

NOTICE OF MEETING



Snowdonia National Park Authority

*Emyr Williams
Chief Executive*

Snowdonia National Park Authority

Penrhyndeudraeth

Gwynedd LL48 6LF

Phone: (01766) 770274

E.mail: parc@eryri.llyw.cymru

Meeting: Planning & Access Committee

Date: Wednesday 6th December 2023

Time: 10.00 a.m.

Location: The Oakeley Room, Plas Tan y Bwlch, Maentwrog and Via Zoom

Members are asked to join the meeting 15 minutes before the designated start time

Members appointed by Gwynedd Council

*Councillor: Elwyn Edwards, Annwen Hughes, Louise Hughes
June Jones, Kim Jones, Edgar Wyn Owen, Elfed Powell Roberts,
John Pughe Roberts, Meryl Roberts;*

Members appointed by Conwy County Borough Council

Councillor: Ifor Glyn Lloyd, Jo Nuttall, Dilwyn Owain Roberts;

Members appointed by The Welsh Government

*Mr. Brian Angell, Ms. Tracey Evans, Mrs. Sarah Hattle,
Mr. Tim Jones, Ms. Naomi Luhde – Thompson, Ms. Delyth Lloyd.*

****This Agenda is also available in Welsh***

AGENDA

Page No's

1. **Apologies for absence and Chairman's Announcements**
To receive any apologies for absence and Chairman's announcements.
2. **Declaration of Interest**
To receive any declaration of interest by any members or officers in respect of any item of business.
3. **Minutes** **3 - 6**
The Chairman shall propose that the minutes of the meeting of this Committee held on the 18 October 2023 be signed as a true record (copy herewith) and to receive matters arising, for information.
4. **Reports by the Director of Planning and Land Management** **7 - 114**
To submit the reports by the Director of Planning and Land Management on applications received. (Copy herewith)
5. **Planning Enforcement Cases** **115 - 121**
Submit a report by the Director of Planning and Land Management (Copies herewith)
- 6.. **Reports by the Director of Planning and Land Management.** **122 - 127**
Introduction of Article 4 Direction in relation to C3(Dwellings used as sole or main residences), C5 (Dwellings, used other than as sole or main residences) and C6 (Short term lets) (Copy Herewith)
7. **Update Reports** **128 - 135**
To submit update reports, for information. (Copies herewith)
8. **Delegated Decisions** **136 - 142**
To submit the list of applications which have been determined in accordance with delegated authority, for information. (Copy herewith)
9. **Appeal Decision** **143 - 147**
To submit an oral report by the Director of Planning and Land Management on the Inspector's decision to grant appeal NP3/22/14D Conversion and change of Use of rural outbuilding for use as short term self-catering holiday letting accommodation, Tal-y-Mignedd Uchaf, Nantlle. Appeal by Mr Iolo Povey against the decision of the Snowdonia National Park Authority to refuse planning consent,
(A copy of the Inspector's decision is enclosed – Copy herewith)

**SNOWDONIA NATIONAL PARK PLANNING AND ACCESS COMMITTEE
WEDNESDAY 18th OCTOBER 2023**

Councillor Elwyn Edwards (Gwynedd) (Chair)

PRESENT:

Members appointed by Gwynedd Council

Councillors, June Jones, Edgar Wyn Owen, John Pughe Roberts, Elfed Powell Roberts, Meryl Roberts;

Members appointed by Conwy County Borough Council

Councillors Ifor Glyn Lloyd, Jo Nuttall, Dilwyn Owain Roberts;

Members appointed by the Welsh Government

Brian Angell, Sarah Hattle, Delyth Lloyd, Naomi Luhde-Thompson.

Officers

Iwan Jones, Jonathan Cawley, Iona Roberts, Rhydian Roberts, Eiliw Owen, Anwen Gaffey.

The Director of Corporate Services stated that the meeting was being web-broadcast and would be made available online at a later date.

1. **Apologies**

Councillors Annwen Hughes, Louise Hughes, Kim Jones; Tracey Evans, Tim Jones.

2. **Declaration of Interest**

No declarations of Personal Interests were made in respect of any item.

3. **Minutes**

The minutes of the Planning and Access Committee meeting held on 6th September 2023 were accepted and the Chair signed them as a true record.

Arising thereon, the Head of Development Management and Compliance provided Members with the following update:-

3. **Minutes**

9. Update Reports – List of Compliance Cases

NP5/69/ENFLB326A – Ty Gwyn, Llwyngwri

The Head of Development Management and Compliance provided a further update and advised Members there were two elements to this case:-

1. a change of use, which had now been approved, and
2. that officers were still awaiting a planning application to address the unauthorised alterations to the listed building.

RESOLVED to note the update.

4. **Tree Preservation Order No. 81 – Brig y Don, Harlech**

Submitted – A report by the Tree and Woodland Officer to confirm Tree Preservation Order No. 81, Brig y Don, Harlech. Two further letters of objection were circulated at the meeting.

Reported – The Tree and Woodland Officer presented the report and background. Members were then provided with a PowerPoint presentation and noted that the Tree Preservation Order was served due to its valuable contribution to the visual amenity of Harlech and this area of Snowdonia.

Members considered the report in detail and discussed:-

- the age of the tree
- the health of the tree
- whether there had been a request to serve the notice?
- possible damage should the tree come down in adverse weather
- consultation with residents

Arising thereon, the Tree and Woodlands Officer confirmed that it was his decision to serve the TPO and that an independent sonar survey on the health of the tree was being arranged.

RESOLVED to confirm the Tree Preservation Order (No. 81) at Brig y Don, Harlech.

5. **Annual Monitoring Report 2022-23 – Eryri Local Development Plan**

Submitted – A report by the Principal Planning Policy Officer to discuss and approve the content of the Annual Monitoring Report for 2022-2023.

Reported – The Principal Planning Policy Officer presented the Monitoring Report and provided Members with further details on the main findings.

Members considered the Monitoring report and discussed the following matters:-

- a Member noted his concern with regard to the current overestimated housing target in the Local Development Plan. The Principal Planning Officer advised this was a matter which would be considered at the start of the review process alongside population and household projections. Members were assured there was no pressure to achieve a high level of growth and that the matter would be considered alongside the capacity of settlements, linguistic needs, topography etc.
- a Member asked for clarification on the Action points which need further investigation and research. The Principal Planning Officer confirmed that the target shows that the policies need to be reviewed and amended for the next Local Development Plan and that research work on the viability of affordable housing, local need, the local housing market etc., was ongoing. Background papers will be prepared as a basis for evidence and members will receive the information when moving forward with the Plan.
- the Principal Planning Officer confirmed that housing turnover, implications of the Article 4 Directive and rise in council tax rates for 2nd homes etc. will all be considered when officers look at the level of growth. Also, in terms of the Local Development Plan, officers will be working with Gwynedd Council and Conwy County Borough Council on housing allocation for areas which border the National Park such as Blaenau Ffestiniog and Llanberis.

- a Member noted that if the Authority resolves to proceed with the Article 4 Directive, it will need to be incorporated into the Development Plan so that the policies reflect this.
- the Principal Planning Officer advised that a Community Forum had been established to ensure that communities are made aware and feel part of the LDP process. A community involvement scheme will also be prepared at the very start of the process to identify each stage where there is an opportunity for the Community Councils to provide their input.
- Members thanked officers for the detailed report.

RESOLVED to note and approve the Annual Monitoring Report 2022-23 .

6. **Replacement Eryri Local Development Plan – Delivery Agreement Submitted** – A report by the Head of Planning Policy.

Arising thereon, the Director of Planning and Land Management asked for authority to defer this item in order to consider the Article 4 Direction report being presented to the Members' Working Group meeting on the rising of the Planning and Access Committee meeting today.

RESOLVED to defer consideration of the report for the reason outlined above.

7. **Update Reports**

Submitted – Update reports by the Director of Planning and Land Management on planning applications and compliance matters.

Please see the Schedule of Planning Decisions attached.

8. **Delegated Decisions**

Submitted and Received – List of applications determined in accordance with delegated authority.

RESOLVED to note the report.

The meeting ended at 10.45

SCHEDULE OF PLANNING DECISIONS – 18th OCTOBER 2023

Item No.

7. Update Reports

- (1) Section 106 Agreements – **For Information**
RESOLVED to note the report.

- (2) Outstanding Applications where more than 13 weeks have elapsed – **For Information**
RESOLVED to note the report.

<u>Rhif Eitem / Item No.</u>	<u>Cyfeirnod / Reference No.</u>	<u>Disgrifiad / Description.</u>	<u>Swyddog Achos / Case Officer</u>
1	NP2/11/52L	Gosod mast monopol telegyfathrebu 15m o uchel gydag antenau cysylltiedig, cyfarpar ar y ddaear a seilwaith ategol, Maes Parcio Pen y Pass, Nant Gwynant. LL55 4NU / Installation of 15m monopole telecoms mast with associated antennas, ground based apparatus and ancillary infrastructure, Pen y Pass Car Park, Nant Gwynant. LL55 4NU	Mr. Richard Thoams
2	NP4/19/62A	Cais ôl-weithredol i godi adeilad ar gyfer defnydd cymysg at ddibenion amaethyddol a chadw ceffylau, Tir ger Tyrau Duon, Sychnant, Conwy. LL32 8BZ / Retrospective application for the erection of a building for mixed use agricultural and keeping of horses, Land near Tyrau Duon, Sychnant, Conwy. LL32 8BZ	Mrs. Alys Tatum
3	NP5/54/585	Gosod twr latis 50m o uchder sy'n cynnal 6 antena, 4 dysgl trawsyrru, a gosod 2 gabinet offer ar y ddaear, 1 cabinet metr, a datblygiad ategol gan gynnwys lleoli generadur a thanc tanwydd cysylltiedig, ffurfio llawr caled, ffurfio trac mynediad newydd, ac adeiladu compownd wedi'i ffensio 1.1m o uchder, Tir yn Tŷ Newydd-y-Mynydd, Rhydymain. / Installation of a 50m high lattice tower supporting 6 antennas, 4 transmission dishes, and installation of 2 ground based equipment cabinets, 1 meter cabinet, and ancillary development including the siting of a generator and associated fuel tank, formation of a hardstanding area, formation of new access track, and construction of a 1.1m high fenced compound, Land at Tŷ Newydd-y-Mynydd, Rhydymain.	
4	NP5/58/LB459A	Trosi, ymestyn a newid defnydd o dai allanol i greu 4 ty newydd farchnad agored, ynghyd a creu llwybr mynediad newydd, waliau terfyn newydd a gwaith tirlunio cysylltiedig, Conversion, extension and change of use of outbuildings to create 4 new open market dwellings, together with formation of new access lane, new boundary walls and associated landscaping,	Mr. Aled Lloyd
7			

		Taltreuddyn Fawr, Dyffryn Ardudwy. LL44 2RQ	
5	NP5/76/323R	Newid defnydd tir ar gyfer creu cyfleuster llety byw oddi ar y safle dros dro hyd at fis Rhagfyr 2025 a newidiadau i'r fynedfa gerbydau bresennol oddi ar yr A487 yn gysylltiedig â phrosiect Darpariaeth Effaith Weledol Eryri, creu ffordd fynediad mewnol dros dro ynghyd â gwaith cysylltiedig, Tir yn Blaen Cefn, Penrhyndeudraeth. LL48 6NA / Change of use of land for the creation of a temporary off-site living accommodation facility up until December 2025 and alterations to existing vehicular access off the A487, associated with the Eryri Visual Impact Provision project, creation of a temporary internal access road together with associated works, Land at Blaen Cefn, Penrhyndeudraeth. LL48 6 NA	Mr. Aled LLoyd

Snowdonia National Park Authority Date: 06-Dec-2023
– Planning & Access Committee

Application Number: NP2/11/52L

Date Application Registered: 04/04/23

Community: Beddgelert

Grid Reference: 264727 355614

Case Officer: Mr Richard Thomas

Location:

Pen y Pass Car Park, Nant Gwynant. LL55
4NU

Applicant:

EE Ltd.
One Braham
1 Braham Street
London
E1 8EE

Description:

Installation of 15m monopole telecoms mast
with associated antennas, ground based
apparatus and ancillary infrastructure

Installation of 15m monopole telecoms mast with associated antennas,
ground based apparatus and ancillary infrastructure.

Summary of the Recommendation:

To **GRANT** permission subject to conditions relating to:

- Start work within 5 years.
- Accordance with approved plans
- Emergency Service Use only
- Removal if redundant
- Landscape Mitigation Plan
- Appropriate materials
- Archaeology recording
- Ecology Impact Assessment

Reason(s) Application Reported to Committee:

Located on land at which ENPA has an interest.

Land Designations / Constraints:

Open Countryside
Adjacent to Public Right of Way (Bridleway and Footpath)
Within SAC (Eryri)
Within SSSI (Eryri)

Site Description:

The site subject to this application is located in very close proximity to the ENPA car park at Pen y Pass. Characterised as rising grassed land enclosed by stock proof fencing with occasional rock outcrops. Rising scree and grassland beyond the stock proof, post and wire fence, is interrupted by telegraph poles and wire running diagonally across.

Visited by very large number of visitors each year to access the major routes up to the summit of Y Wyddfa.

Proposed Development:

Installation of 15m monopole telecom mast with attached antennas within the grassland area with associated access track from the car park, two ground base semi-buried and enclosed equipment buildings on adjoining land and adjacent to the PYG footpath up Y Wyddfa.

It should be noted that this mast is proposed for the use by the emergency services only and for no other general mobile phone service providers.

Relevant Planning Policies:

Eryri Local Development Plan 2016-2031 (ELDP)

- SP A: National Park Purposes and Sustainable Development
- SP C: Spatial Development Strategy
- DP1: General Development Principles
- DP2: Development and the Landscape
- SPD: Natural Environment
- SPFf: Historic Environment
- DP26: Telecommunications

Supplementary Planning Guidance

- **Landscape and Seascapes of Eryri (SPG7)**
- **Landscape Sensitivity and Capacity Assessment (SPG13)**
- **Telecommunications and Masts (SPG15)**

National Policy/Guidance

- Planning Policy Wales (PPW), Edition 11 Feb 2021

Consultations:

Community Council	No objections
Cyfoeth Materiol Cymru	Detailed assessment and comments made
GAPS	No objections, condition suggested
MOD	No objections
APCE Ecologist	No objections, condition suggested

Response to Publicity:

The application has been publicised by way of a site notices and neighbour notification letters.

No objections were received as a result of this publicity.

Assessment:

1. Principle of Development

- 1.1 Applications of this nature are to be judged primarily on their impact on the landscape characteristics and the special qualities of the National Park in which the proposed site sits.
- 1.2 In this case the most relevant policies in the ELDP include SP A, DP 1, 2 and 26 and SPG 7, 13 and 15.
- 1.3 SP A sets out the key considerations that should be taken into account to help deliver sustainable development in Snowdonia, with the first on the criteria being to give the highest priority to the protection and enhancement of the natural beauty, wildlife and cultural heritage.
- 1.4 DP 1 sets out the general development principles of the National Development, with the aim of conserving and enhancing the special qualities and purposes of the National Park.
- 1.5 DP 2 states that the scale and design of new development, including its setting, landscaping and integration should respect and conserve the character, qualities and views of the landscape.
- 1.6 DP 26 states that telecommunication developments will be permitted provided that they do not significantly harm the visual amenity and landscape character of the area or adversely affect the amenity of people living close to the site.
- 1.7 Sensitivity to communication masts at this location is set out in SPG 13 Landscape Sensitivity and Capacity Assessment (October 2016) which finds that the site is a part of a wider area (SO3) with a general 'very high sensitivity' to mobile phone masts.

2. Planning Assessment

- 2.1 At the outset it should be recognised that this proposal for a telecoms mast is, unlike most similar masts, for the exclusive use of the emergency services to provide communication coverage along nearby public highways and adjoining mountainous regions. This mast will not provide an extension to general public access to mobile phone coverage.
- 2.2 Notwithstanding this, the same principles must apply with the primary consideration being whether this proposal will have an overriding and unacceptable adverse impact on the landscape of the area and on the 'special qualities' of the National Park.
- 2.3 Whilst the National Park Authority are supportive of and have approved the vast majority of communication masts located in acceptable locations in the past a very small number have been refused on the grounds of inappropriate design or location and their unacceptable impact on landscape character and the special qualities of the National Park.
- 2.4 As with all similar applications for communication masts the applicants have been required to fully justify the proposal and provide adequate information in the form of a Landscape Visualisation Impact Assessment (LVIA) supplemented with photomontages and wireframe visualisations.

- 2.5 In this case the applicants did submit an LVIA which concluded that the proposal would result in a minor adverse effect on natural beauty and up to **minor to moderate adverse** effects on visual amenity. This was assessed and scrutinised by officers of this Authority and NRW where it was found to be insufficiently robust to justify a mast in this location and underestimated the likely effects of the mast on the natural beauty of the National Park in this location. On the evidence submitted it was considered that the likely effect of the mast when viewed from the car park would attract attention as an incongruous element amongst the existing human intervention of poles and overhead lines, resulting in a **moderate adverse** effect on visual amenity.
- 2.6 From other visual receptors, such as the lower carpark along the A498 and from the A4086 the LVIA assessed that the likely effects would be **minor to moderate adverse**. Again, it is considered that this is an underestimate and as these are likely to be the same people accessing the upper carpark and the footpaths up Y Wyddfa the effects are considered to be **moderate adverse**.
- 2.7 In assessing that **moderate adverse** effects of a communication mast in this location will result it is considered that the effects are '**significant**'. As such, and in other normal circumstances for telecommunication masts this conclusion would direct any recommendation and decision to one of refusal.
- 2.8 However, the applicant has, in negotiation with ENPA Officers and NRW, suggested certain measures of mitigation to assist in assimilating the proposed development in the landscape. These include finishing materials and colours and have been assessed and found to be acceptable. These will be secured further by means of a condition requiring the submission and approval of a Landscape Mitigation Plan.
- 2.9 In addition, and of significance is the fact that this proposal is to enable the emergency services to access a secure communication network in undertaking their vital work along the nearby highways and upland areas.
- 2.10 Whilst the proposed site falls within the Eryri SAC and the Eryri SSSI there were no significant biological or geological matters of interest within the vicinity of the proposal.
- 2.11 In terms of archaeology Gwynedd Archaeological Planning Services has concluded that this proposed development could impact on sub-surface archaeological deposits and whilst not objecting to the proposal have recommended a condition attached to any approval notice to ensure a specification for a programme of archaeological recording is submitted and approved prior to any works being carried out and that a detailed archaeological report is subsequently submitted.

3. Conclusions

- 3.1 I am of the opinion that this proposal would in normal circumstances for a telecoms mast for general mobile phone coverage be recommended for refusal.

3.2 However, as this application proposes a communication mast for the exclusive use of emergency services and that there is an overriding reason of general public safety interest the normal horizons between what is acceptable and what is not can be elevated. Given this and for this occasion only I am of the opinion that a moderate adverse effect, albeit significant, can lead to a recommendation to approve subject to appropriate conditions ensuring appropriate mitigation measures.

Background Papers in Document Bundle No.1: No

RECOMMENDATION: To **APPROVE** subject to the following conditions:

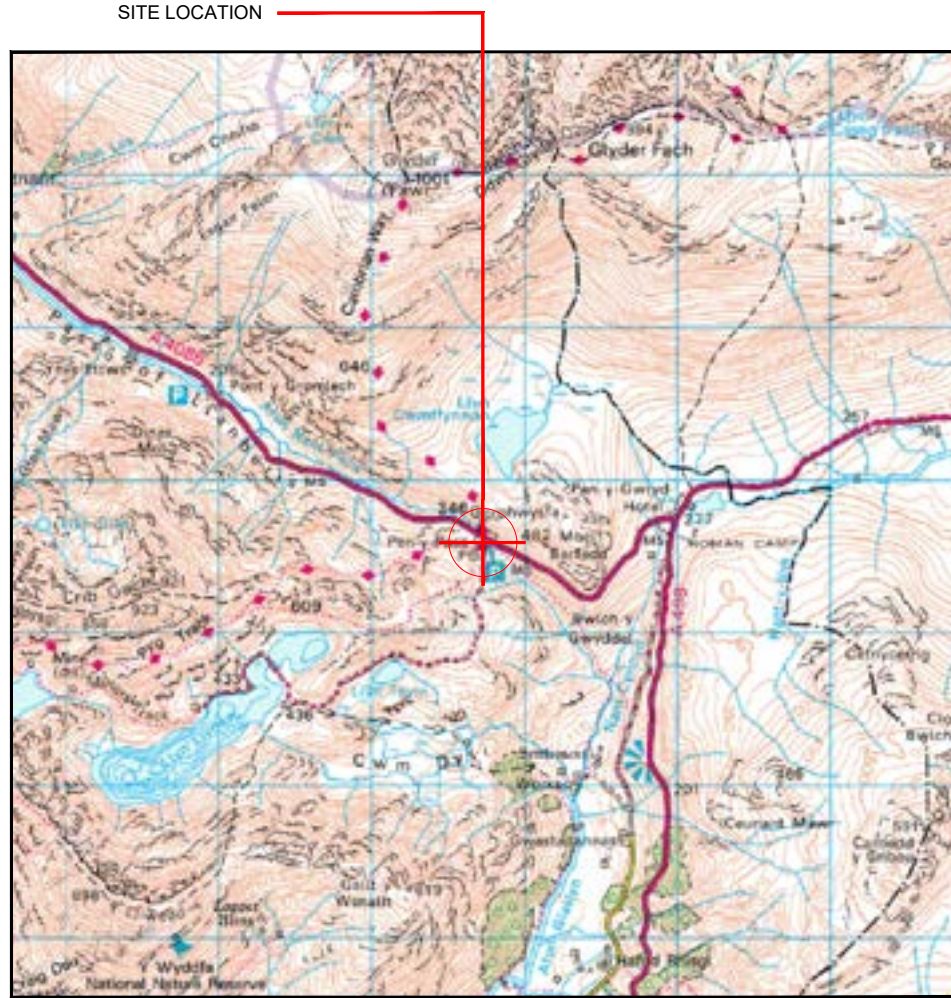
1. (01) The development hereby permitted shall be commenced before the expiration of FIVE years from the date of this decision.
2. (02) The development hereby permitted shall be carried out in accordance with the following approved plans:
 - EAS1019F_78823_SRN1019_M001, Rev F Plan 200: Proposed Site Plan
 - EAS1019F_78823_SRN1019_M001, Rev F Plan 002A: Site Location Plan A
 - EAS1019F_78823_SRN1019_M001, Rev F Plan 250: Proposed Site Elevation A
 - EAS1019F_78823_SRN1019_M001, Rev F Plan 251: Proposed Site Elevation B
3. The proposed telecommunication mast hereby approved shall be utilised by the Emergency Services only and for no other mobile telecommunications service provider.
4. If the telecommunication mast and associated equipment become redundant or obsolete, then the mast and equipment must be removed within six months of this telecom facility ceasing to operate and the site restored to its former condition.
5. No development in pursuant to this permission shall take place until a Landscape Mitigation Plan has been submitted to and approved by means of a formal application to the local planning authority. Any such approved Landscape Mitigation Plan shall be implemented in full within six months of the mast and associated facilities being brought into use and shall thereafter be maintained to the entire satisfaction of the Local Planning Authority and shall include:
 - The mast is finished in a 'Bitter Chocolate BS4800:08 B29'
 - Details of the materials for the ground-based apparatus enclosures. The proposals for slate (where applicable) and stone façades on all enclosures with material typology to match the Pen y Pass Youth Hostel.

- Details of the earthworks and measures to ensure these are sensitively integrated with the existing landform.
 - Details of ground restoration including, storage and protection of any topsoil, remediation of ground, and habitat/vegetation.
 - Details of the aftercare for 5 years following completion of the works to ensure any disturbed areas are fully restored and that the green roofs establish.
 - Specification of green roof systems to be used on enclosures.
 - Specification of the proposed top dressing and colour staining for concrete surfaces as outlined in the applicant's LVA, dated 05/12/2022.
6. Prior to any stonework commencing on the site, a trial stonework panel including pointing not less than 2.00 m² shall be constructed. No building operations in stone shall be carried out on the site unless and until the trial panel has been inspected and approved by means of a formal application to the Local Planning Authority. The stonework of the building shall be built in accordance with the approved sample.
7. No development (including site clearance or groundworks) shall take place until the applicant, or their agents or successors in title, has submitted to and had written approval for a Programme of Archaeological Recording by the Local Planning Authority.
- Any such approved development shall thereafter be followed in strict adherence to the approved Programme and to the entire satisfaction of the Local Planning Authority.
8. A detailed report on the archaeological work, as required by condition 7, shall be submitted to and approved in writing by the Local Planning Authority within six months of the completion of the archaeological fieldwork.
9. The applicant/developer shall ensure that the Best Practice recommended at section 5.1.6 of the Ecology Impact Assessment report (Lizard Landscape Design and Ecology) are followed and implemented in full and to the entire satisfaction of the LPA.

