red line site now only relates to the small rectangular building and does not include land around it. No response was provided by the Authority to this revision, and I do not consider there has been any injustice caused by it. The LDC appeal is considered on this basis.
3. The description of the use on the LDC application is “confirmed as lawful C3 dwelling house use”. Question 8 on the LDC application indicates that the appellant contends that this is an existing dwelling which has not been abandoned. The Authority has treated the application on the basis that Ty'n Ffridd has not been in continuous use as a dwelling for more than four years before the date of the application. This is not the basis of the LDC application and the question whether the dwelling use has been abandoned is the main determining issue.

Main Issue and the test of the balance of probability

4. The main issue in this case is whether the Authority's decision to refuse to issue a certificate on the grounds that the residential use of Ty'n Ffridd has been abandoned was well founded.
5. I have been referred to an appeal decision in West Sussex and relevant case law on abandonment. The relevant criteria in case law may be summarised as, a) the physical condition of the building; b) the length of time that the building has not been used for residential purposes; c) whether it had been used for any other purpose, and d) the intentions of the owner. In the case of 'Ian Carl Hughes and SSETR & South Holland DC [2000] EWCA Civ 506' which, in addition to confirming these four criteria, determined that objective, rather than subjective, assessment is to be made. The weight to be given to each of the criteria depends on the circumstances of the case. The onus of proof is on the appellant and the test to be applied to the evidence is that of 'on the balance of probability'.
6. It is established that the appellant's own evidence should not be rejected simply because it is not corroborated. If there is no evidence to contradict the appellant's version of events, or make it less than probable, and the evidence is sufficiently precise and unambiguous, it should be accepted.

The LDC building

7. Ty'n Ffridd is in an isolated rural location on a slope in the landform. The gable of the building is built close to the slope where land has been excavated around it. The main front façade of the building faces south-west and includes two window openings (boarded) either side of a door which is also boarded. The building forming the LDC application as depicted on the revised plan is small and rectangular. It is built of large-coursed stone and mortar.
8. The gable walls either side conjoin two stone chimneys either end. The west side chimney is missing a few stone courses and the mortar cap. The double-pitched roof has been replaced by sheeting and purlins. A layer of cement mortar has been laid above the top stones and this continues outside where the sheeting meets the wall. The former slate and remnants of the roof frame are stored outside.
9. There is a larger rectangular stone structure built from the rear walls of the original building, this has no roof covering. This structure has been excluded from consideration in the revised LDC plan.
10. The rear wall of the original building has been removed barring a small section of wall that connects to the east gable. This open space is boarded up and connects to the rear larger rectangular building.

Background

Documentary evidence

11. The LDC appeal is accompanied by two statutory declarations (SDs) from Mrs Marian Roberts (the appellant) and Mr Lewis (the landowner and the appellant's brother). There are letters from Mr A Jones (tenant farmer), Mr D Jones (local farmer and stonemason), Mr E Griffiths (sheering contractor), Gwynedd's Council Tax, an invoice from PHD drilling for a borehole replacement and a structural report from D Williams of 'Engineering Cyf'. There is also a covering letter from the appellant.

History of the site as claimed by the parties

12. The appellant contends that Ty'n Ffridd is a 19th-century cottage with a stone barn attached. The stone barn has been replaced by the larger rectangular building which has no roof. It was owned by Mr Cledwyn Phillips up until his death in 2000. He resided there up until the late 1960s. He is reported to have paid Council tax up until 1985. Mr Lewis purchased Ty'n Ffridd and agricultural land in 2000. In 2018 Ty'n Ffridd suffered storm damage and the roof of the building collapsed which also damaged the western gable chimney. It is asserted that since the last occupation of the building shearers intermittently used the building on an annual basis and stayed there up until 2009. No other intervening use has been made of the building since 2009. In 2015 a water well was drilled to replace the original well and this is linked to the dwelling by a pipe.
13. The Authority refers to a 1972 planning application for 'renovation and improvements to cottage' which was refused permission. It also refers to a 2003 informal enquiry to renovate a 'derelict house'. It has provided an aerial image of the building prior to the 2018 storm to show that it had no roof.