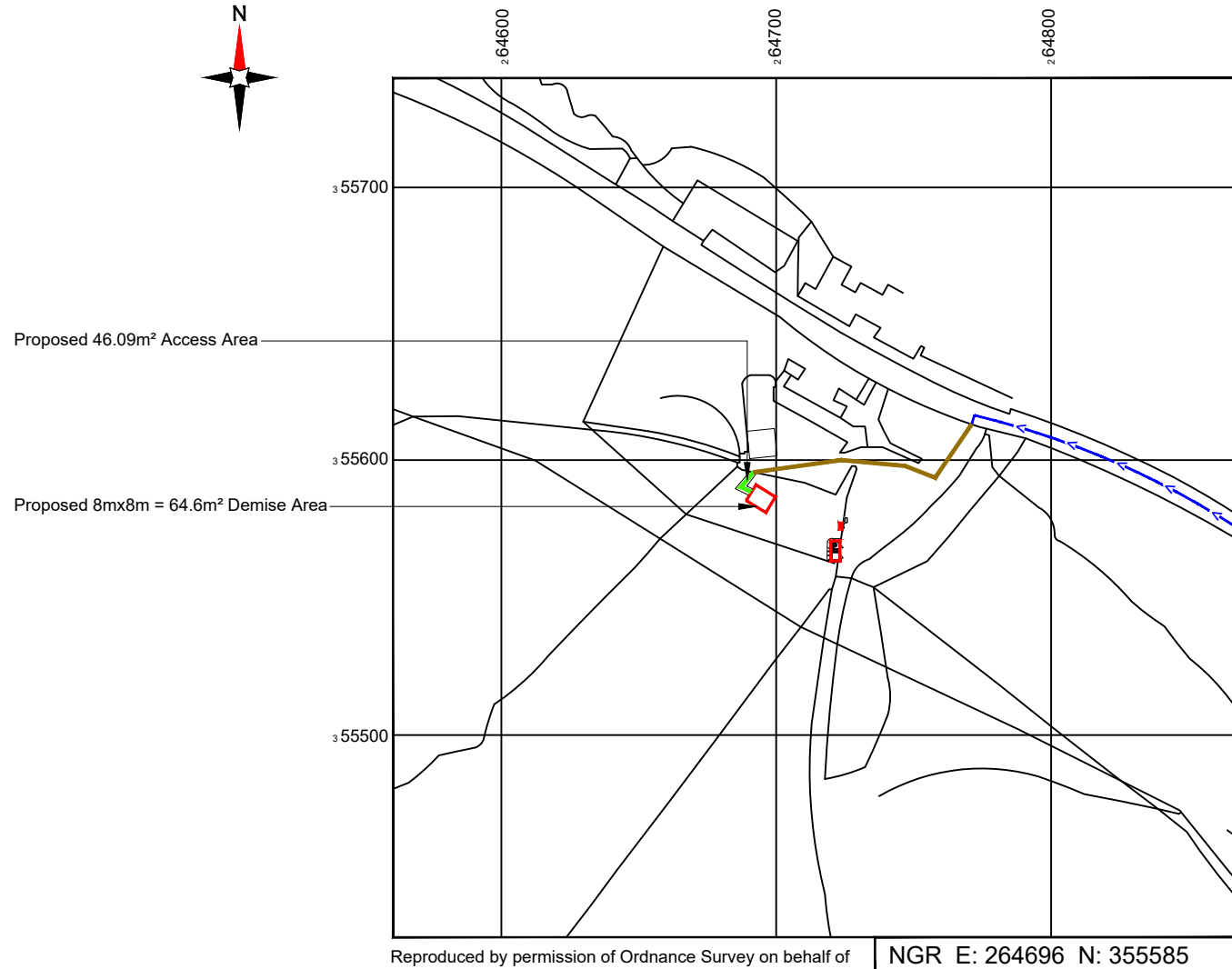
Reasons:

1. To Comply with Section 91 (as amended) of the Town and Country Planning Act 1990.
2. To define the permission and for the avoidance of doubt.
3. To secure biodiversity enhancement in accordance with Strategic Policy D of the adopted Eryri Local Development Plan and paragraph 6.4.5 of Planning Policy Wales.
4. To ensure that the visual impact of the proposed development is minimised if the facility becomes redundant in accordance with Eryri Local Development Plan Policies and in particular Policies 2 and 26.

5. To ensure a satisfactory standard of appearance of the development and the use of appropriate local building materials, in accordance with Eryri Local Development Plan Policies and in particular policies A, 1, 6.
6. To ensure a satisfactory standard of appearance of the development and the use of appropriate local building materials, in accordance with Eryri Local Development Plan Policies and in particular policies A, 1, 6.
7. To ensure the implementation of an appropriate programme of archaeological mitigation in accordance with the requirements of Planning Policy Wales 2021 and TAN24: The Historic Environment.
8. To ensure that the work will comply with Management of Archaeological Projects (MAP2) and the Standards and Guidance of the Chartered Institute for Archaeologists (CIfA).
9. To ensure a satisfactory standard of development and to minimise the risk of unacceptable harm or disturbance to protected species in accordance with Eryri Local Development Plan Policies and in particular Policy D.

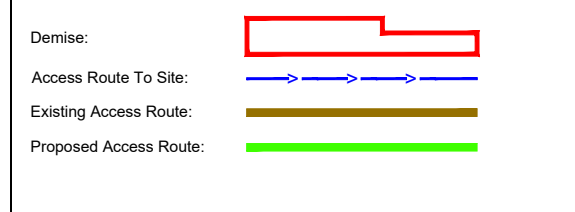


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NOTES:
1. ALL DIMENSIONS IN MM UNLESS OTHERWISE NOTED.
DIRECTIONS TO SITE:
From N Wales Expy/A55 to Conway Rd/A470 in Conwy Principal Area. Take exit 19 from N Wales Expy/A55. Head east on M53 0.7 mile. At junction 5, take the A41 exit to North Wales/Q/Ferry/Eastham 0.3 mile. At the roundabout, take the 3rd exit onto New Chester Rd/A41 0.6 mile. Slight right onto Welsh Rd/A550 4.6 mile. Use the right lane to merge with A494 via the ramp to North Wales/Queensferry/A550 5.1 mile. Continue onto N Wales Expy/A55 33.5 mile. At junction 19, take the A470 exit to Betws-y-Coed/Llandudno 0.3 mile. At Glan Conwy Interchange, take the 1st exit onto Conway Rd/A470 404 ft. At the roundabout, take the 3rd exit and stay on Conway Rd/A470 230 ft. Continue straight to stay on Conway Rd/A470 11.0 mile. Turn right onto B5106 0.4 mile. Turn left to stay on B5106 3.1 mile. Turn left to stay on B5106 180 ft. Turn right onto A5 5.2 mile. Turn left onto A4086 4.2 mile. Turn right to stay on A4086 1.0 mile. Turn left 89 ft. Turn right 180 ft. Destination will be on the left.



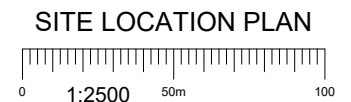
Master:	MBNL / EE / H3G:	Project:	Purpose of Issue:	Issue:
M001	MBNL	EE EAS	Planning	F
Date:	30/03/2023	Revision / Upgrade Description:		
Drawn:	Naveen B	Seventh Issue: Comments Revised		
Checked:	Irfan			
Approved:	MITIE DA			
Master:	MBNL / EE / H3G:	Project:	Purpose of Issue:	Issue:
M001	MBNL	EE EAS	Planning	E1
Date:	23/01/2023	Revision / Upgrade Description:		
Drawn:	AMG	Sixth Issue: Comments Revised		
Checked:	ES			
Approved:	MITIE DA			
Master:	MBNL / EE / H3G:	Project:	Purpose of Issue:	Issue:
M001	MBNL	EE EAS	Planning	E
Date:	20/12/2022	Revision / Upgrade Description:		
Drawn:	AMG	Fifth Issue: Comments Revised		
Checked:	ES			
Approved:	MITIE DA			



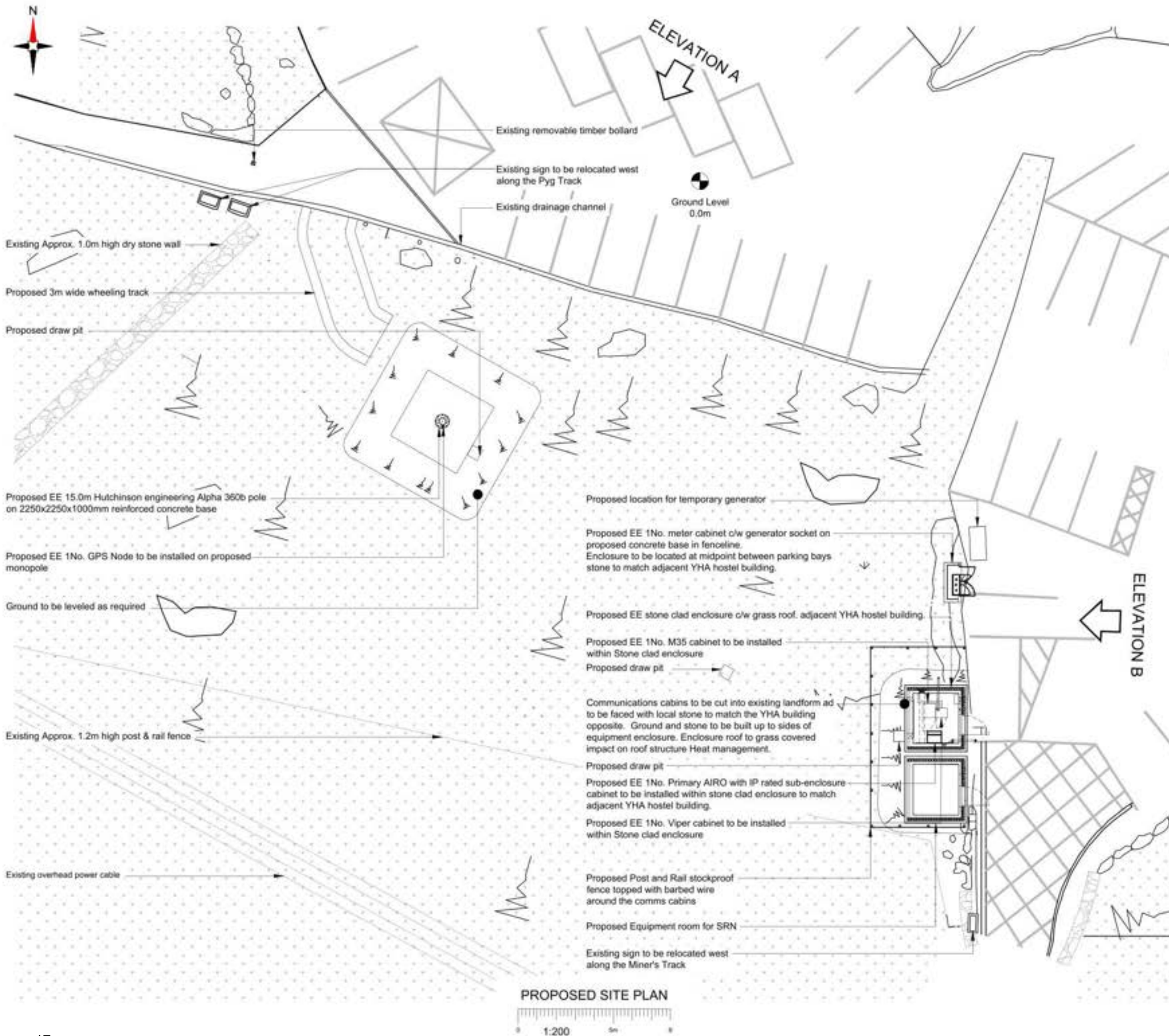
Site Name:	PEN Y PASS
EAS Site Reference:	EAS1019
Address:	PEN-Y-PASS NANT GWYNANT CAERNARFON LL55 4NU
Title:	002A SITE LOCATION PLAN - A
Project:	EE EAS
Purpose of Issue:	GENERAL ARRANGEMENT
EE Site ID:	78823
SRN Site ID:	SRN1019
Master Drawing No:	EAS1019F_78823_SRN1019_M001
Issue:	F



SITE PHOTOGRAPH



GOOGLE MAPS QR CODE
GOOGLE MAPS - <https://goo.gl/maps/Y5TSpK95inUg8CyV9>
GOOGLE STREET VIEW - <https://goo.gl/maps/qfDgK4cekw8UsNKY6>
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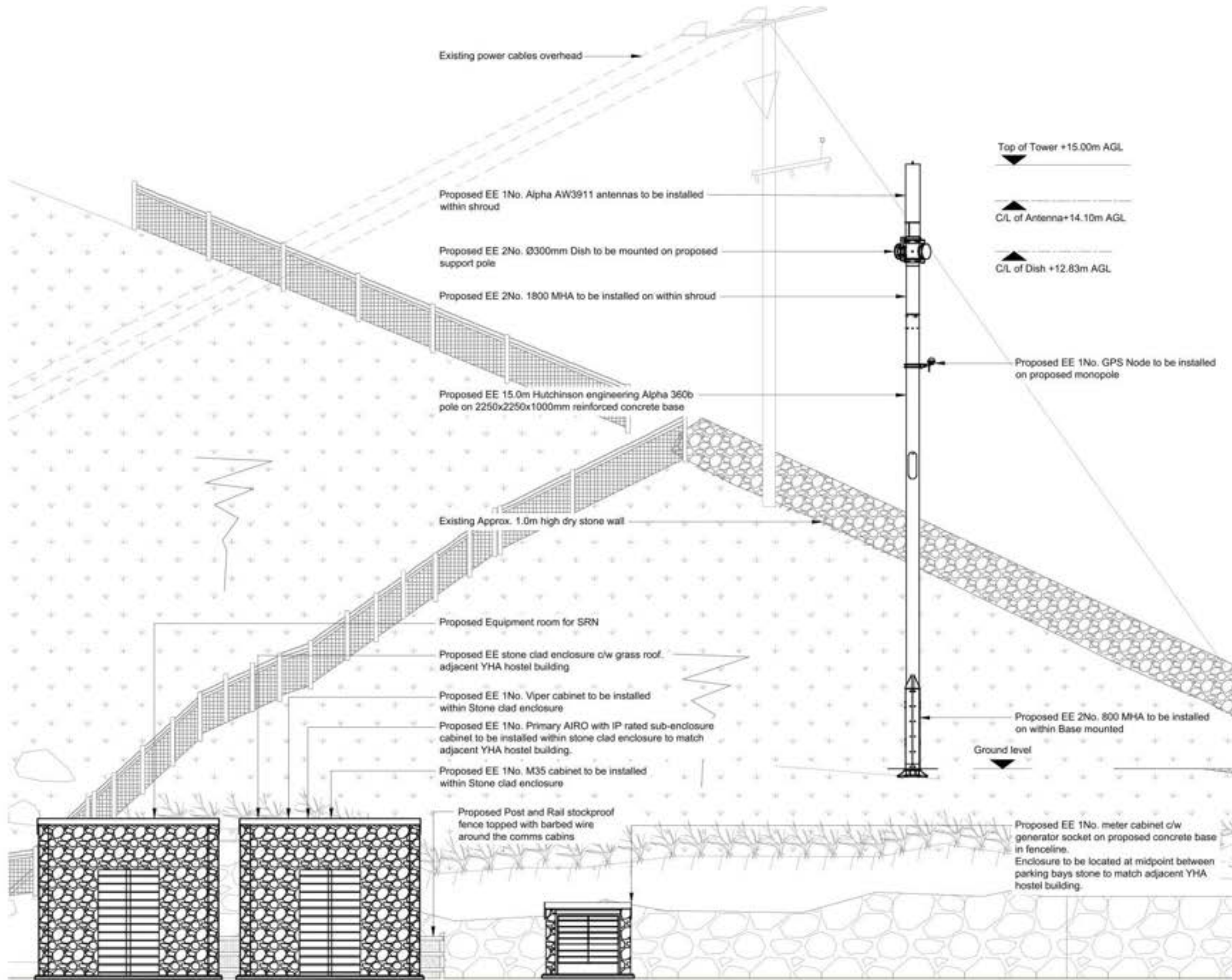


NOTES:
1. ALL DIMENSIONS IN MM UNLESS OTHERWISE NOTED.

Issue	MBNL EE 1003	Project	EE EAS	Purpose of Issue	Plan
M001	MBNL	EE EAS	Planning	F	
Date	31/05/2023	Revision / Upgrade Description	Seventh Issue: Comments Revised		
Drawn	Nauman B	Checked	ES	Approved	MITIE DA
Issue	MBNL EE 1003	Project	EE EAS	Purpose of Issue	Plan
M001	MBNL	EE EAS	Planning	E1	
Date	23/01/2023	Revision / Upgrade Description	Sixth Issue: Comments Revised		
Drawn	AAAG	Checked	ES	Approved	MITIE DA
Issue	MBNL EE 1003	Project	EE EAS	Purpose of Issue	Plan
M001	MBNL	EE EAS	Planning	E	
Date	20/12/2022	Revision / Upgrade Description	Fifth Issue: Comments Revised		
Drawn	AAAG	Checked	ES	Approved	MITIE DA
Issue	MBNL EE 1003	Project	EE EAS	Purpose of Issue	Plan
M001	MBNL	EE EAS	Planning	D	
Date	20/12/2022	Revision / Upgrade Description	Fourth Issue: Comments Revised		
Drawn	Vimal V	Checked	ES	Approved	MITIE DA



Site Name:	PEN Y PASS		
EAS Site Reference:	EAS1019		
Address:	PEN-Y-PASS NANT GWYNANT CAERNARFON LL55 4NU		
Title:	200 PROPOSED SITE PLAN		
Project:	EE EAS		
Purpose of Issue:	GENERAL ARRANGEMENT		
EE Site ID:	78823	SRN Site ID:	SRN1019
Master Drawing No:	EAS1019F_78823_SRN1019_M001	Issue:	F



PROPOSED SITE ELEVATION B



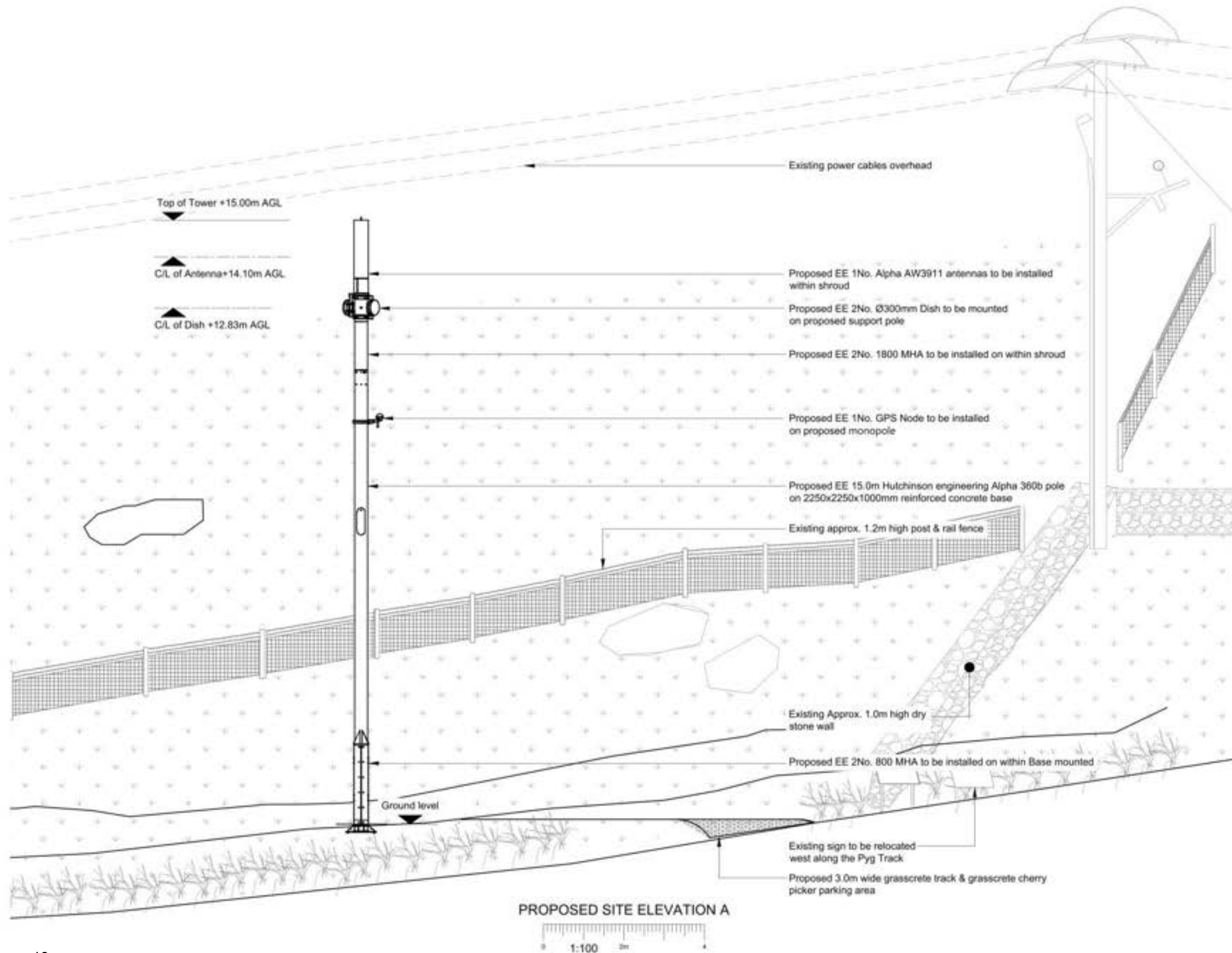
NOTES:
1. ALL DIMENSIONS IN MM UNLESS OTHERWISE NOTED.

Master	MBNL / EE / 1003	Project	EE EAS	Purpose of Issue	Planing	Issue	F
Date	31/05/2023	Revision / Upgrade Description	Seventh Issue: Comments Revised				
Drawn	Neveen B	Checked	ES	Approved	MITIE CA		
Master	MBNL / EE / 1003	Project	EE EAS	Purpose of Issue	Planing	Issue	E1
Date	23/01/2023	Revision / Upgrade Description	Sixth Issue: Comments Revised				
Drawn	AAAG	Checked	ES	Approved	MITIE CA		
Master	MBNL / EE / 1003	Project	EE EAS	Purpose of Issue	Planing	Issue	E
Date	20/12/2022	Revision / Upgrade Description	Fifth Issue: Comments Revised				
Drawn	AAAG	Checked	ES	Approved	MITIE CA		
Master	MBNL / EE / 1003	Project	EE EAS	Purpose of Issue	Planing	Issue	D
Date	20/12/2022	Revision / Upgrade Description	Fourth Issue: Comments Revised				
Drawn	Vimal V	Checked	ES	Approved	MITIE CA		



Site Name: PEN Y PASS
 EAS Site Reference: EAS1019
 Address: PEN-Y-PASS
 NANT GWYNANT
 CAERNARFON
 LL55 4NU

Title	251 PROPOSED SITE ELEVATION B	
Project	EE EAS	
Purpose of Issue	GENERAL ARRANGEMENT	
EE Site ID	78823	SRN Site ID
		SRN1019
Master Drawing No.	EAS1019F_78823_SRN1019_M001	
Issue	F	



NOTES:
1. ALL DIMENSIONS IN MM UNLESS OTHERWISE NOTED.

Issue	Rev	Project	Purpose of Issue	Issue
M001	MBNL	EE EAS	Planning	F
Date: 31/05/2023		Revision 1 Upgrade Description		
Drawn: Neuman B		Seventh Issue: Comments Revised		
Checked: JH				
Approved: MITIE CA				
Issue	Rev	Project	Purpose of Issue	Issue
M001	MBNL	EE EAS	Planning	E1
Date: 23/01/2023		Revision 1 Upgrade Description		
Drawn: AAAG		Sixth Issue: Comments Revised		
Checked: ES				
Approved: MITIE CA				
Issue	Rev	Project	Purpose of Issue	Issue
M001	MBNL	EE EAS	Planning	E
Date: 20/12/2022		Revision 1 Upgrade Description		
Drawn: AAAG		Fifth Issue: Comments Revised		
Checked: ES				
Approved: MITIE CA				
Issue	Rev	Project	Purpose of Issue	Issue
M001	MBNL	EE EAS	Planning	D
Date: 20/12/2022		Revision 1 Upgrade Description		
Drawn: Vimal V		Fourth Issue: Comments Revised		
Checked: JH				
Approved: MITIE CA				



Site Name:	PEN Y PASS
EAS Site Reference:	EAS1019
Address:	PEN-Y-PASS NANT GWYNANT CAERNARFON LL55 4NU
Title:	250 PROPOSED SITE ELEVATION A
Project:	EE EAS
Purpose of Issue:	GENERAL ARRANGEMENT
EE Site ID:	78823
SRN Site ID:	SRN1019
Master Drawing No:	EAS1019F_78823_SRN1019_M001
Issue:	F

Snowdonia National Park Authority Date: 06-Dec-2023
– Planning & Access Committee

Application Number: NP4/19/62A

Date Application Registered: 05/10/23

Community: Henryd, Conwy

Grid Reference: 276527.4 377352.4

Case Officer: Mrs. Alys Tatum

Location:

Land near Tyrau Duon, Sychnant, Conwy.
LL32 8BZ

Applicant:

Tanya McCormack
27 Llys Famau
Ruthin
Denbighshire
LL15 1LJ

Description:

Retrospective application for the erection of a building for mixed use agricultural and keeping of horses

Summary of the Recommendation:

To GRANT permission subject to conditions relating to:

- In accordance with approved plans.
- Materials
- Use
- External lighting
- Landscaping

**Reason(s) Application Reported to Committee:
Scheme of Delegation**

Community Council has expressed a contrary view to the recommendation, based on sound planning reasons, which was received within the consultation period.

Land Designations / Constraints:

Open countryside

Environmental Impact Assessment (EIA):

The development has been subject to a screening opinion which concluded that the development is not EIA development.

Site Description:

The site is situated within the open countryside of Henryd, Conwy. The building is located within an open field which is bounded by hedging, situated to the north of the Sychnant Pass Road. The building is set back from the road itself and is accessed via a gate further east along Sychnant Pass Road.

Proposed Development:

Permission is sought retrospectively for the erection of a building for mixed use agricultural and the keeping of horses. The building, which measures 9.8m x 7.3m, is designed to be open along the front and the north side, providing a sheltered area for the horses and sheep. The middle and rear sections are enclosed to accommodate for the storage of hay, feed, tack, tools and equipment. There is also a loft area on either end of the building which are accessed by separate ladders. These areas provide further storage. The construction of the building has not yet been completed.

Relevant Planning Policies:

Eryri Local Development Plan 2016 – 2031

Policy No.	Policy
<i>SP C</i>	<i>Spatial Development Strategy</i>
<i>SP D</i>	<i>Natural Environment</i>
<i>DP 1</i>	<i>General Development Principles</i>
<i>DP 6</i>	<i>Sustainable Design and Materials</i>

Supplementary Planning Guidance:

SPG 2	General Development Considerations
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National Policy:

Planning Policy Wales, edition 11

Consultations:

Community Council:	Object - Concerns for access and dangerous location - Not an agricultural holding
Conwy County Borough Council - Highways	No objection. Informatives recommended
National Resources Wales (NRW)	No objection

Welsh Water	No comments to make
Conwy County Borough Council – Planning Department	No objection subject to inclusion of a condition to provide additional landscaping
SNPA Ecology:	No objection
SNPA Agriculture	Initial comments raised concern regarding the agricultural use of the building

Response to Publicity:

The application has been publicised by way of a site notice.

At the time of writing this report 2 letters of support were received; their comments are summarised as:

- Attractive building that fits in with the landscape
- Building not visible from surrounding area

Assessment:

1. Background

1.1 This retrospective application has been submitted following an enforcement investigation (reference NP4/19/ENF62A) which concluded that the building did not benefit from planning permission.

1.2 Relevant Planning History

NP4/19/62 – Erection of a shelter/hay store. Approved 18/06/1992

1.3 A condition was included on the above permission requiring the building to be removed on or before 30/06/2002, however this condition was not complied with and the building remained on site permanently until it was damaged by storm in November 2021.

1.4 The description of the application was initially for the sole use as an agricultural building. However, following reviewing the application and the description of the proposed use of the building, it was evident that the use of the building was also largely for the keeping of horses. The applicant therefore agreed to change the description of the application to include a mix use of agriculture and the keeping of horses.

2. Principle of Development

2.1 The site is located within the Open Countryside. Under Strategic Policy C: Spatial Development Strategy, agricultural developments are acceptable within the open countryside subject to them being sympathetically accommodated in the landscape.

3. Planning Assessment

- 3.1 Local Plan Policy DP1: General Development Principles, states that development will only be permitted where i) the nature, location and siting, height, form and scale of the development is compatible with the capacity and character of the site and locality within which it is located. Under iii) it is required that the development is not unduly prominent in the landscape and will not significantly harm the amenity of neighbouring property.
- 3.2 The building is located within an open field and as it the only building within this field with all other surrounding developments being set back from the site, it does appear slightly isolated within the landscape. However, the building has the appearance of an agricultural building both in terms of its design and use of materials, meaning that it does not appear prominent or out of character in this location. The field that the building is situated within is also well screened by existing mature hedging meaning that it is not readily visible when viewed from the road.
- 3.3 It is acknowledged that the current building is significantly larger and taller than the shelter/hay store building which previously existed on site meaning that it is more visible within the landscape. However, it is considered that the justification put forward for a building of this scale and massing is considered acceptable. The submitted floorplans outline the use of all parts of the building with the majority of the floorspace providing open shelter for the animals and the remainder of the floorspace accommodating for storage. An agricultural holding number has been provided.
- 3.4 Local Plan Policy DP1 also requires under iv) that developments reflect a good sustainable design standard, using materials that are sympathetic to or enhance their surroundings and confirms with Development Policy 6: Sustainable Design and Materials. The materials used in the construction of the building, consisting of timber frame structure covered with larch cladding and green corrugated roofing, would allow the building to blend in it with its surroundings. The cover letter outlines that the building has been constructed from locally grown and milled timber by a local timber-framing company and the roof sheets are second hand.
- 3.5 As the site is situated close to the border with Conwy County Borough Council, their planning department were consulted on this application. No objection was raised to the proposal however they requested that a condition be included to require additional planting to provide screening on the approach from the east. In this instance, as the building is already well screened from the road and as further planting is proposed to the south and north, it is not considered necessary to request further planting to the east considering that a building did exist here previously.

- 3.6 Local Plan Policy DP1 requires an appropriate access meeting highway standards exists. An existing access to Sychnant Pass Road exists and Conwy County Borough Council Highways have been consulted on the proposal. They have raised no objection to the development.
- 3.7 There is an obligation to incorporate biodiversity enhancement with any application as required by paragraph 6.4.5 of Planning Policy Wales (Edition 11, February 2021). The Authority's ecologist has noted that no ecological surveys have been submitted in support of the application. However, the ecologist has outlined that from reviewing photographs of the site, the likelihood of the proposal impacting on protected species is considered negligible. There is also ongoing works on site which involve the planting of native species hedges and the planting of hay meadow, and these are outlined on the submitted plans. Therefore, the ecologist considers that the requirement to add further biodiversity enhancement measures may be waived on this occasion.
- 3.8 Natural Resources Wales (NRW) have been consulted on the proposal and have raised no objections. An informative relating to the pollution of controlled water will be included on any permission.
- 3.9 No external lighting is proposed for the building or the site. To minimise the effect on protected species, it is considered reasonable to include a condition that prevents any external lighting being added without first obtaining consent from the Authority.

4. Conclusion

- 4.1 Based on the above assessment, the application is considered to comply with the relevant development plan policies and the application is therefore recommended for approval subject to the inclusion of conditions and informatives.

Background Papers in Document Bundle No.1: No

RECOMMENDATION: To GRANT permission subject to the following conditions:

- 1) The development hereby permitted shall be carried out in accordance with the following approved plans:**
 - **Location Plan, Ordnance Survey plan, scale 1:2500**
 - **Site plan, drawing no. P-001 Rev A**
 - **Floor Plans, drawing no. P-002 Rev A**
 - **Elevations, drawing no. P-003 Rev A**
 - **Elevations, drawing no. P-004 Rev A**

- 2) The materials used in the construction of the approved building shall consists of those outlined on the approved plans. The materials shall be retained as such thereafter.**

- 3) The building hereby approved shall be used for mixed use agriculture and keeping of horses only and shall not be used for any other purposes of the Schedule to the Town and Country Planning (Use Classes) Order 1987 (as amended).**
- 4) No external lighting shall be erected on the shed unless approved by the Local Planning Authority by means of a formal application.**
- 5) Within 1 month of the date of decision a scheme of landscaping by means of a formal application shall be submitted to and approved by the local planning authority. The scheme shall include indications of all existing and proposed trees (including spread and species) and hedgerows on the land, identify those to be retained and set out measures for their protection throughout the course of development.**
- 6) All planting, seeding or turfing comprised in the approved details of landscaping shall be carried out in the first planting and seeding seasons following the occupation of the buildings or the completion of the development, whichever is sooner; and any trees or plants which within the period of 5 years from the completion of the development die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species.**

Reasons:

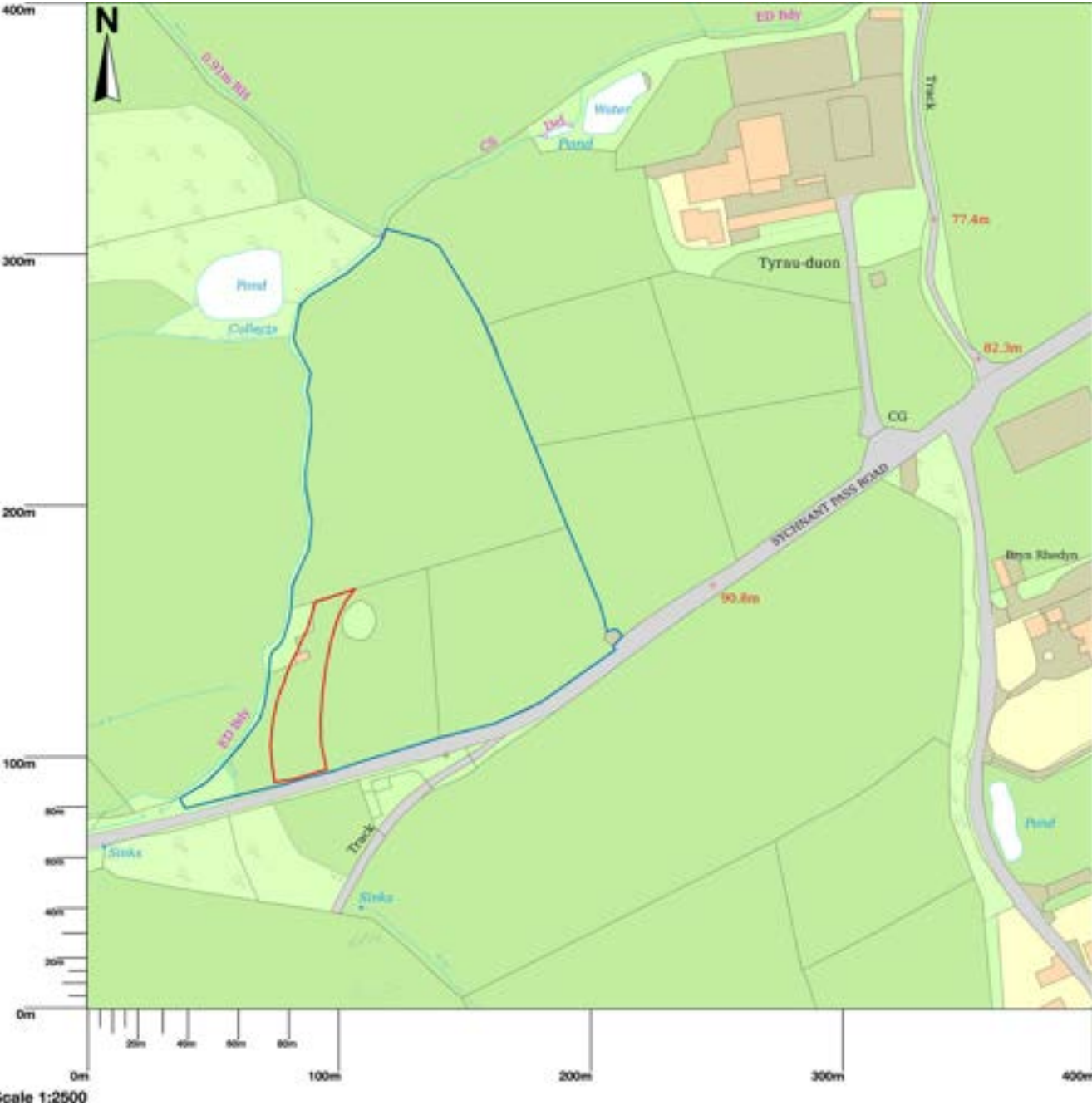
- 1) To comply with Section 91 (as amended) of the Town and Country Planning Act 1990.**
- 2) To ensure a satisfactory standard of appearance of the development and the use of appropriate local building materials, in accordance with Eryri Local Development Plan Policies and in particular Development Policies 1, 6 and Strategic Policy A.**
- 3) To ensure that other uses are subject to formal control by the Local Planning Authority in order to safeguard the amenities of the area.**
- 4) To ensure that appropriate lighting is installed in the interest of wildlife and in accordance with Eryri Development Plan policies, in particular policies 1 & D.**
- 5) To preserve and enhance the visual amenities of the area, in accordance with Eryri Local Development Plan policies and in particular Policy 1.**
- 6) To preserve and enhance the visual amenities of the area, in accordance with Eryri Local Development Plan policies and in particular Policy 1.**

Informatives:

Any manure produced should be managed (storage and application to land) in line with The Water Resources (Control of Agricultural Pollution) (Wales) Regulations 2021 and Code of Good Agricultural Practice guidance. Transition periods apply for manure management and further guidance is available in The Water Resources (Control of Agricultural Pollution) (Wales) Regulations 2021: guidance for farmers and land managers | GOV.WALES.



Land at Sychnant Passroad



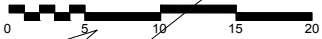
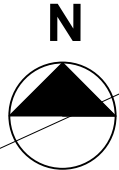
© Crown copyright and database rights 2023 OS 100054135. Map area bounded by: 276260,377017 276660,377417. Produced on 09 March 2023 from the OS National Geographic Database. Supplied by UKPlanningMaps.com. Unique plan reference: p16b/uk/919542/1241154





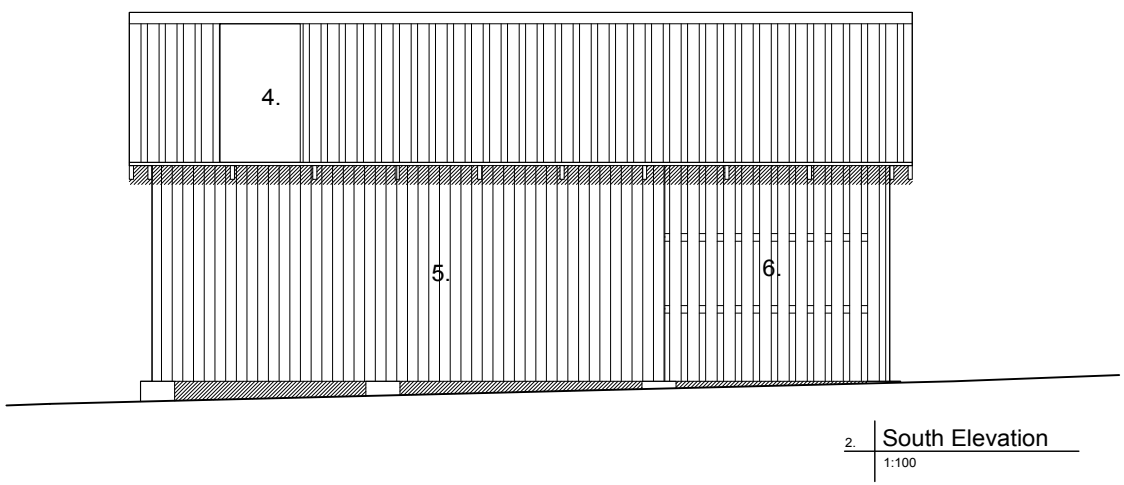
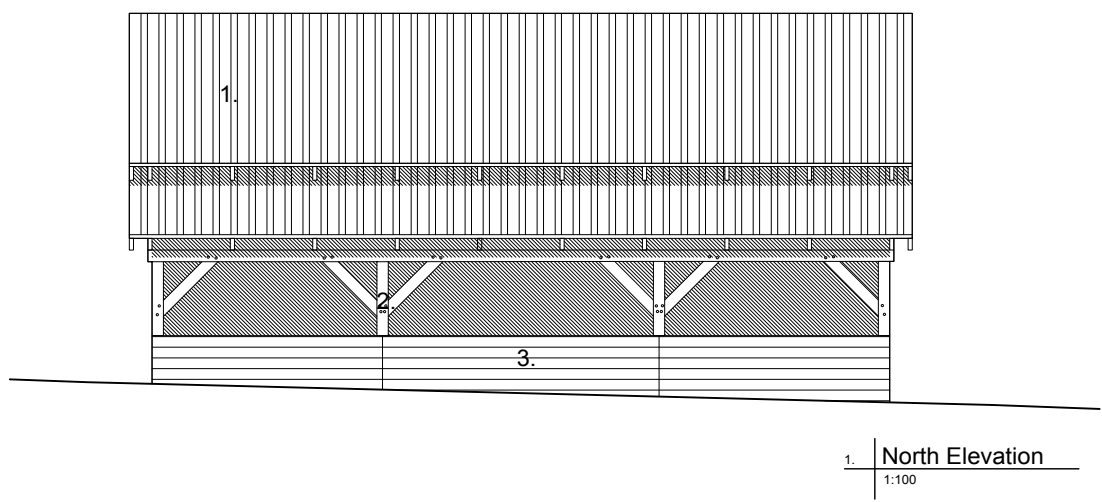
- Key:
- 1. New barn
 - 2. Old barn outline
 - 3. Proposed berm and trees
 - 4. Proposed planting

1. Site Plan
1:500

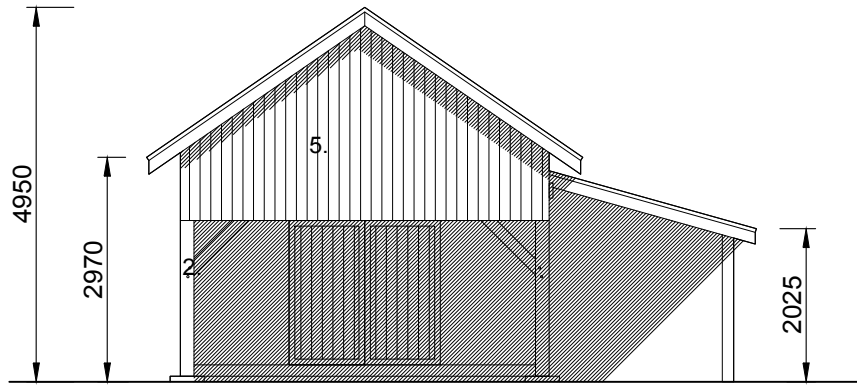


Project: Sychnant Pass		Stage: Planning	
Client: Tanya McCormack		Project No.: 23_2023	Date: 10/4/2023
Drawing Title: Site Plan		Drawing No.: P-001	Revision: A
Scale: 1:500	Drawn by: eb		

- Material Key:**
- 1. Green Corrugated Roofing
 - 2. Timber Frame
 - 3. Horizontal Larch Cladding
 - 4. Polycarbonate Panel
 - 5. Larch Cladding (stained dark brown)
 - 6. Yorkshire Boarding



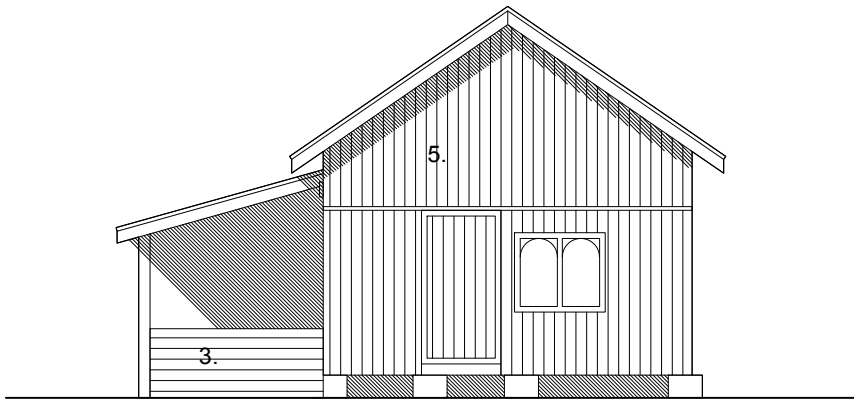
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Client: Tanya McCormack		Project No.: 23_2023	Date: 10/4/2023
Drawing Title: Elevations		Drawing No: P-003	Revision: A
Scale: 1:100	Drawn by: eb		



1. East Elevation
1:100

Material Key:

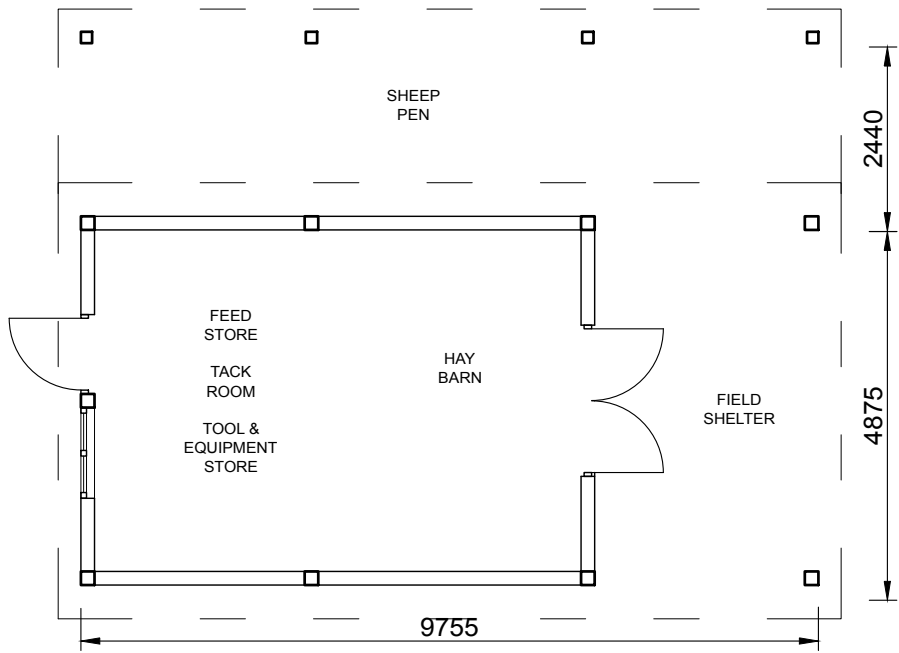
- 1. Green Corrugated Roofing
- 2. Timber Frame
- 3. Horizontal Larch Cladding
- 4. Polycarbonate Panel
- 5. Larch Cladding (stained dark brown)
- 6. Yorkshire Boarding



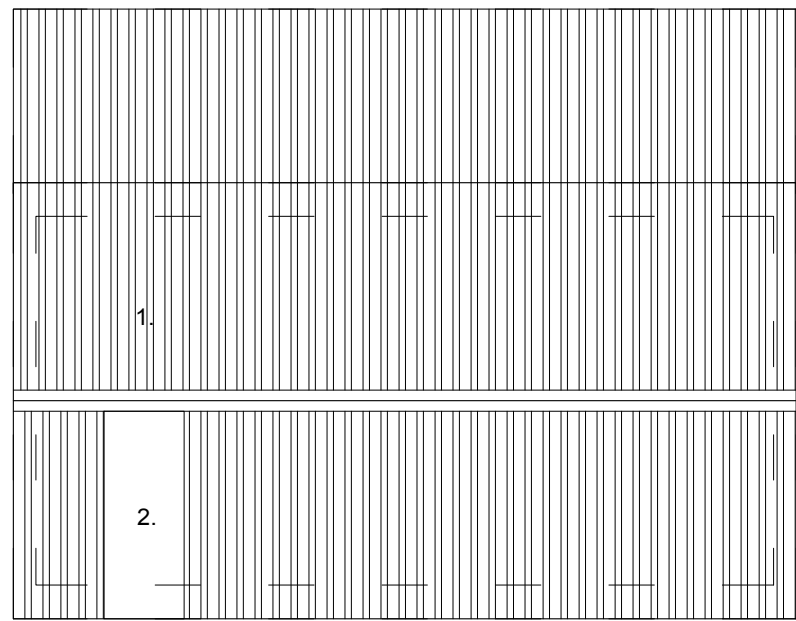
2. West Elevation
1:100



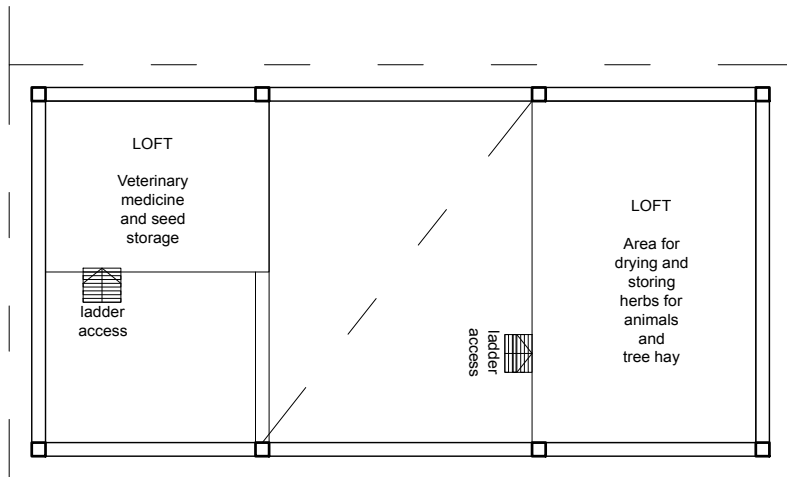
Project: Sychnant Pass		Stage: Planning	
Client: Tanya McCormack		Project No.: 23_2023	Date: 10/4/2023
Drawing Title: Elevations		Drawing No.: P-004	Revision: A
Scale: 1:100	Drawn by: eb		



1. Ground Floor Plan
1:100

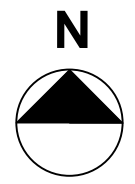


3. Roof Plan
1:100



2. Loft Floor Plan
1:100

Key:
 1. Green Corrugated Roofing
 2. Polycarbonate Panel



Project: Sychnant Pass		Stage: Planning	
Client: Tanya McCormack		Project No.: 23_2023	Date: 10/4/2023
Drawing Title: Floor Plans		Drawing No: P-002	Revision: A
Scale: 1:100	Drawn by: eb		

Snowdonia National Park Authority Date: 06-Dec-2023
– Planning & Access Committee

Application Number: NP5/54/585

Date Application Registered: 21/12/22

Community: Brithdir and Llanfachreth

Grid Reference: 280009 326479

Case Officer: Mr. Dafydd Thomas

Location:

Land at Tŷ Newydd-y-Mynydd, Rhydymain.

Applicant:
 Cornerstone
 c/o Agent

Description:

Installation of a 50m high lattice tower supporting 6 antennas, 4 transmission dishes, and installation of 2 ground based equipment cabinets, 1 meter cabinet, and ancillary development including the siting of a generator and associated fuel tank, formation of a hardstanding area, formation of new access track, and construction of a 1.1m high fenced compound

Summary of the Recommendation:

To **REFUSE** for the following reasons:

Detrimental impact to the surrounding landscape and 'special qualities' of the National Park and therefore in conflict with Planning Policy Wales, TAN 19, Eryri Local Development Plan policies SP A, SP D, DP 1, DP 2, DP 26 and Supplementary Planning Guidance 7, 13 and 15.

Reason(s) Application Reported to Committee:

Community Council support, officer recommendation of refusal.

Land Designations / Constraints:

- Open Countryside
- Dark Skies Core Zone
- Adjacent to Bridleway

Proposed Development:

Installation of a 50m high lattice tower supporting 6 antennas, 4 transmission dishes, and installation of 2 ground based equipment cabinets, 1 meter cabinet, and ancillary development including the siting of a generator and associated fuel tank, formation of a hardstanding area, formation of new access track, and construction of a 1.1m high fenced compound.

Relevant Planning Policies:

Eryri Local Development Plan 2016-2031

- Strategic Policy A: National Park Purposes and Sustainable Development
- Strategic Policy C: Spatial Development Strategy.
- Strategic Policy D: Natural Environment.
- Development Policy 1: General Development Principles.
- Development Policy 2: Development and the Landscape.
- Development Policy 6: Sustainable Design and Materials.
- Development Policy 26: Telecommunications

Supplementary Planning Guidance

- SPG 2: General Development Considerations.
- SPG 7: Landscape and Seascapes of Eryri.
- SPG 13: Landscape Sensitivity and Capacity Assessment.
- SPG 15: Telecommunications.

National Policy/Guidance:

- Planning Policy Wales (PPW), Edition 11, February 2021.
- Technical Advice Note 19: Telecommunications
- Future Wales 2040:
 - Policy 4: Supporting Rural Communities.
 - Policy 14: Planning in Mobile Action Zones.