Reasons

a) – physical condition

14. The appellant's structural report indicates that the building is in a very good condition with original walls and lime mortar intact. The report finds that the foundations of the building are built off rock. The walls are 700mm thick constructed of random rubble masonry and these remain plumb with no signs of bulging or cracking. It is reported that the lime pointing is in good condition both internally and externally. The report asserts that the fact that the lime mortar is in such good condition verifies the fact that the building has had a roof above it throughout, and there are no signs of recent repair using cement. The western inglenook fireplace soffit is supported by props, but the internal chimney is reported to be in a good condition. On the east gable there is another fireplace and evidence of former joist holes which would have supported a first floor just beneath the small opening window aperture in the gable. The floor is quarry tiles and slate slabs laid on compacted aggregate.
15. There are the remnants of an old fire grate but there are no services supplying the building other than the water pipe from the well. There is in the vicinity an overhead electricity line, but this is not currently supplying the building. The appellant indicates that electricity would have been provided by a generator on site.
16. There is a caveat in the structural report that where there is no mention of a defect this does not imply that there is none or that it would not be structurally significant.
17. The current condition of the building as noted above does not reflect the fact that the rear wall of the building has been predominantly removed. With the wall removed the building opens-up to the larger rectangular building to the rear. There is no mention of this work or that it was the result of storm damage. The remainder of the original rear wall appears solid and true which leads me to conclude that the rear wall was knocked down as part of some works associated with the rear outbuilding that has no roof. The building in its current condition is protected from the elements by boarding, it is not watertight as the appellant suggests. I do not consider that with the back wall removed it can be considered a building of good structural integrity. The lack of any comment about the rear wall of the original building is a significant omission in the structural report.

18. However, what is relevant is not the current condition of the building. The appellant's actions following storm damage was to repair the building and that is consistent with the intention to recreate a dwelling. The question is whether the building's condition at any time prior to the storm damage works undertaken indicates that the original dwelling use had been abandoned. Once abandoned it cannot be resumed without planning permission.
19. There is no notable evidence of the condition of Ty'n Ffridd when it was vacated in the late 1960s. Mr Lewis and the appellant's SDs assert that Ty'n Ffridd was maintained by Mr Phillips up until his death in 2000, and that he intended to return to his home to live when he retired. However, there is nothing provided by the appellant to show the condition of the building at this time or thereafter up until it was purchased in 2000. It is claimed that Mr Lewis maintained the building to the standard and condition it was in when Mr Phillips had ownership of it, but there is no physical evidence provided spanning nearly 30 years. The evidence from Mr D Jones and Mr A Jones does not specify what maintenance work was undertaken by them to Ty'n Ffridd when they were assisting Mr Phillips. There is no specified time frame provided and no documentary evidence of the work that was undertaken. The evidence is ambiguous and lacks specific detail.
20. Mr E Griffiths in his letter states that he regularly sheared sheep at Nant Cwmbran Isaf and Pennant Mawr for over 50 years during which time Mr Phillips was at Pennant Mawr. He notes that migrant shearers would stay on a regular basis in the cottage (Ty'n Ffridd), which was watertight, secure, had running water and was habitable. He asserts that shearers continued to stay at the cottage, up until 10 years ago. The date of his letter is 6 August 2021, which would mean that shearers would have stayed at the property up until 2011.
21. However, whilst the condition of Ty'n Ffridd is described, there is no specific time-period given. Mr Lewis and the appellant's SDs both say that seasonal use was made by travelling shearers up until 2009. The condition of the building is not described in any detail and there is no indication of the condition of the building from the 1960s.
22. The letter from the Community Council notes that Mr Aaron Hughes and Mr Abner Hughes carried out maintenance work on the appeal building for several years. In the last 10 years they helped Mr Dewi Jones with maintenance and were aware that the building was used as a residential unit for seasonal shearers. However, this submission and others do not provide specific dates or explain the condition of the building in clear, precise, and unambiguous terms.
23. The available evidence on the condition of the building prior to storm damage and from when it was last occupied by Mr Phillips in the 1960s is scant and ambiguous. The Authority's evidence contradicts the appellant's version of events.
24. In 1972 a planning application was submitted by Mr Phillips for the 'renovation and improvements to cottage'. It was refused on policy grounds being outside settlement boundaries and on access concerns. The Planning Committee visited the site where it was observed that the building had no roof and only a few timbers in place.
25. The appellant questions the reliance placed on this statement because it is a 'secondary comment'. However, the Planning Committee is responsible for making decisions on planning applications and should this be the recorded facts found at that time then it must be accorded considerable weight, since there is no reason for that statement to be questioned as to its reliability. The appellant claims that this might be a reference to a small section of the roof or the attached agricultural building. I do not consider that the expression the building had no roof and only a few timbers can be interpreted in this way.

The onus is on the appellant to demonstrate its case on the balance of probability and there appears contradictory evidence as to the condition of the building in 1972.