Consultations:

<p><u>Brithdir & Llanfachreth Community Council</u></p>	<p><u>Support</u> – Reasoning behind supporting application stated as “that it is important that people who live and work in the countryside have mobile phone signal for businesses and for health and safety reasons, as well as for tourists to enjoy”.</p> <p>Community Council also queries whether companies such as Cornerstone would be able to pay a fee/financial contribution to community councils for the visual and environmental impact of these developments on the area.</p>
<p>Natural Resources Wales</p>	<p><u>Objection</u></p> <p>Protected Landscape – Due to the significance of the effects identified in our review,</p>

	<p>the proposals are expected to be considered contrary to national policy on the conservation and enhancement of natural beauty within National Parks (Planning Policy Wales).</p> <p>As we consider the proposal is likely to give rise to significant adverse landscape and visual effects, including harm to the special qualities of ENP (Eryri National Park), we recommend that you ensure alterations and other less sensitive locations for the mast and associated equipment, which provide the necessary coverage within the area, have been fully considered and ruled out.</p> <p>Protected Sites – Concerns raised that a significant effect from the proposed development on the Special Area of Protected (SPA) (Migneint-Arenig-Dduallt) cannot be ruled out. Advised that a revised ecological report be submitted. (This has since been provided, and the Authority await further response from NRW).</p>
Gwynedd Council – Footpaths Meirionnydd	No objection, comments raised relating to the protected of the adjacent public right of way should permission be granted.
Gwynedd Council – Environmental Health	No objection.
Gwynedd Council – Highways	<p>No objection in principle, however comments provided -</p> <p>“I have no objections in principle; however I am concerned about the size and frequency of the Vehicles associated with building the site.</p>

	<p>Because of this, I would ask the applicant to carry out a condition survey of the highway before and after the construction work is completed. The survey should identify the condition of the road surface, the verges and the boundary features from the junction with the A494 to the point where the road is unadopted. I would also advise the applicant to confirm with the North and Mid Wales Truck Road Agent that there is no objection to using the junction with the A494.”</p>
Ministry of Defence	No objection.
National Park – Forestry Officer	No response received to date.
National Park - Ecology	<p>No objection, however, comments raised including;</p> <ul style="list-style-type: none"> • Requirement of a Construction Environment Management Plan as recommended within the submitted Ecological Assessment Report. • Biodiversity enhancement measures not shown on the submitted drawings. • Amended Ecology Assessment report required (in line with the comments raised by NRW) (Further comments to be made on receipt of this amended report) – (The above since been provided, and the Authority await further response). • Habitat Regulation Assessment to be undertaken.

Response to Publicity:

The application has been publicised by way of a site notice, by letter to Community Council and statutory consultees and by letter to local residents.

As a response to the consultation, two letters of support have been received, citing the following:

- Application will provide essential coverage to the residents, business owners, and those visiting the area.
- Benefits of reliable mobile connectivity are far reaching and have positive impacts on many aspects of day to day life, making for a safer, more connected and more prosperous rural community.

Assessment:

1. Site Location

- 1.1 The proposed development site is located to the north of the village of Rhydymain, which is situated adjacent to the A494, a road that connects the town of Dolgellau to the south west and Bala to the north east.
- 1.2 The full address of the site is land situated at Ty-Newydd-Y-Mynydd, Llanuwchllyn, Bala, Gwynedd, LL40 2BS. The proposed site is situated on an area of hilly upland within proximity to 'Rhobell Fawr'.

2. Principle of Development

- 2.1 For developments such as this, the key issue for consideration is whether the proposals have an unacceptable adverse impact on the landscape of the area and on the 'special qualities' of the National Park.
- 2.2 At this stage, it is important to note that while officers are generally supportive of applications to improve the communications infrastructure within the National Park, care must be taken to ensure that the siting of such infrastructure, and in particular, the siting of large masts such as the application under question, has little impact on the landscape as possible. It is important therefore to fully consider the potential impact of such developments on the landscape whilst also considering the wider and overall benefit for the surrounding area and communities.
- 2.3 Furthermore, the siting of any telecommunications mast needs to be carefully considered therefore to ensure that the siting, height, form and scale is compatible with the capacity and the character of the site and is not unduly prominent in the landscape.

- 2.4 The most relevant ELDP policies in relation to landscape and telecommunications include Strategic Policy A and Development Policies 1, 2 and 26 together with Supplementary Planning Guidance 7, 13 and 15.
- 2.5 Development Policy 1 of the ELDP sets out the general development principles of the National Development, with the aim of conserving and enhancing the 'special qualities' and purposes of the National Park.
- 2.6 Similarly, Strategic Policy A of the ELDP sets out the key considerations that should be taken into account to help deliver sustainable development in Snowdonia, with the first on the criteria being to *give the highest priority to the protection and enhancement of the natural beauty, wildlife and cultural heritage.*
- 2.7 Development Policy 2 states that the scale and design of new development, including its setting, landscaping and integration should respect and conserve the character, qualities and views of the landscape.
- 2.8 Development Policy 26 of the ELDP is clear in that telecommunication developments will be permitted *provided that they do not significantly harm the visual amenity and landscape character of the area or adversely affect the amenity of people living close to the site.*
- 2.9 An assessment of ELDP policies against the proposal will be undertaken later within this report.

3. Background

- 3.1 A pre-application enquiry was submitted to the Authority in April 2022 for a 50m mast at the same location. In May 2022, a detailed response was issued by the Authority which concluded that a mast of such scale in this location *"may not be supported given the site's sensitivity to visual change and the conclusions of SPG 13 with regard to the capacity for mobile mast developments within the area. As noted within your plans, the trees on site reach a height of around 10m, whilst the mast itself would reach to 50m. This could potentially cause significant negative visual impacts to the landscape in this area."*
- 3.2 Subsequent to the above, a planning application (reference NP5/54/585) for the 50m mast was submitted to the Authority.
- 3.3 The application is prepared and presented by Clarke Telecom on behalf of Cornerstone as part of the Shared Rural Network Project.
- 3.4 The Shared Rural Network is a project on behalf of Vodafone, Telefonica and Three which requires a new mast to support all three main operators' equipment in order to provide 4G geographical coverage in a rural location. The proposal is part of the Government backed scheme to improve 4G coverage for people living, working and travelling in poorly served rural areas.

4. Planning Assessment

- 4.1 In the first instance, it is important to note that the Authority is fully aware of the need for modern communications in order to fully exploit the social and economic development potential of the area. Furthermore, officers of the National Park fully recognise the importance of providing mobile coverage where little or no current infrastructure is present. This is demonstrated through the Authority's telecommunication equipment application statistics which show that since 2019 (and as of July 2023), the Authority has refused only 3 telecommunication mast applications and approved over 20 applications.
- 4.2 However, and as already outlined, a primary consideration for this application is whether the proposal will have an unacceptable adverse impact on the landscape of the area and on the 'special qualities' of the National Park. Care needs to be taken when the site is located within the National Park and the highest priority needs to be given to the protection and enhancement of the natural beauty, landscape, wildlife and cultural heritage.
- 4.3 The Authority will not therefore support the provision of telecommunications infrastructure if the landscape character and visual amenity of the National Park are seriously compromised through the inappropriate design or location of installations. This would compromise the National Parks core purposes to conserve and enhance the 'Special Qualities' and purposes of the National Park as defined in Strategic Policy A and be contrary to Development Policy 1 of the Eryri Local Development Plan (ELDP).
- 4.4 The above core principles and purposes are also echoed through National Policy, such as Planning Policy Wales (Edition 11, February 2021). Planning Policy Wales in Section 6.3.6 states that in National Parks, *"planning Authorities should give great weight to the statutory purposes of National Parks, which are to conserve and enhance their natural beauty, wildlife and cultural heritage, and to promote opportunities for public understanding and enjoyment of their special qualities. Planning authorities should also seek to foster the social, economic and cultural well-being of their local communities"*.
- 4.5 Planning Policy Wales Section 6.3.4 also states that "where adverse effects on landscape character cannot be avoided, it will be necessary to refuse planning permission". Section 6.3.8 goes on to state that "National Parks and AONBs are of equal status in terms of landscape and scenic beauty and must both be afforded the highest status of protection from inappropriate developments".

- 4.6 Supplementary Planning Guidance 7 (Landscapes and Seascapes of Eryri) and Supplementary Planning Guidance 13 (Landscape Sensitivity and Capacity Assessments) provides advice on the sensitivity of the landscape and splits the National Park into separate Landscape Character Areas. The proposed site is identified as being within Landscape Character (LCA) 15 Yr Arenig. The key characteristic of this area is defined in SPG 7 as an “high, open upland landscape riding to a maximum of 854m at Arenig Fawr. It also includes the submits of Moel Llyfnant and Rhobell Fawr”. SPG 13 states that sensitivity to mobile mast development within this area, due to its characteristics, is very high. Any development within this area should therefore be considered carefully.
- 4.7 Development Policy 26 of the ELDP deals specifically with telecommunications. This policy states telecommunications *developments “will be permitted provided they do not significantly harm the visual appearance and character of the area or adversely affect the ‘Special Qualities’ of the National Park and the amenity of people living close to the Site”.*
- 4.8 Development Policy 2 protects the National Park from developments that do not respect and conserve the character, qualities and views of the landscape. Unacceptable impacts of the landscape will be restricted, and particular regard will be had to the protection of particular designations.
- 4.9 Development Policy 2 states that unacceptable impacts on the landscape will be resisted and particular regard will be had for the protection of;
- I. The Snowdonia Dark Skies Reserve, in particular Core Areas.
 - I. The Dyfi Biosphere Reserve.
 - II. Section 3 areas of natural beauty.
 - III. Undeveloped coast.
 - IV. Panoramas visible from significant viewpoints.
 - V. Sensitive Landscape Character Areas.
- 4.10 As noted, the proposed development resides within Snowdonia Landscape Character Area (LCA) 15 – Yr Arenig, within a Dark Skies Core Zone as well as within an area of panoramas visible from significant viewpoints (as outlined within SPG 7). Therefore, consideration and attention has been given to the proposal and any adverse impact on the landscape in line with the local and national policies mentioned.
- 4.11 As part of the submission to the Authority, the applicant has included a Landscape and Visual Impact Assessment (LVIA) and photomontages of the site area. Initially, two viewpoints were provided, which concluded that the development would only have a minor adverse impact. Viewpoint 1 is located on a PRoW looking south east towards the proposed development form a distance of approximately 3.5km,

whilst view point 2 is located on a Bridleway some 500m from the site, looking south east towards the proposed development. The LVIA concluded that in terms of visual effect, the development would result in a 'minor adverse' effect on both viewpoints.

- 4.12 At the request of Natural Resources Wales, a further three viewpoints were included and a LVIA addendum submitted. The LVIA addendum included additional viewpoints, taken from the summit of Dduallt, from the summit of Rhobell Fawr and a viewpoint which illustrates the current forestry surrounding the mast. The addendum concluded that the original findings of the LVIA remain valid and illustrate that the worst case scenario and level of effect would remain the site, with this being a minor adverse effect.
- 4.13 In response to the additional information, Natural Resources Wales (NRW) objected to the application on the grounds of the impact of the development on the protected landscape. NRW noted the effects to be moderate/major adverse and that as a result the sensory and perceptual qualities of Eryri National Park would be harmed. NRW noted that that the scheme would be particularly harmful as it would introduce a prominent detractor into a landscape context that is specifically valued for its high levels of tranquillity and solitude and its natural beauty.
- 4.14 On balance of all the information provided, officers concur with comments made by NRW of the impact of the development on the surrounding landscape. The site is an area that has a high sensitivity to mobile masts and within an area which is high open landscape with minimal intrusive features such as telecommunication masts. It is considered that a mast of this scale, 50m, within such a rural and uninterrupted location, would no doubt be of harm the special qualities of the National Park and is therefore considered to be unacceptable in landscape terms.
- 4.15 It is considered therefore that the proposed development is contrary to Development Policy 1, Development Policy 2 and Development Policy 26 of the Eryri Local Development Plan.
- 4.16 As previously outlined however, officers of the National Park fully recognise the importance of providing mobile coverage where little or no current infrastructure is present. With a development of such significance as this, the Authority require a comprehensive justification. In this instance however, on consideration of all the information provided, it is deemed that this has not been provided.
- 4.17 As part of the planning application submission, existing and coverage plots have been provided by the applicant, which indicate the areas likely to receive the additional coverage. As noted within the drawings however, the adjacent A494, the village of Rhydmain, Ganllwyd, summit of Rhobell Fawr is shown to already benefit from 4G coverage. It is considered, based on the information provided, that the gain and wider benefit from this 50m mast will be minimal.

The site resides within proximity of Rhobell Fawr and other mountains within the Arenig Range, and whilst the Authority acknowledges that such a development could bring other benefits such as to mountain safety, no evidence of this has been provided by the applicant, and as such the Authority are only able to speculate on this.

- 4.18 It should be noted that a number of documents have been submitted to the Authority which outline the wider benefits of the 'Shared Rural Network Scheme', however, these are not site specific and do not comprehensively demonstrate the benefits this development would specifically bring to the nearby local communities and surrounding area, such as to the adjacent village of Rhydymain or those living/working/visiting the nearby area.
- 4.19 It is considered therefore that no comprehensive justification has been provided for the application and that any benefits of such a development does not out-weight the likely impact of the development of this scale on the landscape.
- 4.20 Notwithstanding the above, as noted within Planning Policy Wales, planning authorities should provide '*great weight to the statutory purposes of National Parks, which are to conserve and enhance their natural beauty*'. As the impact of the development on the landscape is shown to be significant, regardless of any justification provided, it is the Authority's duty to protect and enhance the 'special qualities' of the National Park and this should be the primary consideration of an application such as this. Therefore, based on the consideration that the development is unacceptable in landscape terms, it is the officers' opinion that a development such as this cannot be supported.
- 4.21 It is important to note that at the time of writing, in response to additional information requests from the Authority's ecologist and NRW, the applicant has submitted a revised ecological report and an Environmental Management Plan. This is currently under consideration and the Authority await additional comments.
- 4.22 NRW also raised the requirement that a Habitat Regulation Assessment needs to be carried out, which is due to be undertaken by the Authority once the additional information outlined above has been considered.
- 4.23 Whilst there are outstanding ecological matters still to be resolved, such as the undertaking of a Habitat Regulation Assessment, the overarching issue of the adverse impact of the proposed development on the surrounding landscape remain and is the primary consideration for this application.

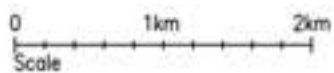
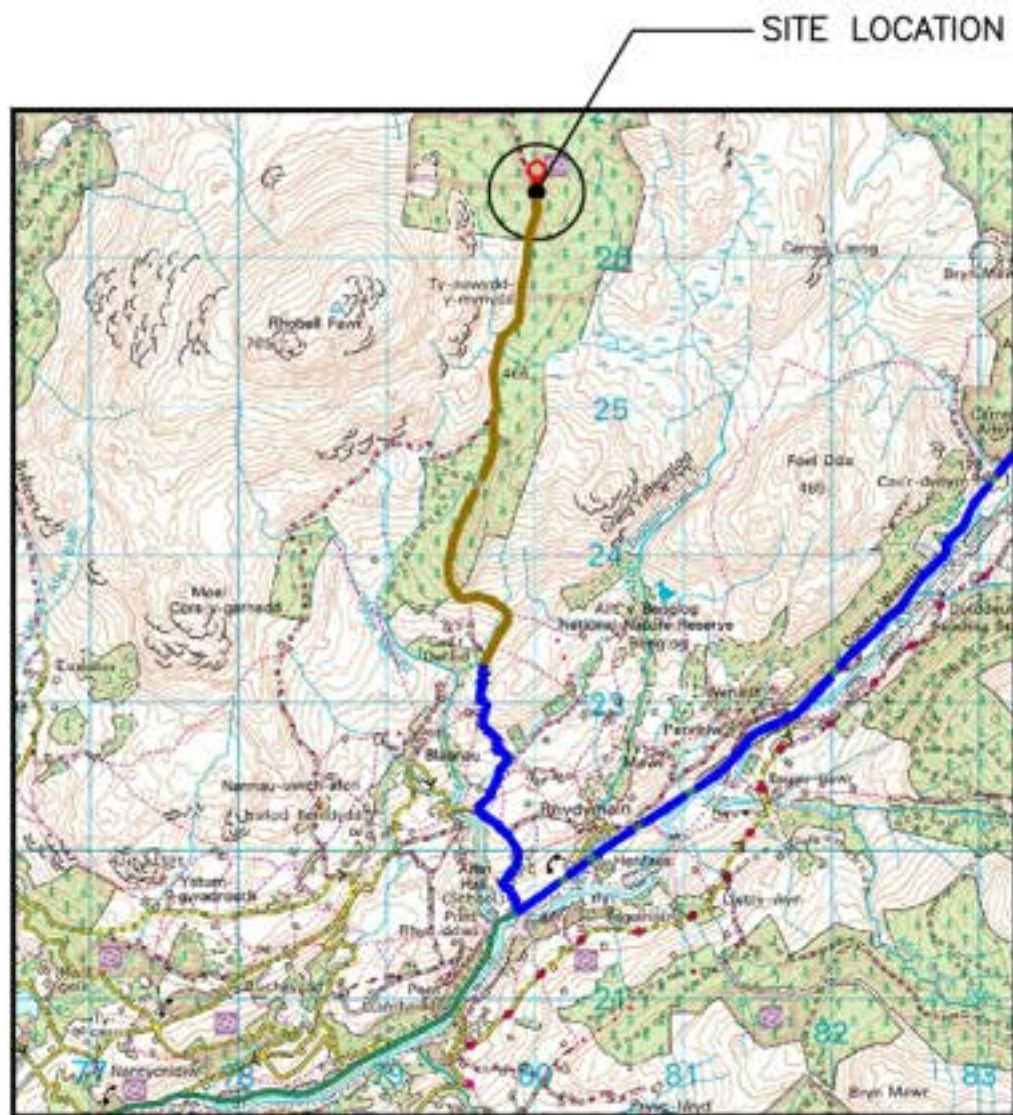
5. Conclusion

- 5.1 Officers of the National Park fully recognise the importance of providing mobile coverage where little or no current infrastructure is present. However, for developments such as this, the key issue for consideration is whether the proposals have an unacceptable adverse impact on the landscape of the area and on the 'special qualities' of the National Park
- 5.2 As outlined within Planning Policy Wales, planning authorities should provide *great weight to the statutory purposes of National Parks, which are to conserve and enhance their natural beauty.*
- 5.3 Officers consider that no comprehensive justification has been provided for the development and that with the mast proposed to be erected at a prominent location at a high point of a visually sensitive area and at a height of 50m, this application will harm the 'special qualities' of the National Park.
- 5.4 It is considered that the proposed development be contrary to DP 1, DP 2, DP 26 of the ELDP as well as SPG 7, SPG 13, SPG 15 PPW and TAN 19.
- 5.5 Therefore, it is recommended that the application is refused.

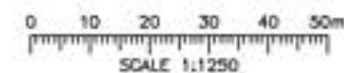
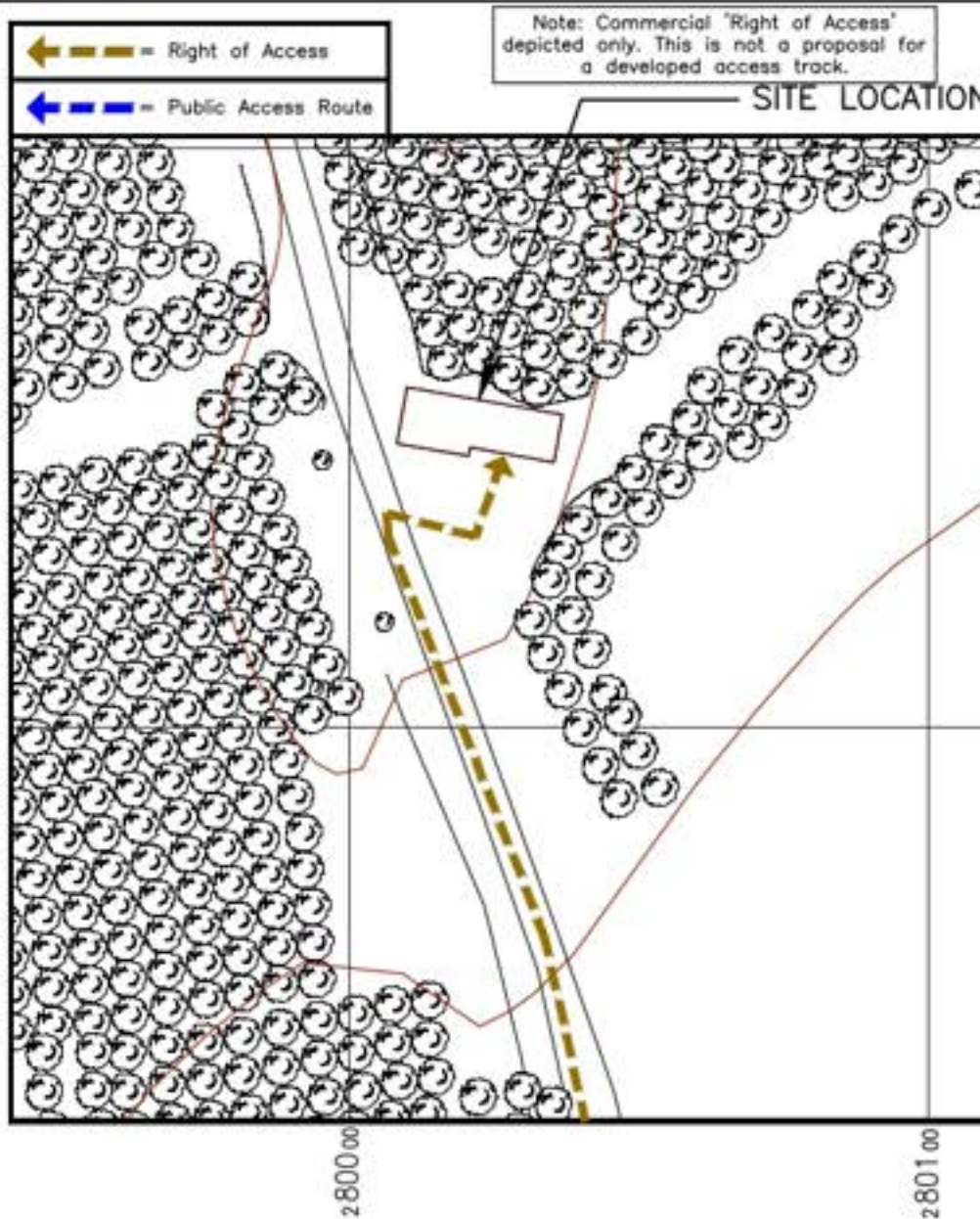
Background Papers in Document Bundle No.1: No

RECOMMENDATION: To REFUSE planning permission for the following reasons:

By reason of this application proposing a telecommunications mast of a size and at a location which is considered to be significantly prominent in the landscape, it would adversely harm the Special Qualities of the National Park to the detriment of the landscape character and thereby be in conflict with Planning Policy Wales (PPW), Edition 11, Eryri Local Development Plan policies SP A, SP D, DP 1, DP 2, DP 26, Supplementary Planning Guidance (SPG) 7, SPG 13, SPG 15 and Technical Advice Note 19: Telecommunications.



SITE LOCATION
(Scale 1:50000)
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DETAILED SITE LOCATION
(Scale 1:1250)
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SITE PHOTOGRAPH

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N.G.R E: 280004 N: 326487
DIRECTIONS TO SITE:
TRAVEL WEST ON THE A5 UNTIL YOU REACH THE TURNING FOR THE A494. CARRY ON THE A494 FOR 21.5MILES, THEN TAKE THE RIGHT TURN AND TRAVEL ALONG THE ROAD FOR 0.55MILES AND THEN TURN RIGHT. CARRY ON THE ROAD FOR 0.25MILES AND THEN TURN LEFT. FOLLOW THE ROAD FOR 2.75MILES AND THE PROPOSED SITE IS ON THE RIGHT.

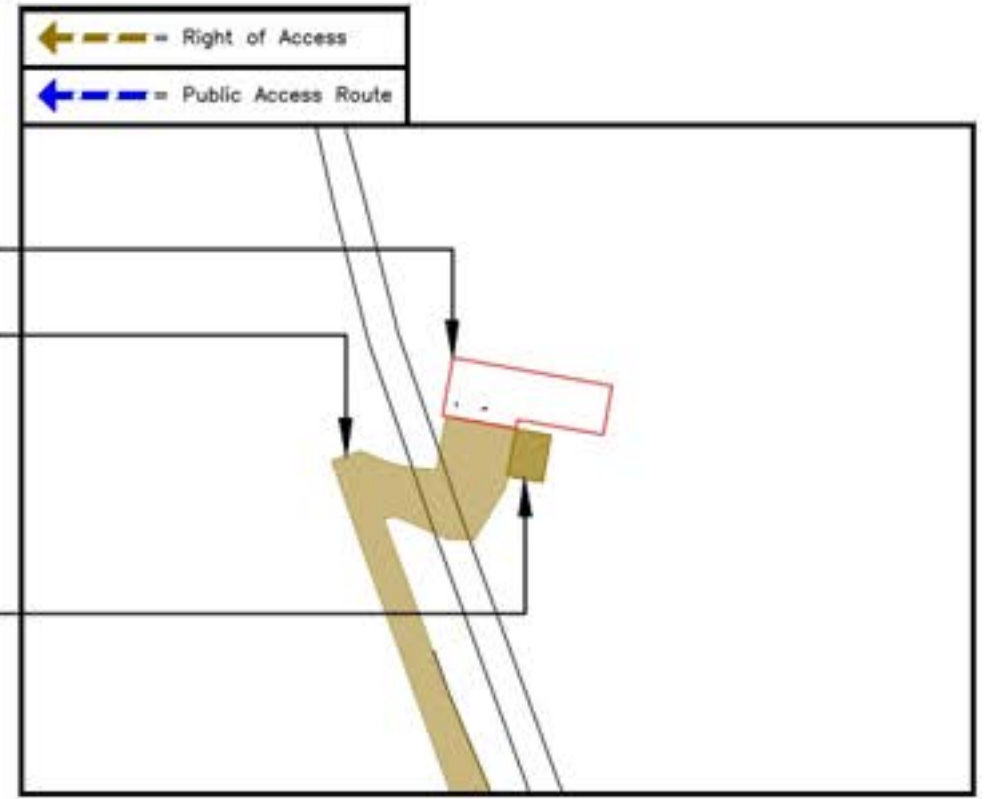
NOTES:

REV	MODIFICATION	BY	CH	DATE
B	Solar Solution Added Site Demise Increased	CMB	AL	06.10.22
A	First Issue	AMW	JG	08.03.22

Unit 5, Madford Park, Northampton Road, Manchester, M40 5AG
Tel: 0161 781 4500
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Web: www.clarke-telecom.com

Cell Name	Opt.	
TY-NEWYDD-Y-MYNYDD	-	
Cell ID No		
CS ID	TEF	VF
30536700	-	20569
CS E REF	THREE	TRIDENT
E369492	LL0498	8519274
Site Address / Contact Details		
LLANWCHYLLYN BALA GWYNEDD WALES LL40 2BS		

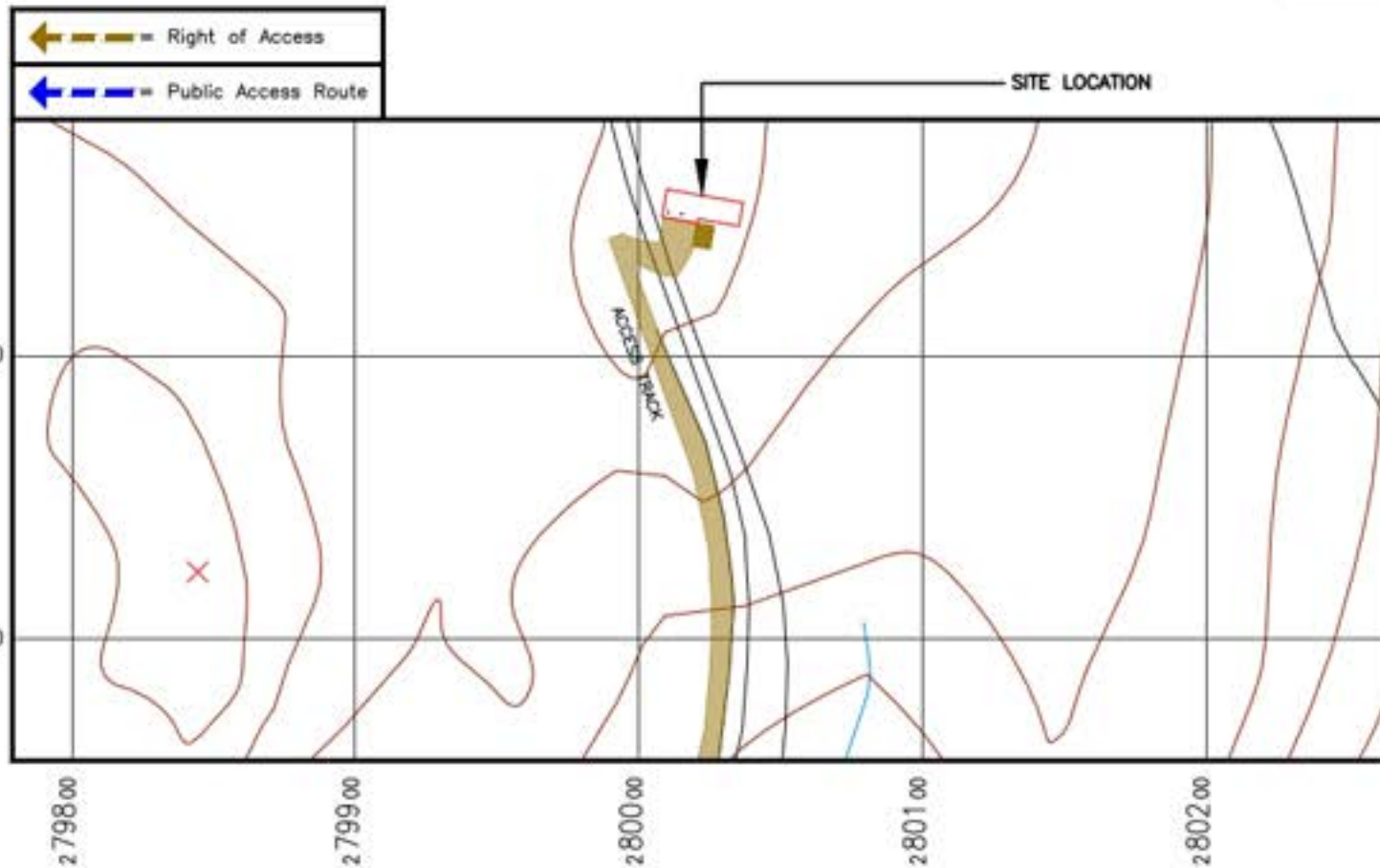
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Purpose of Issue:	PLANNING	Dwg Rev:	
Drawing Number:	101		B
Surveyed By:	CL	Original Sheet Size:	A3
Drawn:	AMW	Date:	08.03.22
Checked:	JG	Date:	08.03.22
Pack Issue:			D



PROPOSED EQUIPMENT AREA

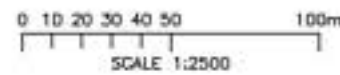
PROPOSED ACCESS AREA

PROPOSED SET DOWN AREA



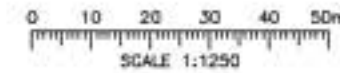
DETAILED SITE LOCATION
(Scale 1:2500)

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DETAILED SITE LOCATION
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N.G.R E: 280004 N: 326487

SITE ACCESS KEY

- PUBLIC ACCESS ROUTE
- EQUIPMENT SPACE
- EQUIPMENT AIRSPACE
- ACCESS SPACE
- SET-DOWN SPACE
- PROPOSED INTERNAL ACCESS
- PROPOSED TRANSMISSION SUPPLY
- PROPOSED DNO AC SUPPLY

TOTAL AREA OF EQUIPMENT SPACE = 359.10 m²

TOTAL AREA OF ACCESS SPACE = 6241.10 m²

TOTAL AREA OF SET-DOWN SPACE = 48.00 m²

NOTES:

REV	Page Added	BY	CHK	DATE

Unit E, Madock Place, Northampton Road, Manchester, M40 5AG
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Cell ID No		
CS ID	TEF	VF
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Site Address / Contact Details

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LL40 2BS

Drawing Title: CODE AGREEMENT DRAWING

Purpose of issue: PLANNING

Drawing Number: 102

Surveyed By: ROY

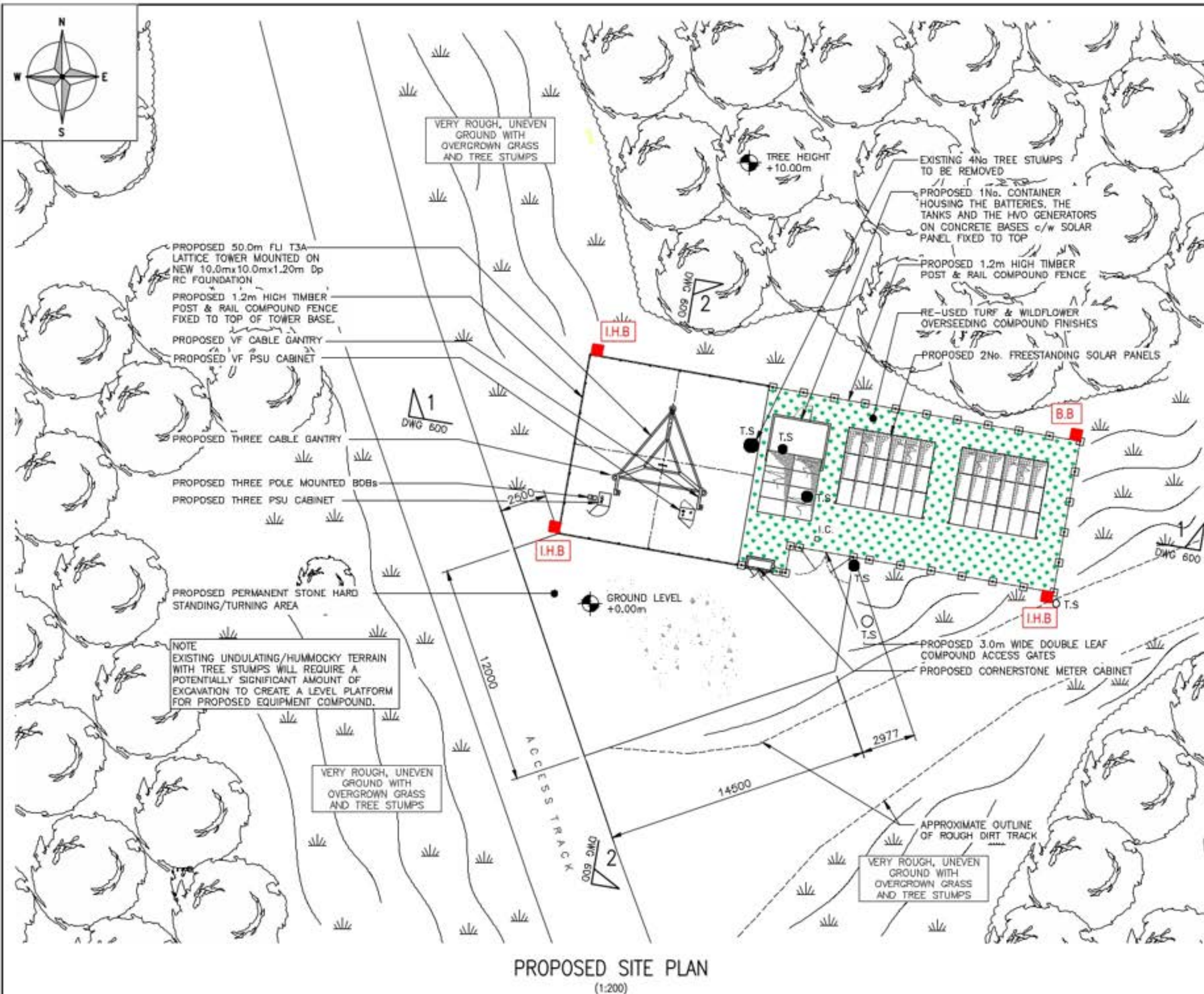
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Drawn: AMW Date: 20.09.23 Checked: MK Date: 20.09.23

Dwg Rev: D

Pack Issue: D

The drawings comply with TEF & Vodafone Standard ICNIRP guidelines.
Designed in accordance with CORNERSTONE document: SDN0142



ALL DIMENSIONS ARE IN mm UNLESS NOTED OTHERWISE

N.G.R E: 280004 N: 326487

- NOTES:
- T.S - EXISTING TREE STUMPS
 - T.S ● - EXISTING TREE STUMPS TO BE REMOVED
 - I.H.B - PROPOSED INSECT HABITAT BOX
 - B.B - PROPOSED BUMBLEBEE BOX



TYPICAL INSECT HABITAT BOX



TYPICAL BUMBLEBEE BOX

REV	MODIFICATION	BY	CH	DATE
B	Solar Solution Added	AMW	AL	06.10.22
A	First Issue	AMW	JG	08.03.22

Unit 4, Madison Place, Northampton Road,
Manchester, M40 5AG
Tel: 0161 781 4500
Fax: 0161 781 4501
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Cell Name: TY-NEWYDD-Y-MYNYDD

Cell ID No:

CS ID	TEF	VF
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LL40 2BS

Drawing Title: PROPOSED SITE PLAN

Purpose of Issue: PLANNING

Drawing Number: 200

Drawn	Date	Checked	Date
AMW	08.03.22	JG	08.03.22

The drawings comply with TEF & Vodafone Standard ICNIRP guidelines.
Designed in accordance with CORNERSTONE document: SDN0142

PROPOSED VF 1No. GPS MODULE MOUNTED TO ANTENNA POLE ABOVE ANTENNA

PROPOSED 1No. #600 VF DISH (D1) ON SUPPORT POLE FIXED TO HEADFRAME WITH Z BRACKETS SUPPLIED BY FLA

PROPOSED 1No. THREE ANTENNA PER SECTOR (3No. ANTENNAS TOTAL) MOUNTED ON HEADFRAME

PROPOSED 1No. VF ANTENNA PER SECTOR (3No. ANTENNAS TOTAL) MOUNTED ON HEADFRAME

PROPOSED 6No. VF & 6No. THREE RRU's IN UPPER RRU APERTURE

PROPOSED 1No. VF 600 DIA DISH @ 14' (D3) & 1No. THREE 600 DIA DISH (D4)

PROPOSED 3No. VF & 3No. THREE RRU's IN LOWER RRU APERTURE

PROPOSED 1No. THREE #600 DISH (D2) ON SUPPORT POLE FIXED TO HEADFRAME WITH Z BRACKETS SUPPLIED BY FLA

C/L OF PROPOSED DISHES +50.50m AGL

C/L OF PROPOSED ANTENNAS +48.65m AGL

C/L OF PROPOSED RRU'S +48.65m AGL

C/L OF PROPOSED RRU'S +46.00m AGL

C/L OF PROPOSED DISHES +46.80m AGL

PROPOSED 45No FLA FEEDER BRACKETS AT 1.0m CTS FOR THREE CABLE MANAGEMENT

PROPOSED 45No FLA FEEDER BRACKETS AT 1.0m CTS FOR VF CABLE MANAGEMENT

PROPOSED 50.0m FLI T3A LATTICE TOWER MOUNTED ON NEW 10.0m x 10.0m x 1.20m Dp RC FOUNDATION

PROPOSED TREE CABLE GANTRY

PROPOSED THREE PSU CABINET

PROPOSED THREE POLE MOUNTED BOBs

PROPOSED 1.2m HIGH TIMBER POST & RAIL COMPOUND FENCE

PROPOSED VF EQUIPMENT CABINET

PROPOSED CORNERSTONE METER CABINET

PROPOSED 3.0m WIDE DOUBLE LEAF COMPOUND ACCESS GATES

PROPOSED 1No. CONTAINER HOUSING THE BATTERIES, THE TANKS AND THE HVO GENERATORS ON CONCRETE BASES c/w SOLAR PANEL FIXED TO TOP

PROPOSED 2No. FREESTANDING SOLAR PANELS

TREE HEIGHT +10.00m AGL

RED DASHED LINE IS EXISTING GROUND PROFILE WHICH WILL NEED REMOVING TO FORM A LEVEL PLATFORM FOR PROPOSED EQUIPMENT COMPOUND

PROPOSED INSECT HABITAT BOX FIXED TO SIDE AND BACK OF COMPOUND.

FENCE POSTS FIXED TO TOWER BASE

FENCE POSTS IN MASS CONCRETE

PROPOSED INSECT HABITAT BOX FIXED TO FRONT OF COMPOUND AND BUMBLEBEE BOX FIXED TO BACK OF COMPOUND

PROPOSED SOUTH EAST ELEVATION

(1:250)

ALL DIMENSIONS ARE IN mm UNLESS NOTED OTHERWISE

N.G.R E: 280004 N: 326487

NOTES:
EXISTING UNDULATING/HUMMOCKY TERRAIN WITH TREE STUMPS WILL REQUIRE A POTENTIALLY SIGNIFICANT AMOUNT OF EXCAVATION TO CREATE A LEVEL PLATFORM FOR PROPOSED EQUIPMENT COMPOUND.

0	Dish Bearing Amend	AMW	MK	20.09.23
1	Solar Solution Added	CMH	AF	06.10.22
A	Final Issue	AMW	JG	08.03.23

REV	MODIFICATION	BY	CH	DATE
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CORNERSTONE - SRN

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CS E REF	THREE	TRIDENT
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Site Address / Contact Details	
LLANWCHYLLYN BALA GWYNEDD WALES LL40 2BS	

Drawing Title: PROPOSED SITE ELEVATION

Purpose of Issue:	PLANNING	Dwg Rev:
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Drawing Number:	300	D
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Surveyed By:	CL	Original Sheet Size:	A3	Pack Issue:
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Drawn:	Date:	Checked:	Date:
AMW	20.09.23	MK	20.09.23

Snowdonia National Park Authority **Date: 06-Dec-2023**
– Planning & Access Committee

Application Number: NP5/58/LB459A

Date Application Registered: 15/11/21

Community: Dyffryn Ardudwy

Grid Reference: 258272 325672

Case Officer: Mr Aled Lloyd

Location:

Taltreuddyn Fawr, Dyffryn Ardudwy. LL44 2RQ

Applicant:

Mr. Charles Mador
 14 Southam Street
 London
 W10 5PH

Description:

Conversion, extension and change of use of outbuildings to create 4 new open market dwellings, together with formation of new access lane, new boundary walls and associated landscaping

Summary of the Recommendation:

To GRANT permission subject to conditions

- Start within 5 years
- In accordance with the submitted plan
- Materials
- Slate
- Highways
- Archaeology
- Landscaping
- Remove permitted development rights
- Biodiversity Enhancements

Reason(s) Application Reported to Committee:

Community Council objection, officer recommendation of approval

Site description

The site lies in the open countryside just off the A496. It is located approximately four miles from Harlech and three miles north of the village of Dyffryn Ardudwy.

This is a group of C17-C19 Grade II Listed farm buildings, grouped around a courtyard. The buildings are located adjacent to the main historic house of Taltreuddyn Fawr, and its separately listed gate piers and garden walls & lookout.

The site comprises four buildings on all four sides of a farmyard, which lies directly north of the house at Taltreuddyn-Fawr (listed Grade II*) and its surrounding garden walls (listed grade II).

Land Designations / Constraints:

Grade II Listed Buildings
Open Countryside

Proposal:

The submitted plans indicate that the proposal to convert the barns in residential use as follows:

North – 1 bed unit
East - – 1 bed unit
South – 1 bed unit
West – 1 bed unit + Studio (in the north hay barn wing)

The submitted report by the Austin Partnership states that the barns are 'structurally sound and their roofs remain generally intact'. There has been some structural deterioration due to lack of maintenance in some areas, for example in the East Barn.

A conservation-based approach is proposed. There would be some minor structural alterations to the external envelopes and existing openings. The main barn structures are open double height spaces built in uncoursed boulder slate stonework, with timber roofs, comprising Oak King Post and flat top principal trusses, oak secondary roof rafters and purlins. The design of the roof trusses varies between the barns. The submitted reports state that the existing trusses are structurally sound, and the intention is to 'retain the trusses and where possible to conserve the existing purlins and rafters if not affected by water penetration or infestation.'

The buildings have earthen floors and large slabs of slate have been discovered in the North thrashing barn which will be reused in the new finished flooring.

Eryri Local Development Plan 2016-2031

- SP A: National Park Purposes and sustainable Development
- SP C: Spatial Development Strategy
- DP 1: General Development Principles
- SP D: Natural Environment
- DP 2: Development and the Landscape
- SP Ff: Historic Environment
- SP G: Housing
- DP 30: Affordable Housing
- DP 6: Sustainable Design and Materials
- DP 7: Listed and Traditional Buildings
- DP 8: Protection of Non-Designated sites
-
- DP 9: Conversion and Change of Use of Rural Buildings

DP 18: The Welsh Language and the Social and Cultural Fabric of Communities

- DP 30: Affordable Housing
- SP L: Accessibility and Transport
-

Supplementary Planning Guidance

- SPG 1: Sustainable Design in the National Parks of Wales
- SPG 2: General Development Considerations
- SPG 4: Affordable Housing
- SPG 6: Obtrusive Lighting (Light Pollution)

National Policy

- Future Wales: The National Plan 2040
- Planning Policy Wales (Edition 11) 2021

- Technical Advice Note 12: Design (2016)
- Technical Advice Note 24: The Historic Environment (2017)
- Cadw Best Practice Guidance:
- Managing Change to Listed Buildings in Wales (2017)
- Managing Historic Character in Wales (2017)
- Heritage Impact Assessment in Wales (2017)
- Historic Environment Records in Wales: Compilation and Use (2017)
- Setting of Historic Assets in Wales (2017)
- British Standard 7913 – Care of Historic Buildings

Consultees:

Dyffryn Ardudwy and Talybont Community Council	Support the planning application if a Section 106 is placed on the dwellings or a payment of a Commuted Sum
Natural Resources Wales	No objection, subject to the submitted Bat and Protected Species Survey being conditioned.
Gwynedd Council - Highways	Comments in relation to visibility from the access on to the A496
Welsh Water	No comments since the proposal intends utilising an alternative to mains drainage
Dŵr Cymru / Welsh Water	Advise that the applicant seek advice from Natural Resources Wales and or the Local Authority Building

GAPs	Comments – recommend conditions
Council for British Archaeology	Comments re design
Ecology	No objection following the submission of further information

Responses to Publicity:

The application has been publicised by way of a site notice, press notice and neighbour notification letter to a nearby residential property. One letter of objection has been received from the owner of Taltreuddyn Fawr the adjoining Grade II* Listed property on the grounds that the proposals may affect the setting of Taltreuddyn Fawr. It appears from the communication received that there had been several meetings between the applicant and the owner of Taltreuddyn Fawr to discuss the proposals prior to the submission of the application,

The detailed objection lists a number of issues, and the applicant has had the opportunity to comment. The objections are in relation to;

- Demolition of the stone wall to allow access into the courtyard;
- Erection of a sloping road would undermine the foundations of an original wall;
- Overlooking from first floor door on the south barn;
- Existing gate between the properties allows for viewing through the bars of the gate;
- Removal of dead trees;
- The junction with the main highway is a difficult /unsafe turning;
- External lighting.

There is approximately 28m between the rear wall of Taltreuddyn Fawr and the boundary of the application site.

1. Background

The proposal was subject to extensive pre-application advice, which included site meetings.

2.0 Principle of Development

- 2.1 It is appropriate to consider the proposal against Strategic Policy A, Ff, 7 and Development Policies 1, 6, 7 and 9.
- 2.2 The proposal would restore and preserve important Grade II Listed Buildings within the Ardudwy landscape.
- 2.3 LDP Policy 7 Listed and Traditional Buildings and policy 9 – Conversion and Change of Use of Rural Buildings is the most relevant one to be used in determining the principle of this development.
- 2.4 Each application is considered on its own merits and in this case officers consider that there are material planning considerations to support residential development on the site.

2.5 The full assessment of the policies will be detailed in this report.

3.0 Assessment

Policy Context

- 3.1 The materials proposed will maintain the character of the Listed building, with the use of timber doors, windows, and conservation rooflights, together with slate and sheeting on the roof. The proposal would therefore comply with Development Policy 6.
- 3.2 Strategic Policy Ff states that development will not be permitted that will adversely affect Listed Buildings, their settings, and significant views. The siting and design of the proposal are considered discrete and appropriate for the location. The condition of the buildings is deteriorating rapidly, especially after recent storms. Their conversion will protect these important and unique buildings for future generations to appreciate. It is considered that the conversion in terms of design and use of materials will maintain and enhances the character of the listed building therefore there would be no conflict with Strategic Policy Ff.
- 3.3 The policy requirement in relation to the proposal is clear and of particular importance is DP9 states that the conversion or change of use of redundant rural buildings outside any housing development boundary will be permitted for affordable housing to meet local need an employment use, short term self-catering holiday accommodation as part of a rural enterprise scheme, or an open market dwelling with the payment of a commuted sum. As the site is outside any local, service, or secondary settlement a 50% affordable housing contribution is sought in line with Development Policy 30 of the adopted Eryri Local development Plan 2016-2031. The applicant has the option of either converting the building to provide affordable local need units or making a commuted sum payment to help fund affordable housing elsewhere in the National Park. If a commuted sum is accepted the building will revert to an open market house and would not be counted as an affordable dwelling.
- 3.4 The applicant initially agreed to pay a commuted sum payment as the application proposes 4 new open market dwellings.
- 3.5 Following further consideration of the application by the Authority's Historic Environment Planning Officer and discussions with the applicant it was acknowledged that there will always be an additional cost when dealing with listed buildings as conservation best practice is required and inevitably incurs additional costs.
- 3.6 Officers invited the applicant to submit a viability assessment detailing additional costs and the conservation deficit that inevitably arise from the conversion of listed buildings.
- 3.7 A detailed viability assessment was submitted in March 2023, which showed a substantial deficit.

- 3.8 Officers thoroughly assessed this element of the proposal and not to request a commuted sum payment is a decision not taken likely.
- 3.9 Members will be aware that there has been a significant increase in building materials recently and this is an important factor in the viability of the proposal.
- 3.10 The buildings at Taltreuddyn are fine examples of traditional stone constructed agricultural buildings. The conversions will see the exterior of these buildings largely preserved intact.
- 3.11 In consideration of the conclusion of the assessment and that the proposal will preserve these Listed Buildings, officers concluded that there is sufficient justification not to seek a commuted sum payment in this instance.

Objection by Dyffryn Ardudwy and Talybont Community Council

- 3.12 The Community Council are objecting on the grounds that they consider that a commuted sum payment should be made.
- 3.13 A commuted sum payment is sought and paid on the vast majority of relevant applications and there are only a few instances, where such payment is waived.
- 3.14 The submission of a detailed viability assessment in relation to the current application included detailed costing of the project, which clearly indicated a deficit.
- 3.15 For the above reasons and in order to preserve these fine examples of traditional stone constructed agricultural buildings, officers consider that the reason for not requiring the payment of a commuted sum is justified in this instance.

Access and Highways

- 3.16 Access to the site is off the A496, approximately 1 mile south from the village of Llanbedr.
- 3.17 From the access a single track road leads to the application site. The access and access road is not within the ownership of the applicant.
- 3.18 A stock proof fence is sited either side of the access and the Highway Authority have expressed concern that as the access is on to a 60mph road and that a stock proof fence restricts visibility both to in the North and South direction.
- 3.19 This matter has been discussed with the applicant, who has had discussions with the landowner, who has confirmed that the fence will be re-located to improve visibility.
- 3.20 At the time of writing this report a new fence on the south side has been erected in a lower position.

- 3.21 To ensure that the visibility of the complies with Highway requirement a condition will be imposed.

Design

- 3.22 From a conservation planning point of view and in relation to developments such as this, consideration of the submission is informed by Planning Policy Wales (11th edition), in particular Chapter 6, plus Technical Advice Note 24.
- 3.23 This guidance states that great weight should be given to the conservation of the heritage asset(s) when determining development applications; also, that any harm posed to the significance of an asset or its setting should be clearly justified by the delivery of identifiable public benefits. Historic buildings are a unique and finite resource – once lost it is often impossible to reinstate original fabric, or to reclaim an aspect of its character and appearance or setting. For this reason, it is important to preserve significant historic material, and any associated positive aspect of setting, as far as practicable and in this caseto secure the preservation of the buildings through a high quality scheme of conversion and repair.
- 3.24 The significance of the barns at Taltreuddyn derives from their status as traditional stone built agricultural buildings of the C17-19, lying as a coherent countryside group, and located in association with the main historic farmhouse of Taltreuddyn Fawr. All three of these barns are intended to be converted, with the present courtyard being retained as a central communal space for parking and amenity etc. One further unit is located to the South, which comprises old pig pens.
- 3.25 All the buildings are in a poor and deteriorating condition, and urgently require regeneration.
- 3.26 Neither the footprint nor the external volume of these structures will be greatly changed in the final development, and this preserves the essential form and character of these buildings. Reusing and adapting the current arrangement of openings is welcome, and reinforces their functional, industrial character.

North Barn

- 3.27 This is the key agricultural building on the site and is the largest and most imposing structure of the group. The building functioned as a threshing barn, as evidenced by the pair of opposing large double height doors in the centre of the structure. The openings within the barn are not going to be greatly changed in the conversion, and this is a positive aspect of the scheme.
- 3.28 The installation of the woodburner and flue is acceptable. The presence of vents for the kitchen and bathroom has been indicated on the plans, and again this is an appropriate detail since these will

remove damp from these moisture laden areas, protecting the building from unnecessary damage.