26. The appellant asserts that the planning application in 1972 should not have been submitted as Mr Phillips was given incorrect planning advice, and that the reasons for refusal did not refer to the condition of the building. I do not consider that either point assists the appellant's case, as the planning refusal was based on policies of rural restraint of building in the countryside and there was no appeal lodged at that time. This submission does not undermine the Authority's case on the contradictory evidence it relies on.
27. The Authority also relies on a pre-application enquiry made in 2003. This requested advice on whether planning permission would be granted 'to renovate the derelict house' at the appeal site. It is claimed that the 2003 enquiry referred to the building in a ruinous state. The appellant contends that this is not evidence of the physical condition of the building or abandonment and that no response from the Authority has been received.
28. Had the Authority responded to the enquiry there may have been more detailed evidence as to the building's condition at that time. However, the fact that the letter from the owner of the building described it as a derelict house must be accorded moderate weight.
29. The Authority has provided an aerial photograph taken before the 2018 storm. This shows the small rectangular appeal building predominantly without a roof and no visible remains of a supporting roof structure. There is on one side and partly on the front wall what appears to be vegetation present. This does not appear to me to resemble a roof structure and in any event the ground floor of the building is visible from this aerial photograph. This indicates to me that the building was not watertight at all, and the internal walls were exposed to the elements. I cannot accept the appellant's claim as persuasive that this was an 'intentional overgrowth' which was in place to protect the original roof beneath. The original roof is not present for most of the building and the building would not be afforded any protection from the elements.
30. The Authority's evidence contradicts the appellants version of events in relation to the physical condition of the building. The current condition of the building is not an indication of its condition after Mr Phillips occupied it to a date sometime before the 2018 storm. There is little actual evidence of the building's condition submitted by the appellant throughout this relevant period. The letters and SDs submitted indicating that the building was watertight and habitable, and that regular maintenance was undertaken is ambiguous and is not precise.
31. My conclusion on criterion a) is that the appellant's evidence is contradicted and points to a building which had fallen into an acute state of dereliction through neglect. Its ability to function as a dwelling had been severely compromised because it had no roof at some juncture prior to the 2018 storm and there are notable points throughout the building's history in 1972 and 2003 that refer to it in a state of dereliction and without a roof. In my opinion the ability of the building to function as a dwelling was compromised and points to the use of the dwelling to have been abandoned.
b) – the length of time the building has not been used for residential purposes
32. Ty'n Ffridd was last occupied residentially in the late 1960s. Council tax was paid on the building up until 1985. However, there is no physical evidence of this as this pre-date's records being kept by Gwynedd Council. It is stated that the building was used as a seasonal residential use by shearers up until 2009.

33. Given the contradictory evidence from the Authority concerning the condition of the building and whether it had a roof in place as set out above, it has not been established on the balance of probability whether the building functioned as a dwelling when the shearers were there. Prior to the storm in 2018 the aerial image shows an acute state of dereliction, and it would not have been habitable then.
34. If the last residential use was in the late 1960s then this is a substantial period of non-occupation as a dwelling which would indicate that the original use was abandoned. If the shearers last occupied the building for residential purposes in 2009 then this is 12 years when it was last used, and a much shorter period of non-use. However, this shorter period of no-use can be enough to establish abandonment.
35. The onus is on the appellant to demonstrate its case, and the available evidence does not show on the balance of probability that the original dwelling was not abandoned.
- c) – other uses*
36. There is no direct evidence of the building being put to any other use since it was vacated by Mr Phillips in the late 1960s. In my view, this matter is neutral on the matter of abandonment.
- d) – the owner's intentions*
37. From the evidence submitted it is stated that Mr Phillips maintained the building up until 2000. The appellant's submission is that Mr Phillips intended to return to Ty'n Ffridd to retire. The 1972 planning application may be viewed as his intention to return the property to residential use. He also paid rates on the property until 1985, although no documentary evidence exists of this.
38. There is little to contradict the present owner and appellant's intentions from 2000. In 2003 a pre-application enquiry was made to renovate the building, a well was refurbished in 2015 and a new roof was installed following storm damage in 2018.

Conclusions

39. The onus of proof rests on the appellant and the test to be applied is the balance of probability. It is established that abandonment will be a balance of the four criteria as set out above. In my view, the evidence presented is not precise and unambiguous, it is also contradicted by the Authority's evidence. On criterion d), the evidence of intention to retain Ty'n Ffridd as a dwelling is not evident throughout the period since the late 1960s. The lack of positive action to ensure the condition of the building for possible rehabilitation suggests that it was not the case as the 1972 refusal of planning permission was not appealed against. Since 2000, when Mr Lewis took ownership of the building an enquiry was made in 2003 to renovate the building. A well was refurbished and dug in 2015, and the roof replaced in 2018 with sheeting. This criterion which gives some support to the appellant's case.
40. Criterion b) has not been made out that the dwelling had not been abandoned. In terms of criterion c) there has been no intervening use to displace the residential use.
41. In relation to criterion a), the appellant's evidence is contradicted and points to a building which had fallen into an acute state of dereliction through neglect. Its ability to function as a dwelling had been lost because it had no roof, as set out in detail above. The evidence establishes that the use of the dwelling had been abandoned.

Ref: CAS-02057-F4H7R1

42. For the above reasons I conclude that the Authority's refusal to grant the certificate of lawful use or development for a dwelling, was well-founded. I do not consider that a certificate in any other terms would be appropriate. I conclude that the appeal should be dismissed, and I will exercise accordingly the powers transferred to me under section 195(3) of the 1990 Act as amended.

Iwan Lloyd

INSPECTOR