- 3.29 The midstrey of the barn comprises a double height space – this is an appropriate configuration since it expresses the spacious, industrial quality of the building in its original use for the processing and storage of agricultural products. Using spiral staircases is a viable detail for achieving access to the sift floors of converted barns, and the exact appearance of these can be further specified by the application of planning conditions.
- 3.30 The only item to be resolved concerns the main roof trusses. Latterly the architect has provided a sketch showing that two of the main roof trusses would be cut in order to accommodate the mezzanine arrangement currently proposed. In the opinion of the local authority this is unacceptable. The trusses comprise the primary structure of the roof, and all are constructed in a consistent line in the king post configuration. Currently, the trusses are situated in the centre of the mezzanine to this unit.
- 3.31 Nonetheless, the remainder of the scheme is rational and practicable, and more precise details may be addressed through the application of planning conditions.

East Barn.

- 3.32 The scheme of development for this conversion is appropriate, with a double height space being retained within the living room area to the south of this building. The original arrangement of the opening and the original form of the building is retained in the proposed development.

West Barn.

- 3.33 This is to be a single height space, and incorporates a large main bedroom to the North, with the ensemble forming an L-shaped configuration. The design preserved the essential qualities of the agricultural building and conforms to all official and local guidance relating to the conservation of historic farm buildings.
- 3.34 There is another new unit to the South, which will recover masonry from the pig pens. This is acceptable in its form and general arrangement.
- New timber.***
- 3.35 In all the barns, only high quality sustainably sourced timber will be utilised in the repairs – either Douglas Fir or European hardwood. All the fixings will be either bolted or pegged in the traditional matter, and not supported on galvanised hangars.

Roofs

- 3.36 All the structures in the group will be protected by a roofed and sheeted scaffold during the works. The roofs of the bars will then be stripped of slates so that the repair of the roof timbers and wall tops may proceed effectively. The structures will then be re-roofed, with as many of the original rafters and purlins as possible being retained and reused. Only European slate will be utilised for the re-roofing, and the new rooflights will be steel or cast-iron framed conservation standard units.

Openings.

- 3.37 The new joinery to be used in the development has been agreed with the architect to be painted Douglas Fir – a high quality but affordable naturalised timber. Importantly, the vertical orientation of the windows will remain. Any barn doors will be replaced like for like, and in the case of the threshing barn, the large solid timber doors will be opened and latched back to the face of the building on new hinges, with glazed doors enclosing the interior volumes behind this.

4 Conclusion

- 4.1 Taken as a whole, this proposed development will provide an appropriate vehicle for the regeneration of these fine examples of traditional stone constructed agricultural buildings. The conversions will see the exterior of these buildings largely preserved intact.
- 4.2 It is recognised that in changing the barns from agricultural to residential use a degree of harm to the significance of the buildings is inevitable. The key to a successful scheme in historic building terms is to retain as much fabric as possible, and any alterations should respect the architectural character of the original buildings.
- 4.3 The proposed works are generally necessary and appear to have been well designed and will secure a viable use for the buildings which should extend their life for many decades to come.
- 4.4 The objection of the Community Council has been fully considered. However, the applicant has made a compelling case and provided full costs justifying the non-payment of a commuted sum in this instance.
- 4.5 The application has made a compelling case to justify proposed plans for changes as well as all repair work using traditional methods the proposed changes in this case improve the quality of the listed building and that it will be possible to continue to make long-term practical use which will be a lifeline to extend its life.

- 4.6 It is considered that the quality design will add to the aesthetic value of the building and its setting, in its rural location, and that the traditional materials respect the characteristics and performance and do not compete with the original design of the historic asset. The application is acceptable and complies with the requirements of Technical Advice Note 24 and the best practice guidance documents and relevant policies.
- 4.7 It is recommended therefore that the application is approved subject appropriate conditions.

RECOMMENDATION: To GRANT permission subject appropriate conditions

1. The development hereby permitted shall be commenced before the expiration of five years from the date of this decision.
2. The development hereby permitted shall be carried out in accordance with the following approved plans:
 - Site Location Plan
 - Drawing no 001 – Location Plan
 - Drawing no 003 – Proposed Block Site Roof Plan
 - Drawing no 005 – Proposed Block Site Ground Floor Plan
 - Drawing no 006 – Proposed Side Elevations
 - Drawing no 007 - Proposed Site Sections and Internal Elevations
 - Drawing no 101 & 102 - Proposed Plans – West Barn
 - Drawing no 103 - Proposed Plans – North Barn
 - Drawing no 104 - Proposed Plans – East Barn
 - Drawing no 105 - Proposed Plans – South Barn
 - HIA
 - Roof Construction drawing, received 20/09/23
 - Wall Construction Drawing, received 20/09/23
 - Roof – Verge construction detail, dated 01/11/23
 - Wall – Floor construction detail, dated 01/11/23
 - Method Statement for the Repair of Historic Roofs, dated 10/23
3. Notwithstanding the details hereby approved, prior to construction commencing, each of the barns shall be protected by a roofed and sheeted scaffold. The roofed scaffold shall remain in situ at each building at least until the re-roofing operation has been completed.
4. The works hereby granted listed building consent shall be carried out in such a manner as to ensure that the existing buildings are preserved, and the said buildings shall be structurally supported and

weatherproofed at all times during the construction period in accordance with established and appropriate building practice.

5. Notwithstanding the details hereby approved, all new structural timbers to be utilised in the development shall be fabricated from sawn and planed FSC certified timber – either European hardwood or Douglas Fir. All timbers are to be either pegged or bolted together with stainless steel fixings, and all timbers are to match their original equivalents in terms of their dimensions and arrangement on the roof. All repairs to the existing timbers are to be based upon traditional carpentry techniques. Any treatment of the timbers is to be restricted to minimally toxic Owatrol Oil or Linseed Tar Oil.
6. Notwithstanding the details hereby approved, all new joinery to the development shall be fabricated from painted FSC certified timber – either European hardwood or Douglas Fir. In the case of all new doors and screens, the minimum width of each plank is to be 190mm. Any new exterior joinery is to be painted an off white, off black, dark brown or olive green colour. The large solid barn doors may be stained with either linseed tar oil or other linseed oil stain, rather than painted, if desired. These colours / finishes are to endure as such in the future.
7. Notwithstanding the details hereby approved, all new roof insulation is to consist either of British Thermafleecce insulation, Rockwool or wood fibre. Any new membrane utilised as part of the roof build up is to be TLX Gold Batsafe membrane.
8. Notwithstanding the details hereby approved, all new replacement roof slates required should be of blue-grey natural Welsh slate and precisely match the existing of each individual barn in terms of their size, colour and texture. Any new replacement ridge tiles should match the existing examples of each individual barn. The rooflight details must relate to the plans hereby approved in terms of size, design and location. All new roof vents are to be Nature Vent flush slate vents.
9. Notwithstanding the details hereby approved, all new rooflights should be either steel or cast-iron framed conservation standard units, set flush with the plane of the roof and without any projecting upstand.

10. Notwithstanding the details hereby approved, all external doors, windows and shutters in the development hereby permitted shall be of timber construction and shall at all times thereafter be retained as timber. Details of the individual proposed doors, windows, glazing and shutters at a scale of 1:20 should be submitted to and approved in writing by formal application to the Local Planning Authority prior to installation. These details are to include the location of all new windows and doors that are to be installed in relation to the openings. The details shall include:

- cross sections for glazing bars, frames, cills and headers (details of the glazing bars are to be at a scale of 1:1)
- method of opening
- method and type of glazing
- ironmongery
- finishes

The approved details shall be implemented and retained in full thereafter.

Note: Typical details are not adequate, and details of each type of window and door are required. Windows and doors are to be set back within their openings in order to maintain the agricultural character of the buildings as much as possible, and by a minimum of 90mm.

11. All existing stone walls to the listed barns shall be retained unless otherwise shown on the approved drawings. Where existing stonework is to be repaired, all repairs shall be carried out using an appropriate lime mortar to match the original. Details of the method of repair, to include method of pointing and mortar mix, are to be submitted to, and approved in writing by means of a formal application to the Local Planning Authority, and a 1 meter square sample panel shall also be inspected and approved in writing by the Local Planning Authority. The sample panels shall be photographed prior to works commencing and the works shall thereafter be carried out to match the approved sample.

12. Notwithstanding the details approved, for all new stonework details of the lime mortar type, mix and the new stonework to be used are to be submitted and approved in writing by means of a formal application to the Local Planning Authority prior to the commencement of any works relating to these elements. Sample panels of not less than 2 m² to show the proposed new stonework, external mortar and render composition and colour, and the method of pointing and finish to be prepared on site, are to be inspected by and approved in writing by the Local Planning Authority. No building operations in stone shall be carried out on the site unless and until the trial panel has been inspected and approved in writing by means of a

formal application to the Local Planning Authority. The stonework of the extension shall be built in accordance with the approved sample.

Note: All new works and alterations to the exterior of the buildings must match the existing in terms of the choice of materials, method of construction and finished appearance.

13. No new vents, ventilation ducting, waste pipes or flues shall be installed until full details, including type, material and location are shown on elevational plans and a roof plan have been submitted to, and approved in writing by means of a formal application to the Local Planning Authority. Details of the flues and vents should be provided at a scale of 1:10. The approved details shall be implemented and retained in full thereafter.
14. Notwithstanding the details provided, prior to any alterations, repair or replacement of the external rainwater goods and other pipework, details of all external pipework, including location and soil pipes, shall be submitted to, and approved in writing by means of a formal application to the Local Planning Authority. All external rainwater goods and pipework are to be of cast metal. Details of the proposed location of all external rainwater goods and other pipework, including soil pipes, are to be submitted to, and approved in writing by the Local Planning Authority prior to installation. The approved details shall be implemented and retained in full thereafter.
15. The large slate slabs in the North Barn shall be retained as found and reused in the new floor finish. Details of the method of preservation and reuse of these existing slate slabs are to be submitted to, and approved in writing by means of a formal application to the Local Planning Authority prior to any works being carried out in relation to these.
16. The occupation of the development hereby approved shall not commence until highway/improvement works relating to the stock proof fence either side of the access from the A487 as detailed in the response dated 19/04/22 from Gwynedd Highway Authority has been completed in accordance with that letter and have been certified in writing as complete by the local planning authority
17. No development (including structural alterations or demolition works) shall take place until a specification for a programme of archaeological recording has been submitted to and approved in writing by means of a formal application to the Local Planning Authority. This recording should take the form of a Level 3 /4 building recording as set out in Understanding Historic Buildings –

A Guide to Good Recording Practice, Historic England 2016. The development shall be carried out and all archaeological work completed in strict accordance with the approved details.

Note: The archaeological mitigation should entail a formal programme of archaeological work known as a Building Recording (Level 3 / 4), including both drawn and photographic recording, as well as some historical analysis of the building itself. Sufficient desk-based evidence should be provided as part of the wider report to support the above. The appointed archaeological contractor must agree a specification for the work with the Gwynedd Archaeological Planning Service before commencing the project.

18. A detailed report on the archaeological work, as required by condition 15. shall be submitted to and approved in writing by means of a formal application to the Local Planning Authority within six months of the completion of the archaeological fieldwork.
19. During the works approved by this consent, if any previously hidden or unknown features are revealed during the repair or conversion works, they should be retained in situ. Works shall be halted in the relevant area of the building or where they could impact on the feature/s and the Local Planning Authority must be notified immediately. Failure to do so may result in unauthorised works having been carried out and an offence committed.
20. Notwithstanding the details hereby approved, the floor finishes within the converted buildings shall be constructed from either: linoleum, engineered natural timber incorporating a natural hardwood timber veneer of minimum 4mm thickness, natural stone, natural slate, clay ceramics or polished concrete.
21. Prior to development, a fully specified landscaping plan, providing details of hard and soft landscaping items, security, lighting, and plantings shall be submitted to and approved in writing by the local planning authority by means of a formal application and shall endure as such thereafter.
22. All planting, seeding or turfing comprised in the approved details of landscaping shall be carried out in the first planting and seeding seasons following the occupation of the buildings or the completion of the development, whichever is sooner; and any trees or plants which within the period of 5 years from the completion of the development die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species.

23. Notwithstanding the provision of the Town and Country Planning (General Permitted Development) Order 1995 (as amended by the Town and Country Planning General Permitted Development (Amendment) (Wales) Order 2013 (or any Order revoking or re-enacting or amending that Order with or without modification) nothing shall operate so as to permit (within the area subject to this permission) any development referred to in the Parts and Classes of Schedule 2 to the Order, summarised below:

PART 1: DEVELOPMENT WITHIN THE CURTILAGE OF A DWELLINGHOUSE

Class A: The enlargement, improvement or other alteration of a dwellinghouse.

Class B: The enlargement of a dwellinghouse consisting of an addition or alteration to its roof.

Class C: Any other alteration to the roof of a dwellinghouse.

Class D: The erection or construction of a porch outside any external door of a dwellinghouse.

Class E: The provision within the curtilage of the dwellinghouse, of any building or enclosure, raised platform, swimming or other pool required for a purpose incidental to the enjoyment of the dwellinghouse as such, or the maintenance, improvement or other alteration of such a building, enclosure, platform or pool; or a container used for domestic heating purposes for the storage of oil or liquid petroleum gas.

Class F: The provision within the curtilage of a dwellinghouse of a hard surface for any purpose incidental to the enjoyment of the dwellinghouse as such; or the replacement in whole or in part of such a surface.

Class G: The installation, alteration or replacement of a chimney on a dwellinghouse

Class H: The installation, alteration or replacement of a microwave antenna on a dwellinghouse or within the curtilage of a dwellinghouse.

PART 2: MINOR OPERATIONS

Class A: Gates, fences, walls and other means of enclosures

24. The applicant/developer shall ensure that the mitigation recommended in Section 5 in the Bat & Protected Species Survey report dated 4th August 2021 and addendum dated 22nd August 2023 by Dr Rod Gritten are followed and implemented in full.

Reasons:

1. To Comply with Section 91 (as amended) of the Town and Country Planning Act 1990
2. To define the permission and for the avoidance of doubt.
3. To prevent further unnecessary deterioration in the designated buildings and to therefore safeguard the character and appearance of the listed building in accordance with policies A, Ff, 1, 6 and 7 of the Eryri Local Development Plan 2016-2031.

4. To ensure an authentic, high quality and traditional finish to the development, thereby safeguarding the character and appearance of the listed building in accordance with policies A, Ff, 1, 6 and 7 of the Eryri Local Development Plan 2016-2031.
5. To ensure an authentic, high quality and traditional finish to the development, thereby safeguarding the character and appearance of the listed building in accordance with policies A, Ff, 1, 6 and 7 of the Eryri Local Development Plan 2016-2031.
6. To ensure an authentic, high quality and traditional finish to the development, thereby safeguarding the character and appearance of the listed building in accordance with policies A, Ff, 1, 6 and 7 of the Eryri Local Development Plan 2016-2031.
7. To realise a hygroscopic and breathable roof construction, to ensure the use of environmentally responsible materials in the development and to secure the use of bat-friendly roofing membranes that enable conformity with the Habitats Regulations.
8. To ensure an authentic, high quality and traditional finish to the development, thereby safeguarding the character and appearance of the listed building in accordance with policies A, Ff, 1, 6 and 7 of the Eryri Local Development Plan 2016-2031.
9. To ensure an authentic, high quality and traditional finish to the development, thereby safeguarding the character and appearance of the listed building in accordance with policies A, Ff, 1, 6 and 7 of the Eryri Local Development Plan 2016-2031.
10. To protect the character and appearance of the listed buildings and their setting in accordance with policies A, Ff, 1, 6 and 7 of the Eryri Local Development Plan 2016-2031.
11. To safeguard the character and appearance of the listed buildings in accordance with policies A, Ff, 1, 6 and 7 of the Eryri Local Development Plan 2016-2031.
12. To safeguard the character and appearance of the listed building in accordance with policies A, Ff, 1, 6 and 7 of the Eryri Local Development Plan 2016-2031.
13. To safeguard the character and appearance of the listed building in accordance with policies A, Ff, 1, 6 and 7 of the Eryri Local Development Plan 2016-2031.
14. To safeguard the character and appearance of the listed building in accordance with policies A, Ff, 1, 6 and 7 of the Eryri Local Development Plan 2016-2031.

15. To safeguard the character and appearance of the listed building in accordance with policies A, Ff, 1, 6 and 7 of the Eryri Local Development Plan 2016-2031.
16. To ensure the implementation of an appropriate programme of archaeological mitigation in accordance with the requirements of Planning Policy Wales 2021 and Technical Advice Note 24: The Historic Environment.
17. In the interest of Highway Safety
18. To ensure that the work will comply with the Management of Archaeological Projects (MAP2) and the Standards and Guidance of the Chartered Institute for Archaeologists (CIfA).
19. In order to afford the opportunity for the recording the historical /architectural interest of the buildings, in accordance with Technical Advice Note 24 The Historic Environment and Planning Policy Wales Edition 11 February 2021.
20. To safeguard the character and appearance of the listed buildings in accordance with policies A, Ff, 1, 6 and 7 of the Eryri Local Development Plan 2016-2031.
21. To safeguard the character and appearance of the listed buildings in accordance with policies A, Ff, 1, 6 and 7 of the Eryri Local Development Plan 2016-2031
22. To preserve and enhance the visual amenities of the area, in accordance with Eryri Local Development Plan Policies and in particular Policy 1.
23. The local planning authority considers that such development should be subject to formal control in order to safeguard the amenities of the area.
24. To ensure a satisfactory standard of development and to minimise the risk of unacceptable harm or disturbance to protected species in accordance with Eryri Local Development Plan Policies and in particular Policy D.

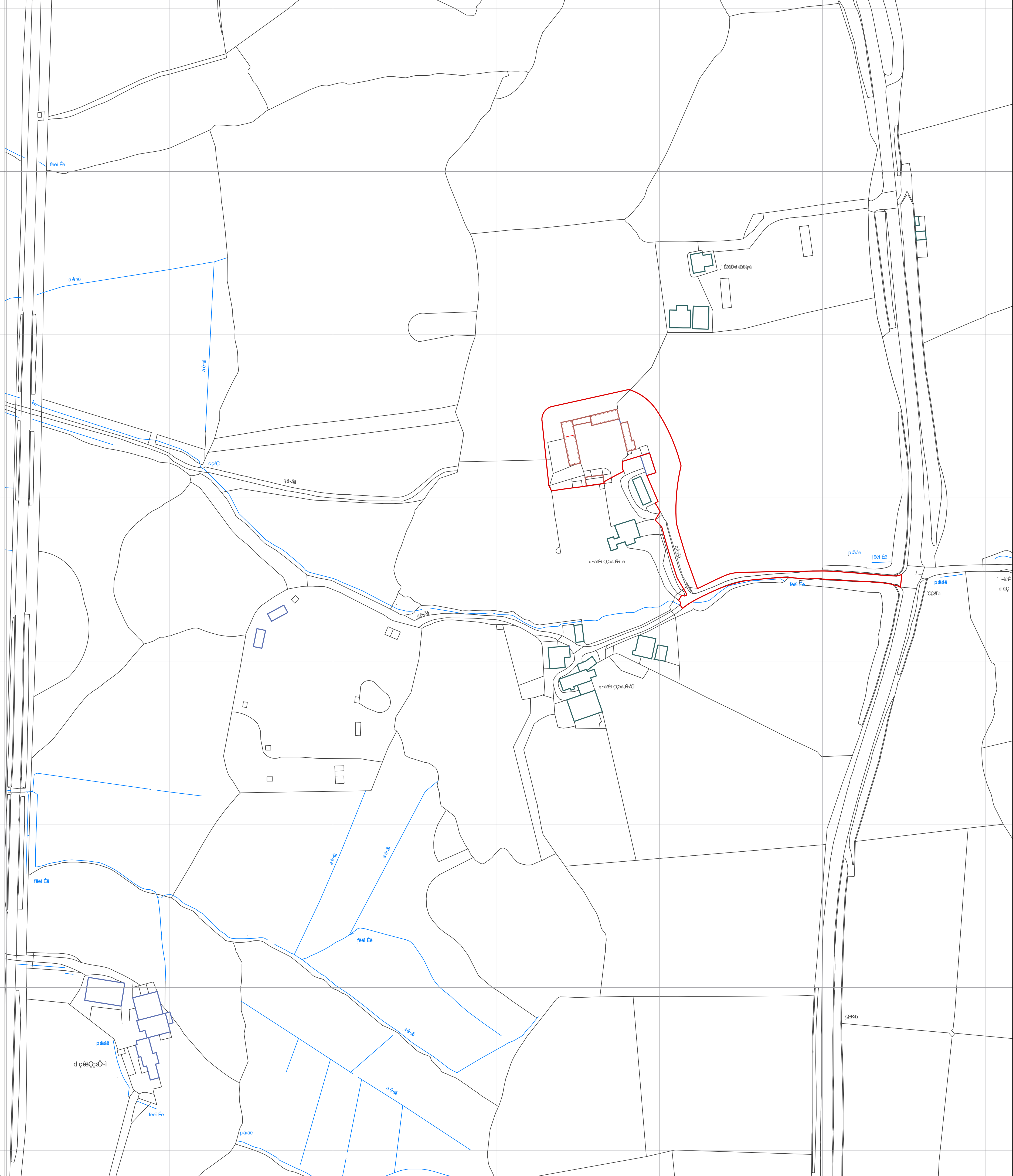
Advisory

1. FLOOD AND WATER MANAGEMENT ACT (FWMA) 2010 THE SUSTAINABLE DRAINAGE (APPROVAL AND ADOPTION PROCEDURE)(WALES) REGULATIONS 2018

The introduction of legislation on 7th January 2019 made sustainable drainage systems a mandatory requirement on new development where the construction area is 100m² or more. It is considered that this development exceeds the above identified threshold and may require Sustainable Drainage Systems (SuDS) consent from the relevant Sustainable Drainage Systems Approval Body (SAB) prior to construction works commencing.

Consequently, you are advised to contact the relevant Sustainable Drainage Systems Approval Body (SAB), i.e. (Gwynedd Council) for advice and guidance on this matter.

2. Prior to construction activities commencing on site, there is a requirement for a bat mitigation license from Natural Resources Wales to be in place.
3. External lighting to be compliant with the provisions of the Institute of Lighting Professionals/Bat Conservation Trust Guidance Note 08/18: Bats and Artificial Lighting in the UK (see <https://www.theip.org.uk/documents/guidance-note-8-bats-and-artificial-lighting/>)
4. Construction should not commence in the bird breeding season unless the buildings have been checked by a suitably experienced ecologist to confirm that there are no active bird nests.

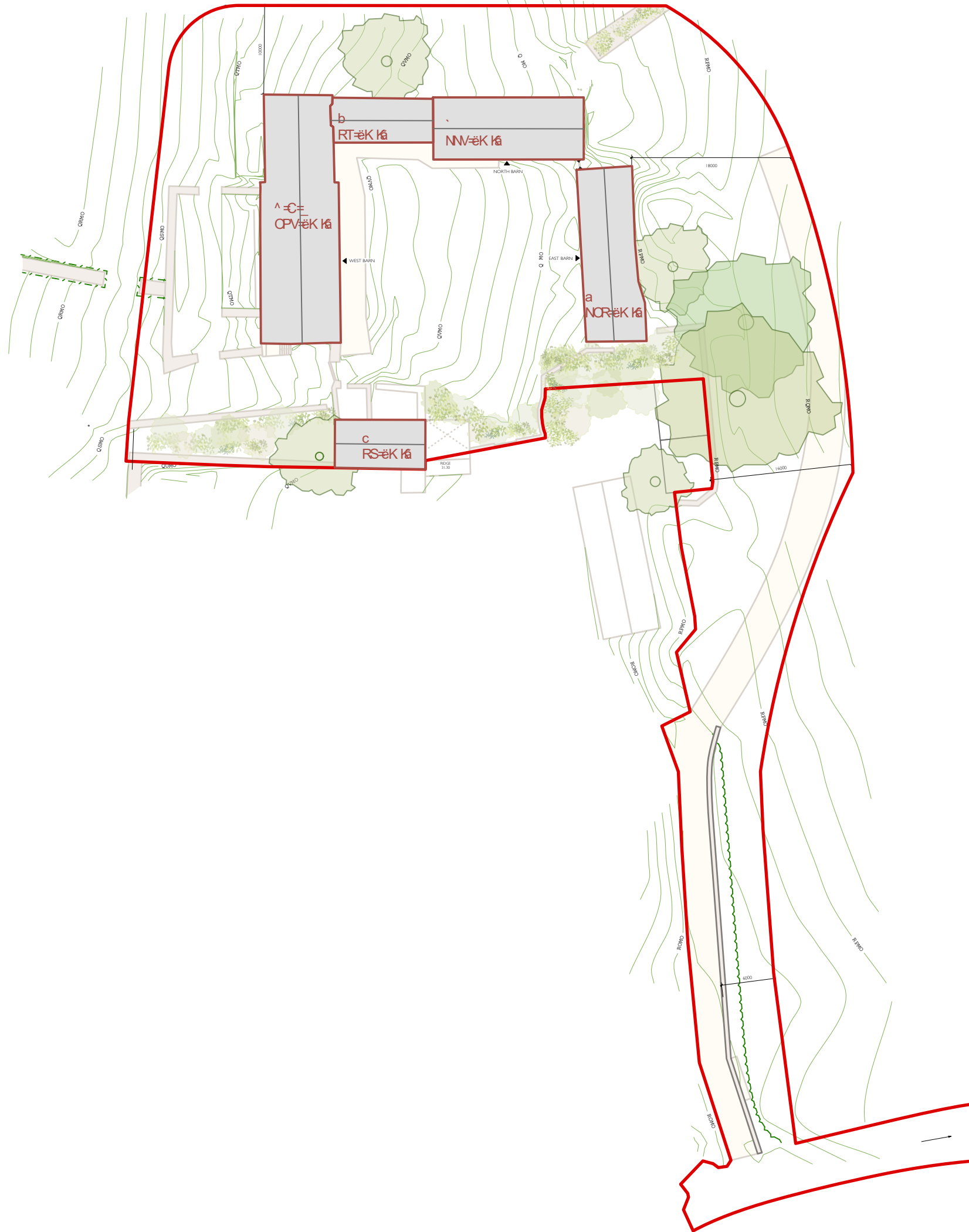


KEY:

- Site boundary
- Existing buildings in the site
- Existing buildings off site

CLIENT	ARCHITECT	204-TALTREDDYN FAWR
Name: Charles Mador Address: 14, Southam Street London W10 5PH Tel: +44 (0) 20 7281 5550	Mador & Partners Chartered Architects Ltd 14, Southam Street London W10 5PH Tel: +44 (0) 20 7281 5550 Email: charles@mador.co.uk	204-TALTREDDYN FAWR 1:1000 Scale Date: 10/10/2018 Drawn: C.M. Checked: A.M. Approved: C.M. Scale: 1:1000 Date: 10/10/2018

We warrant under this drawing that it is a true and correct representation of the information provided to us by the client and that it has been prepared in accordance with the requirements of the Building Act 2004.



hbvW



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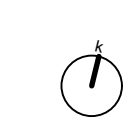


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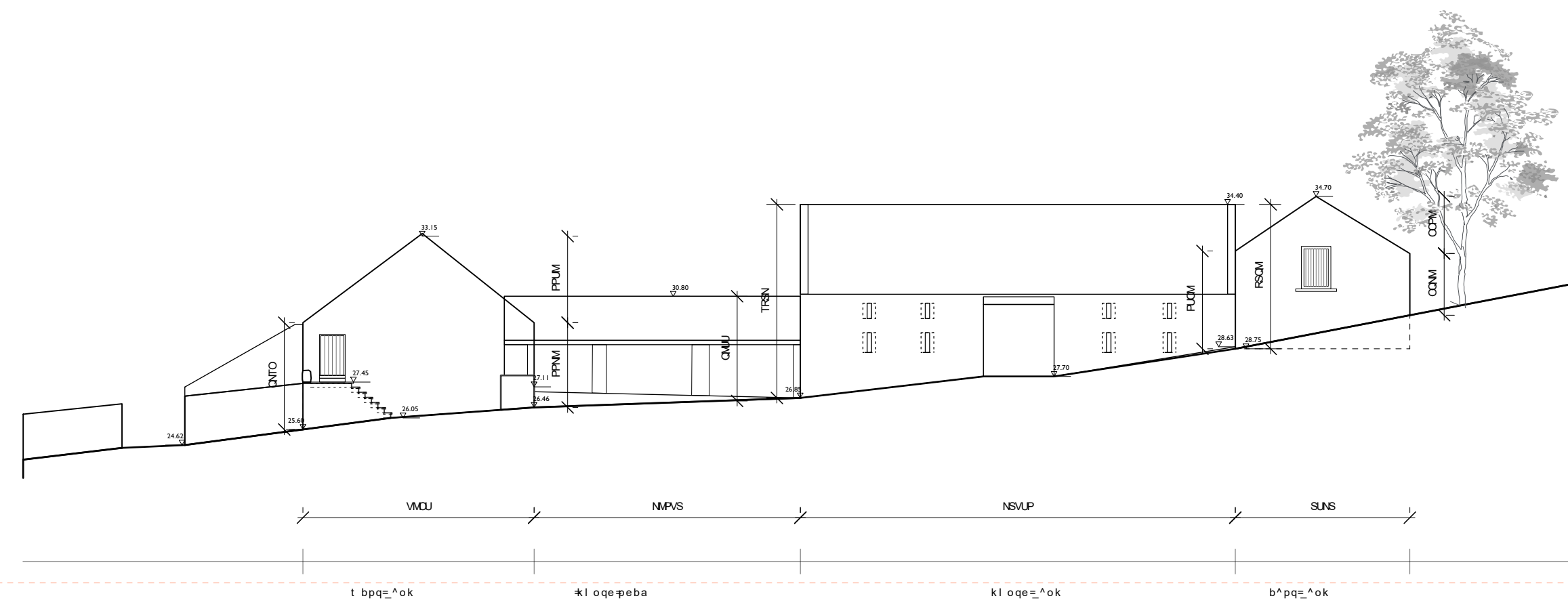
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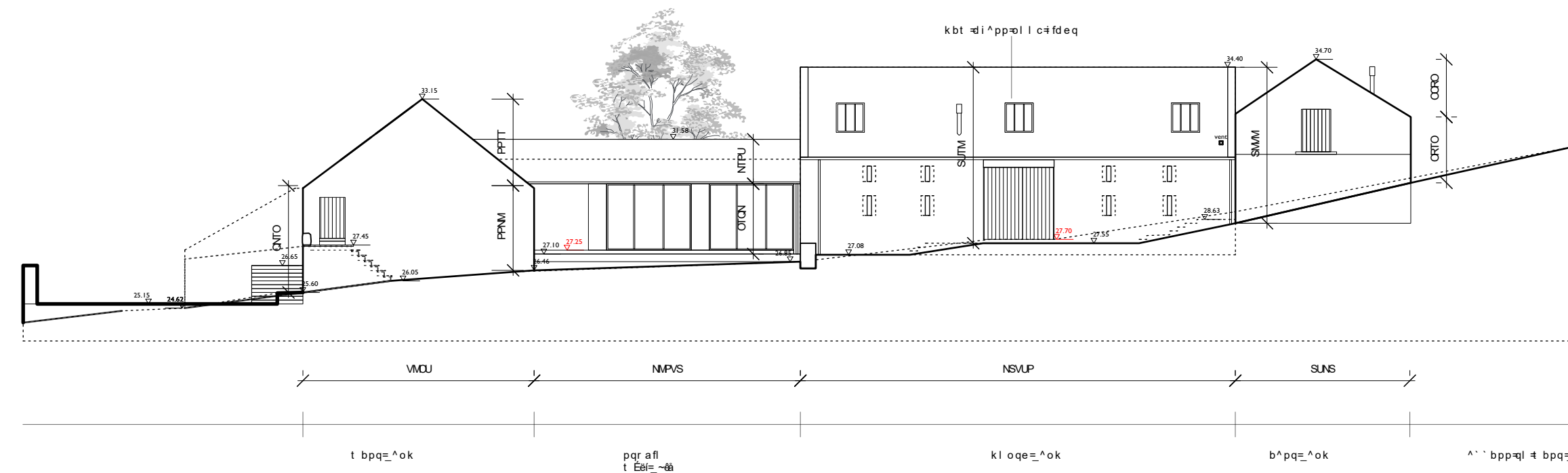
CLIENT
Name: Charles Mador
Address: 14, Southam Street
London W10 5PH
Tel: +44 (0) 20 7281 5550

ARCHITECT
Mador & Partners
Chartered Architects Ltd
14, Southam Street
London W10 5PH
Tel: +44 (0) 20 7281 5550
Email: charles@mador.co.uk

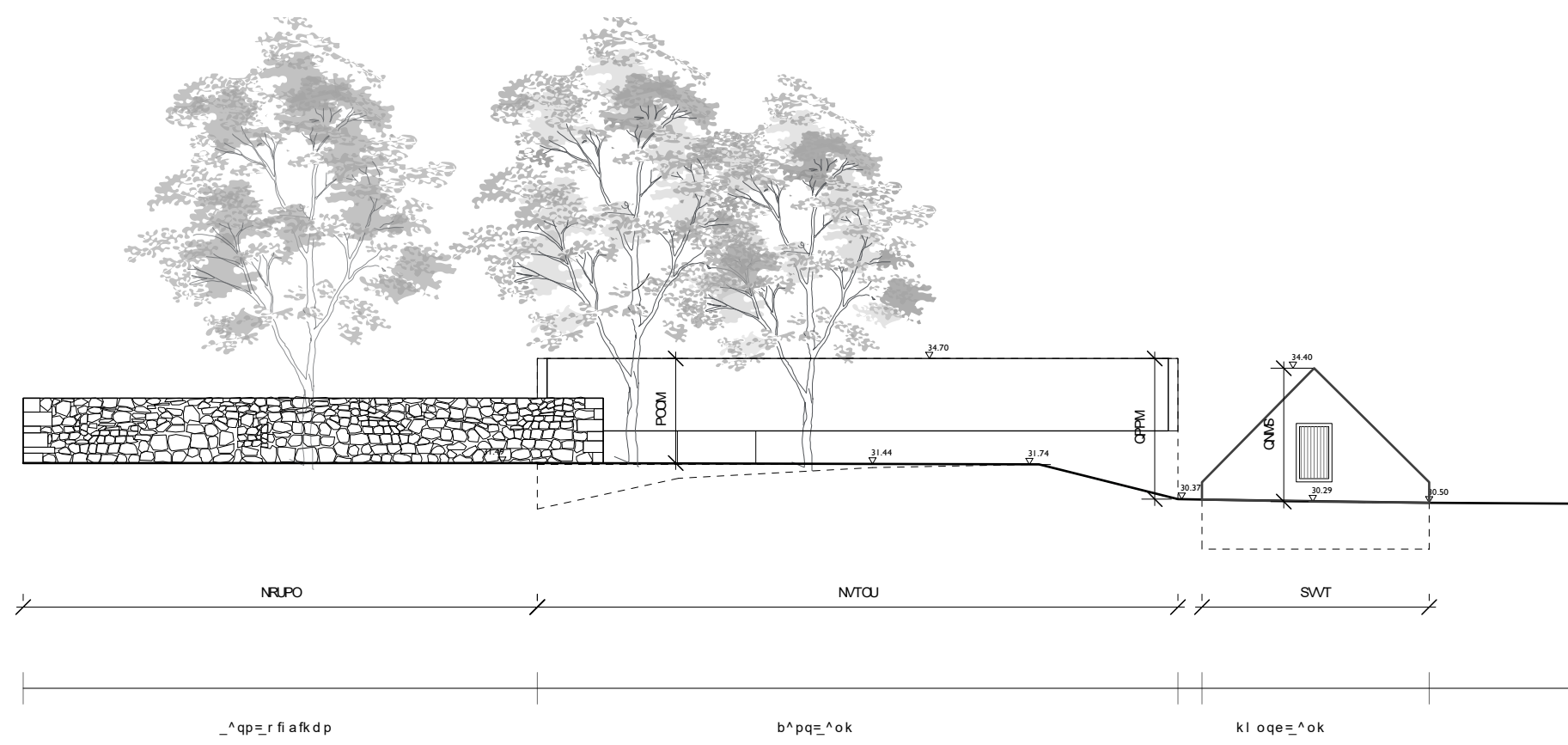
204-TALTREDDYN FAWR	
Project No:	204-TALTREDDYN FAWR
Client:	Charles Mador
Address:	14, Southam Street, London W10 5PH
Date:	20.01.2022
Scale:	1:500
Author:	CM
Check:	IM
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Revised:	
Client No:	



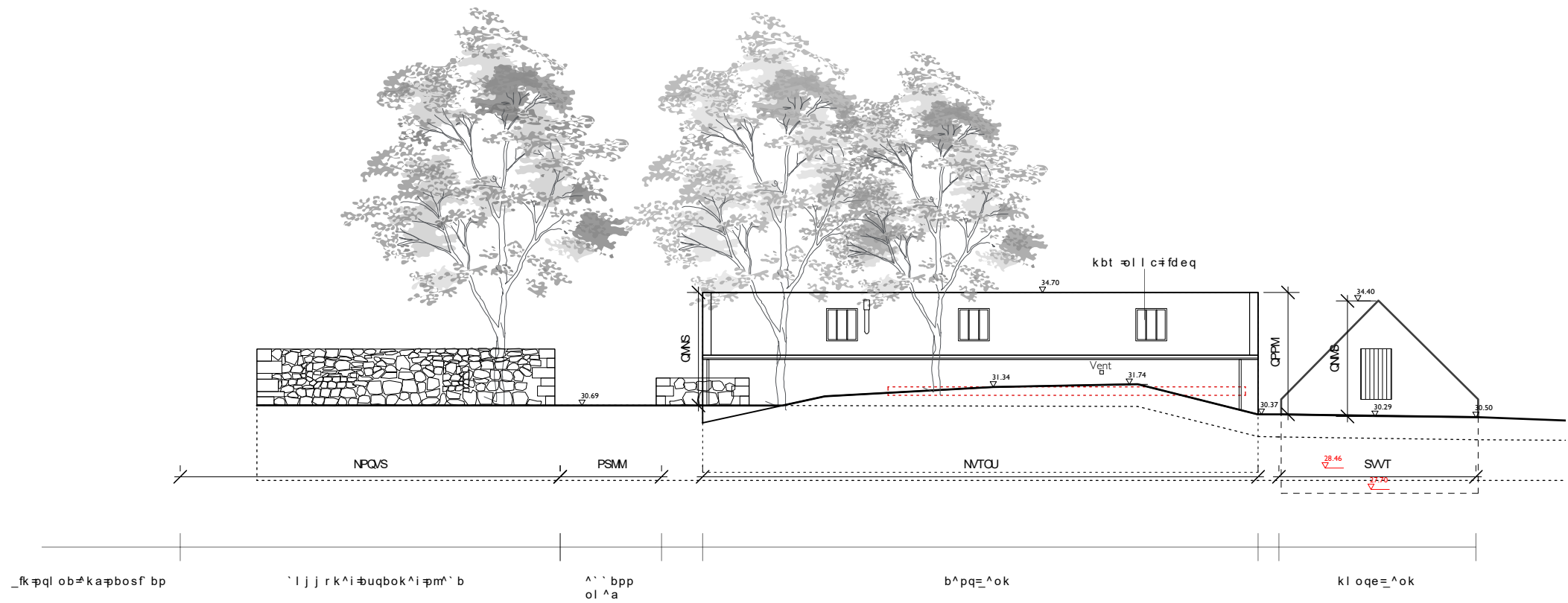
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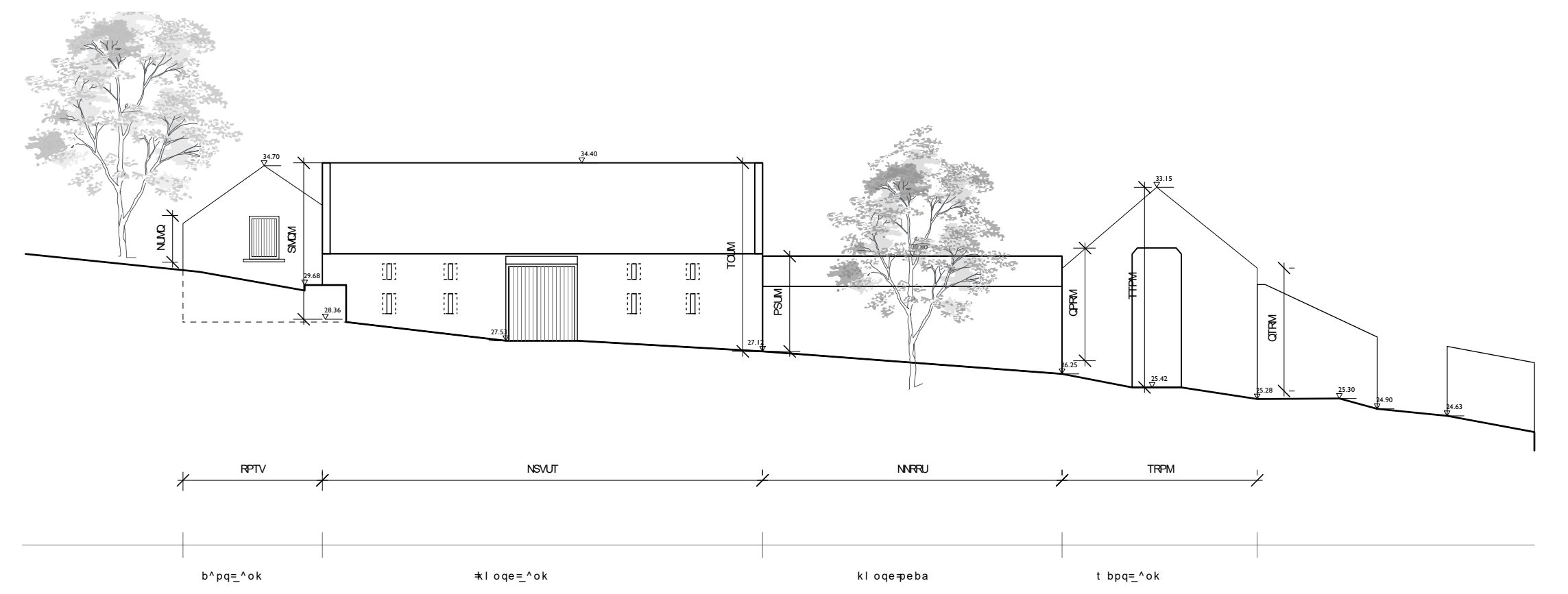
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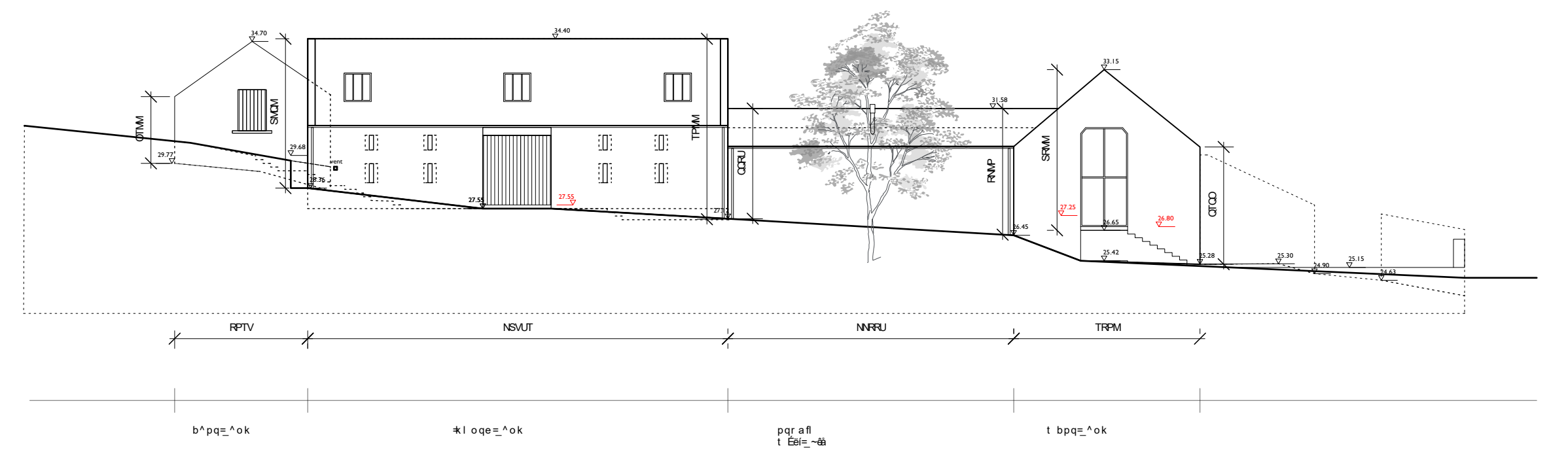
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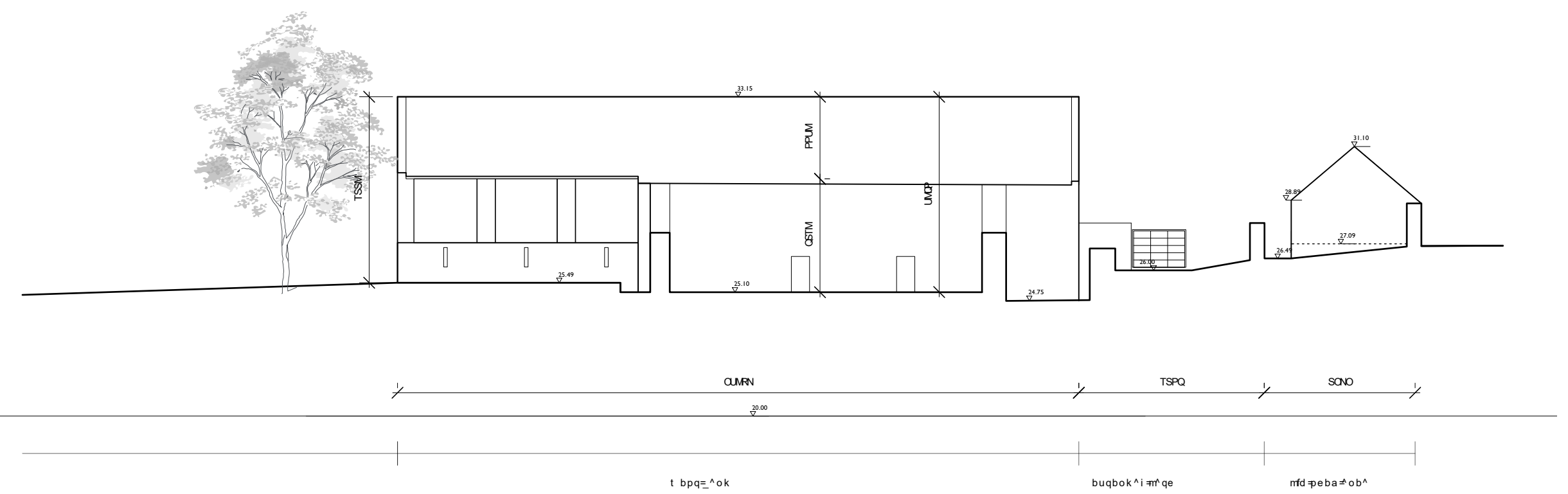
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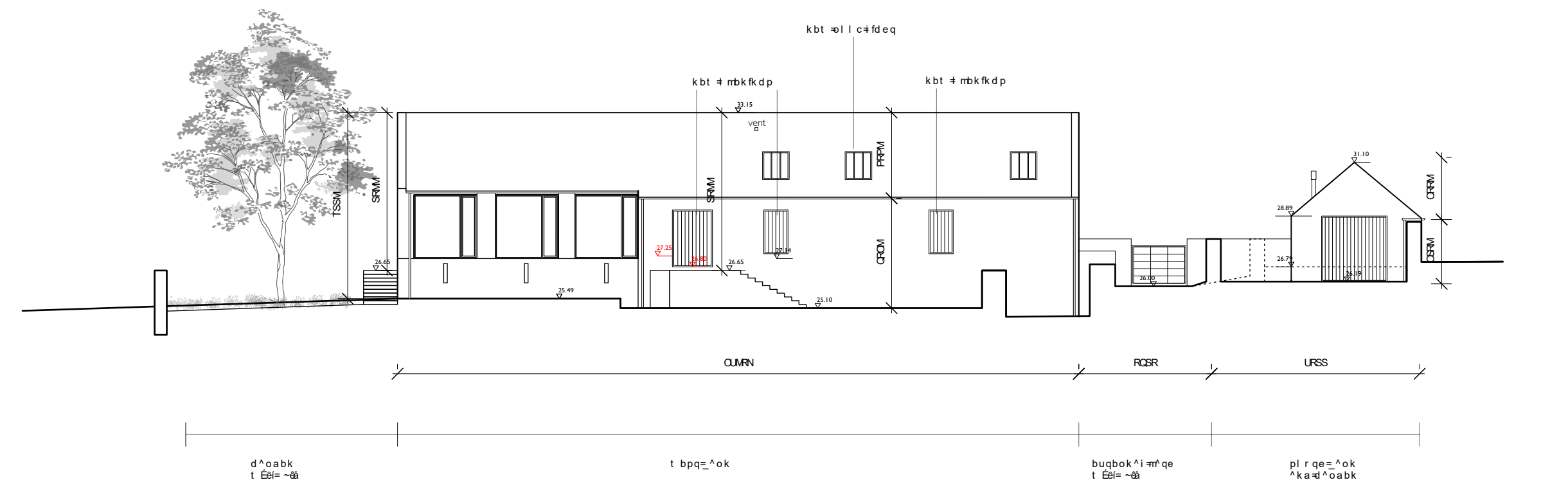
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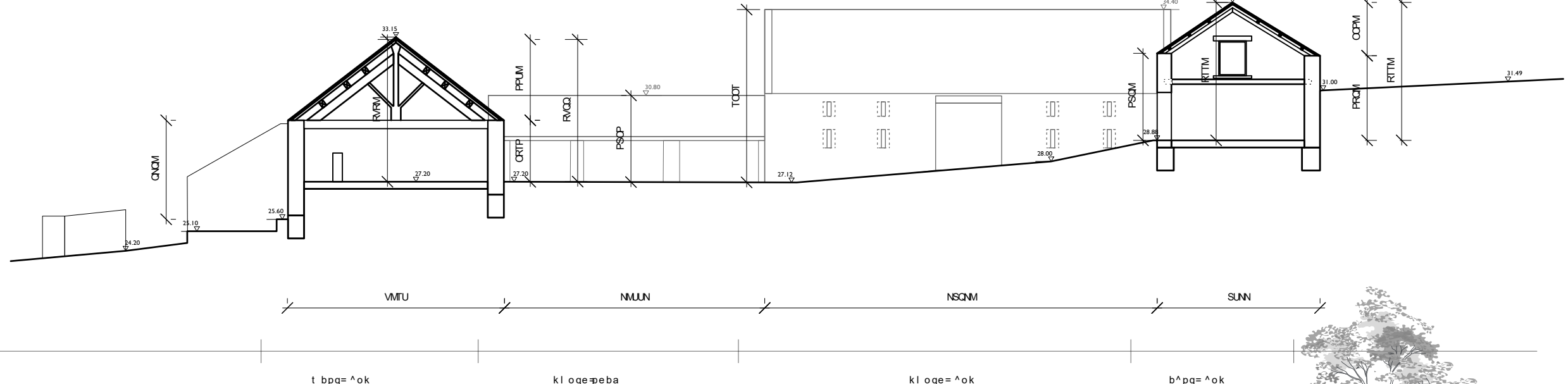
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Client: Charles Mador, 14 Southern Street, London W10 5PH, Tel: +44 (0) 20 7281 5550

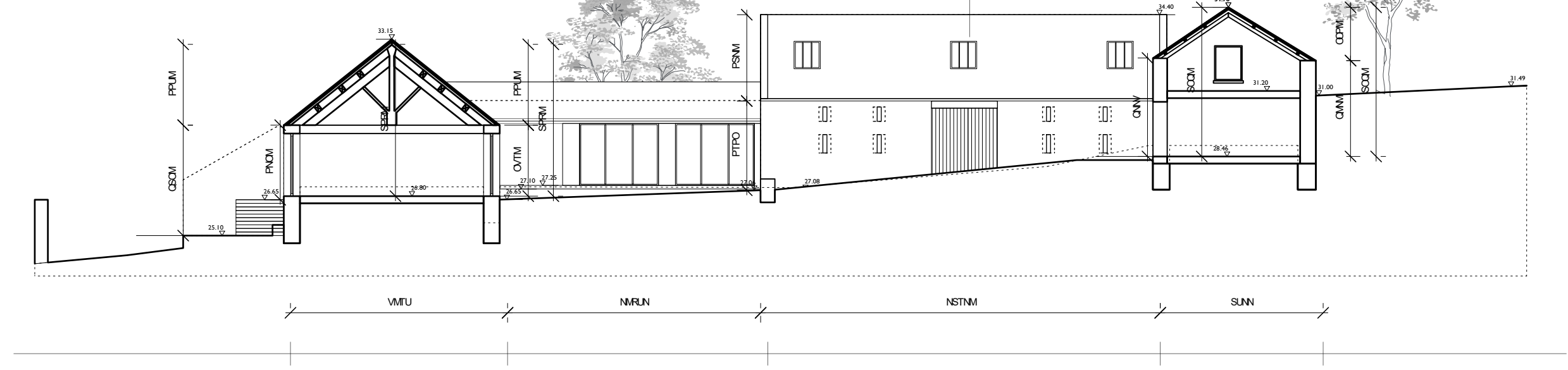
Architect: Mador & Partners, Charles Architects Ltd, 14 Southern Street, London W10 5PH, Tel: +44 (0) 20 7281 5550

204-TALTREUDDYN FAWR

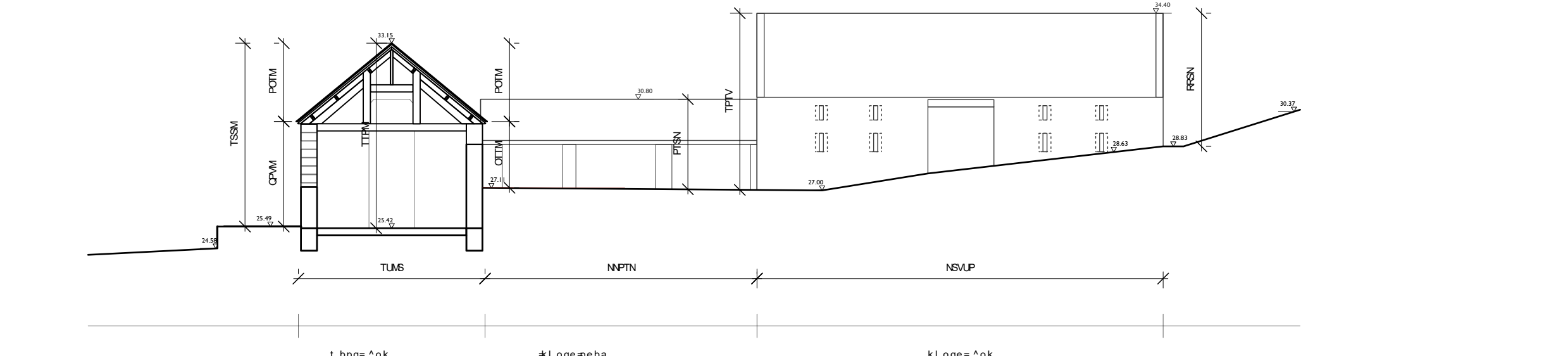
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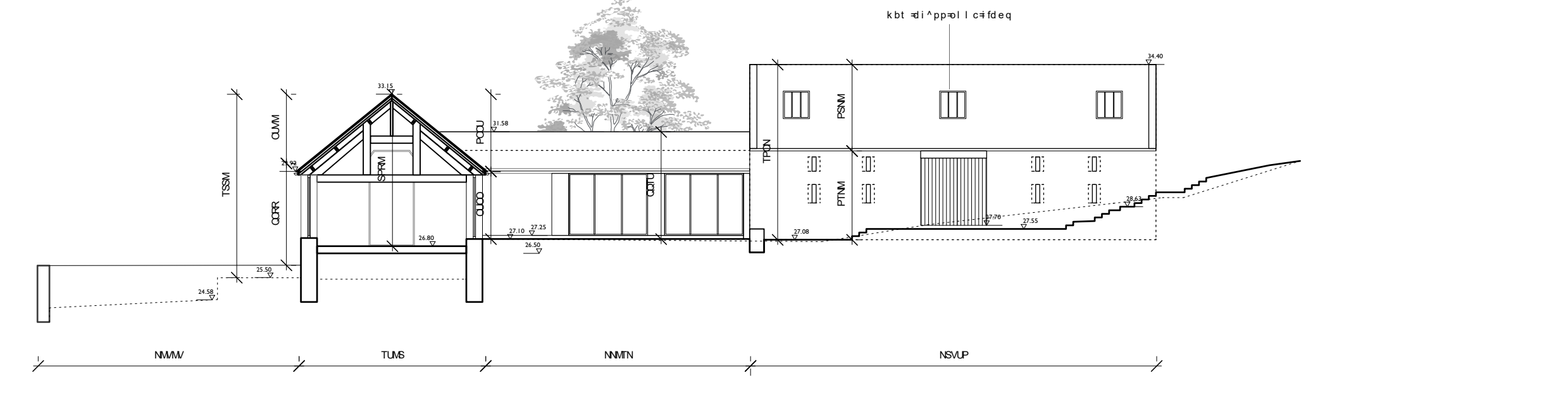
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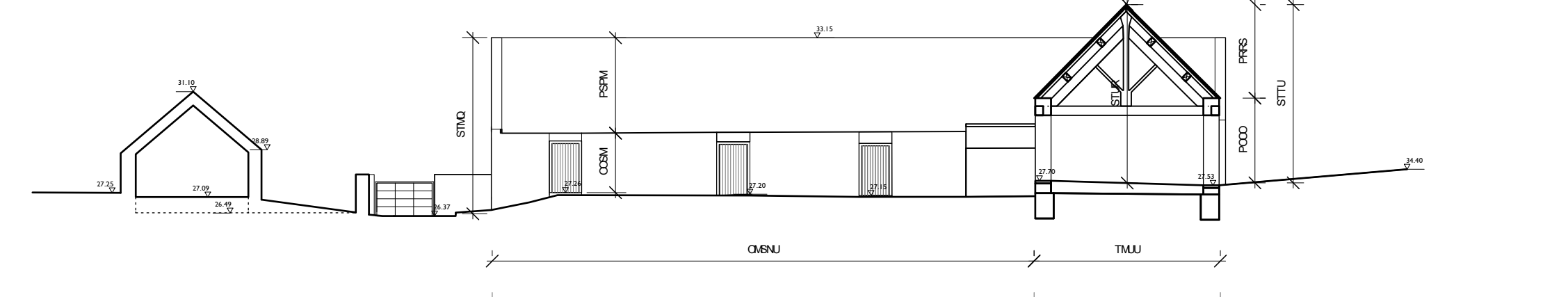
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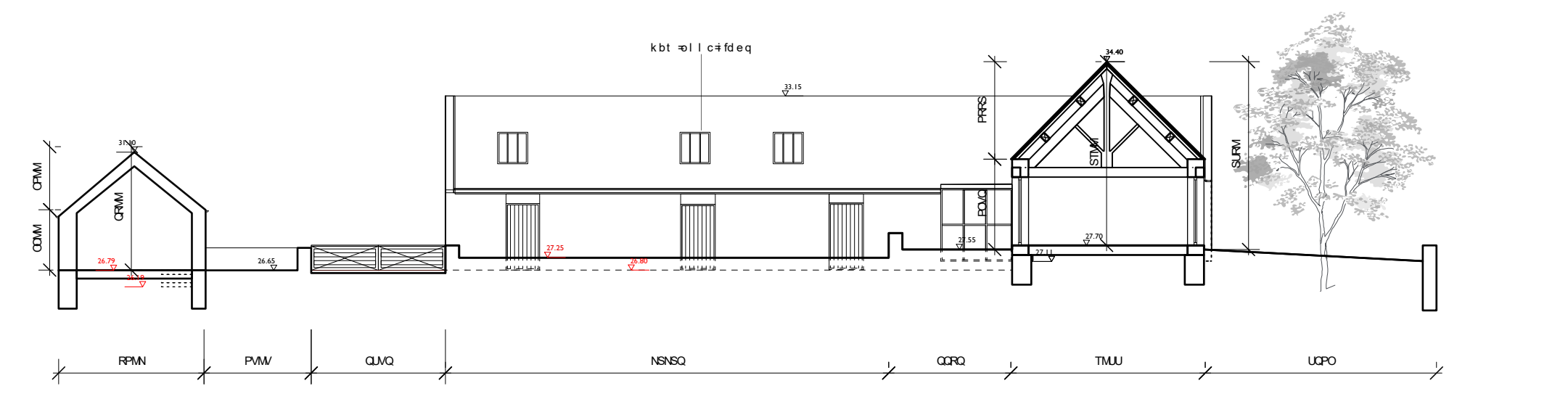
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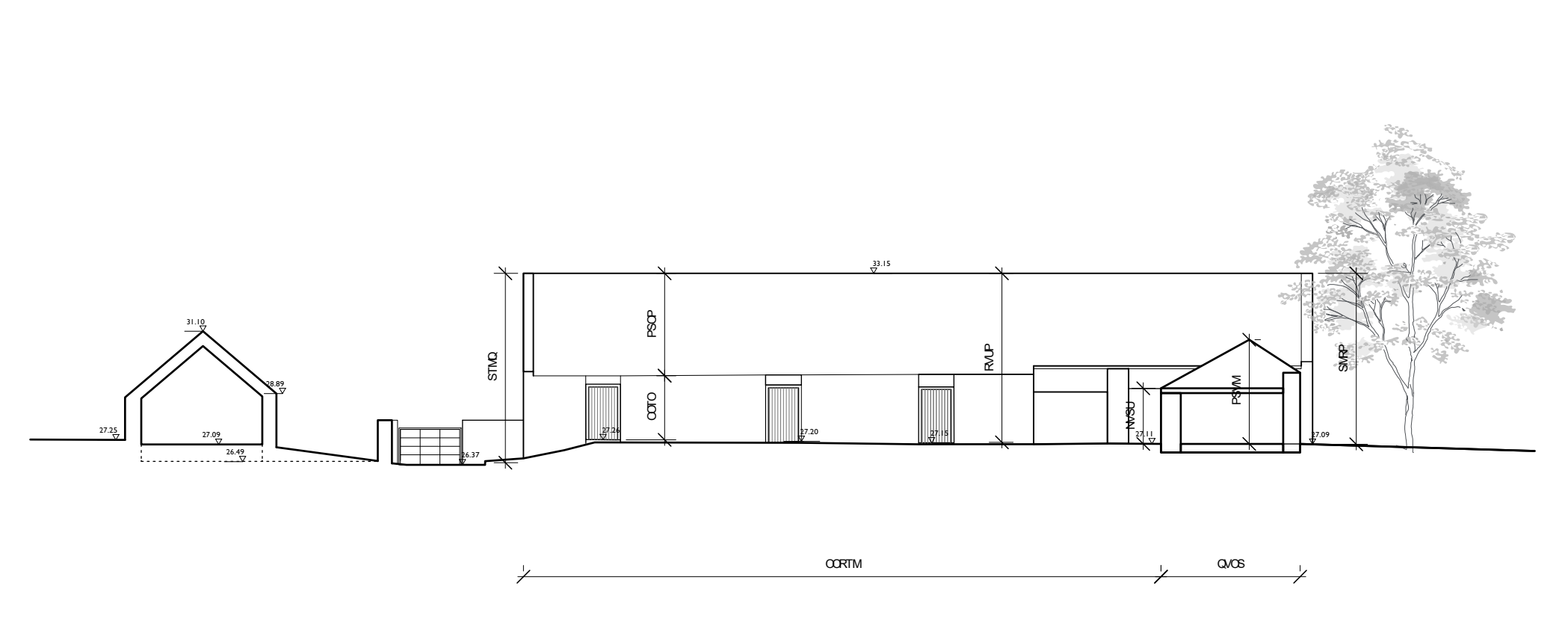
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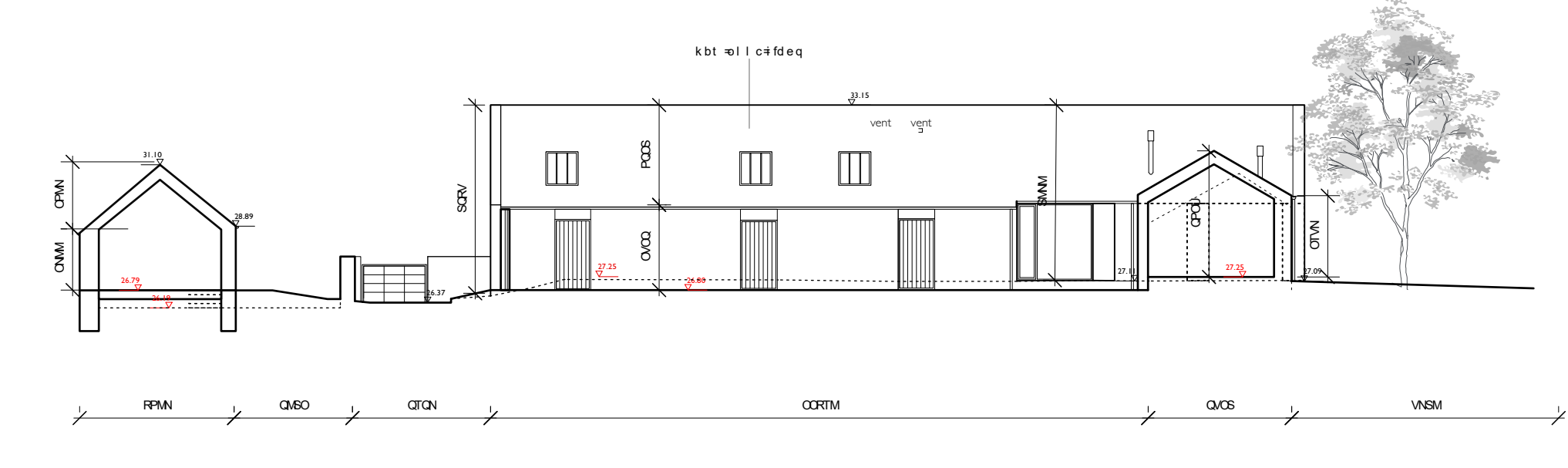
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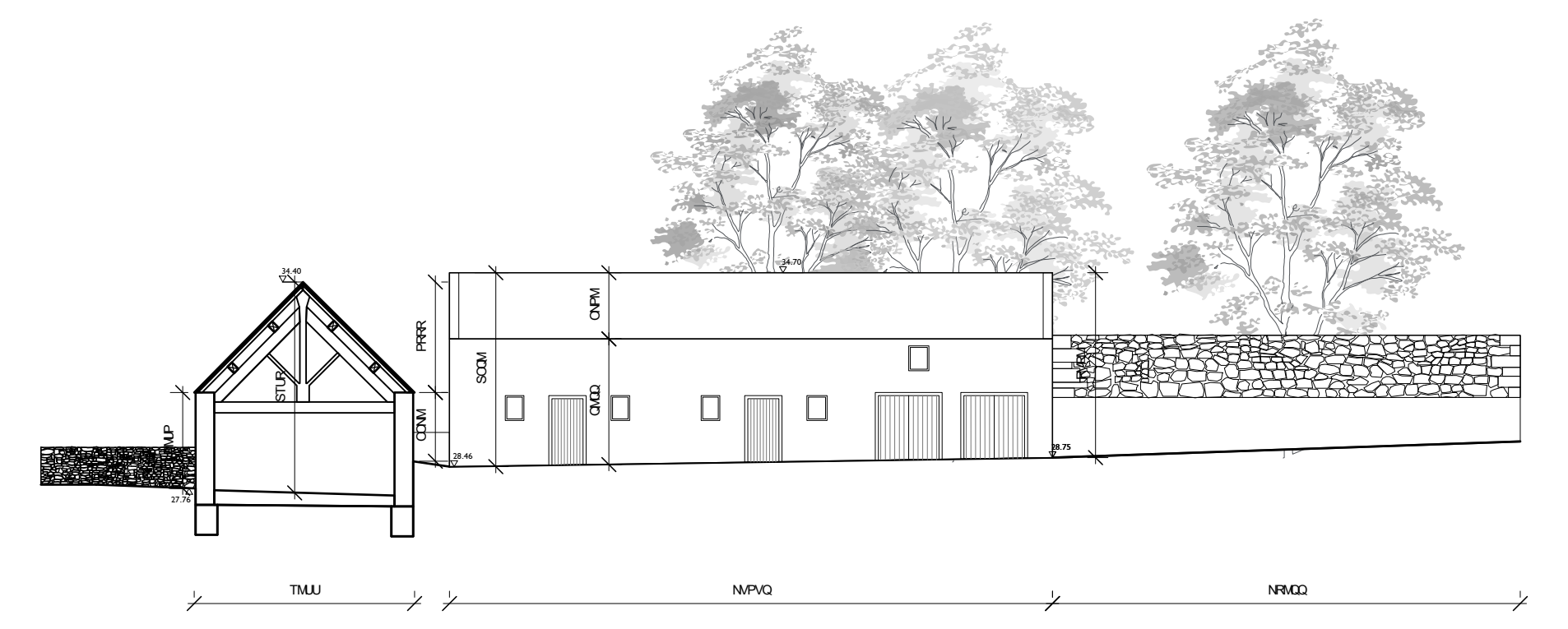
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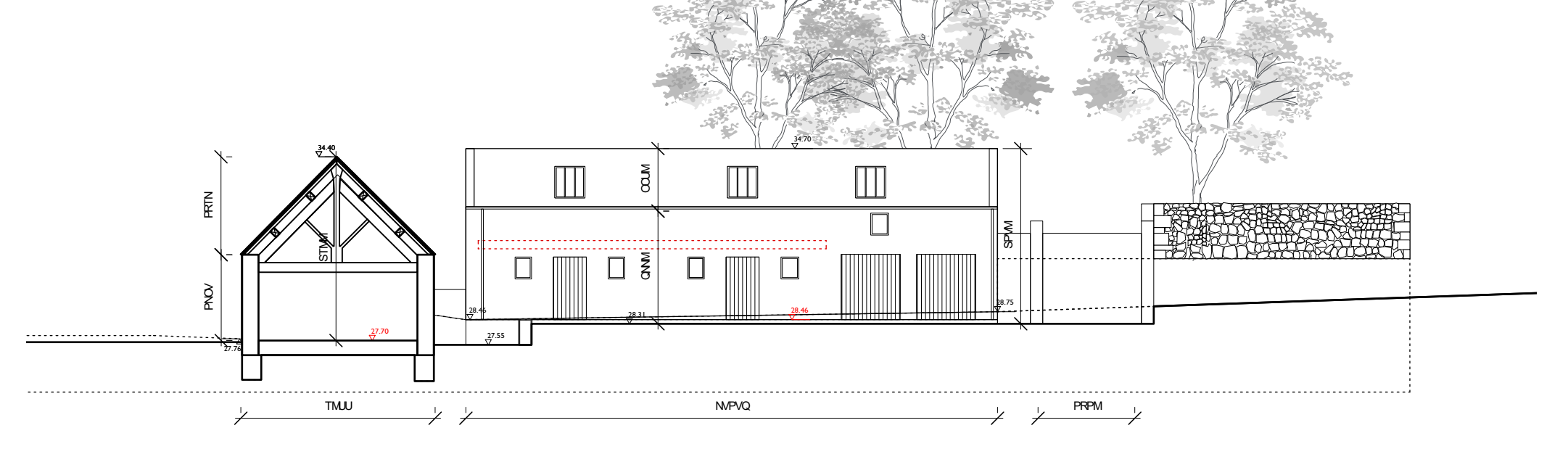
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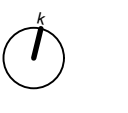
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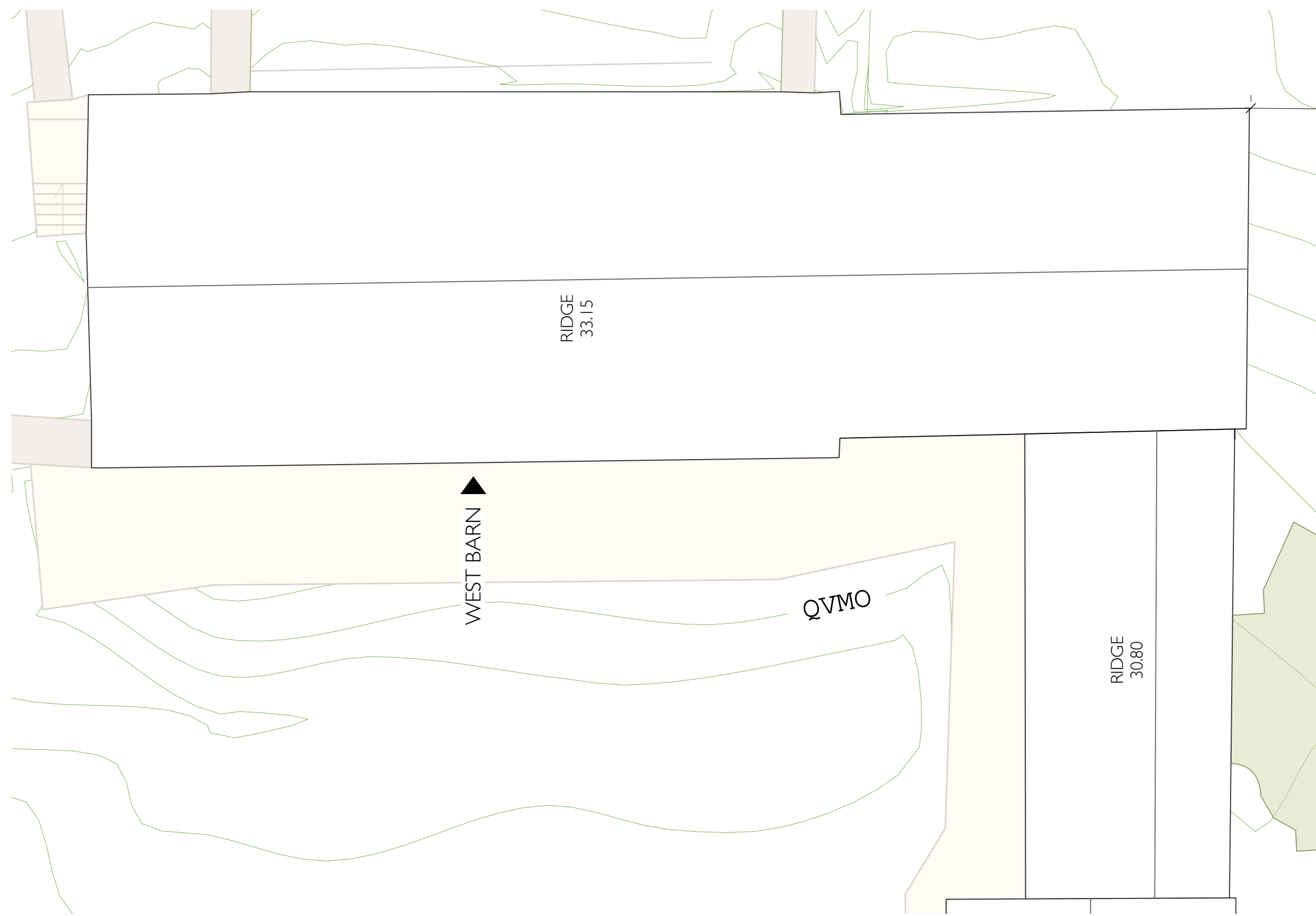


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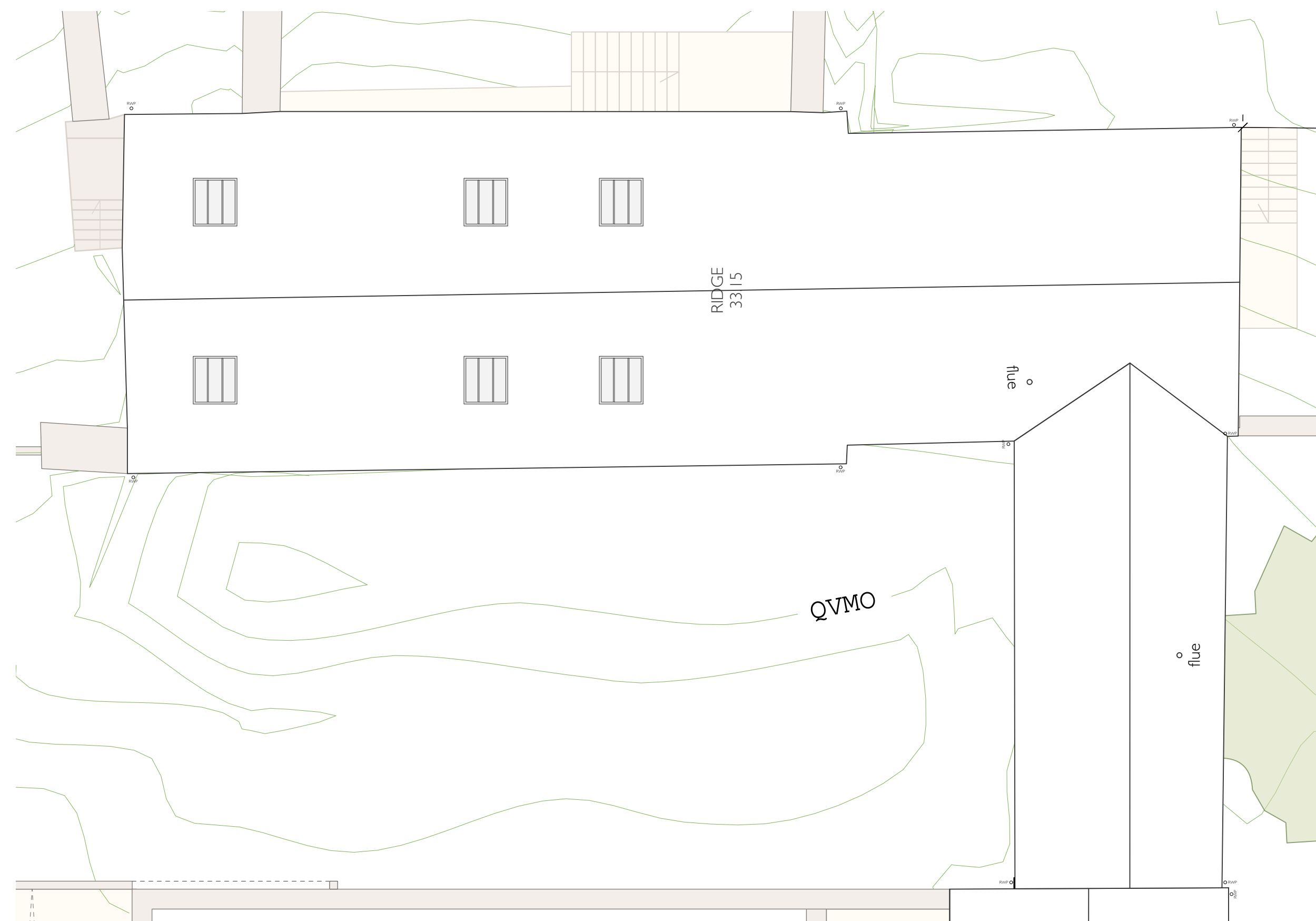
CLIENT		ARCHITECT		204-TALTREUDDYN FAWR																															
Name: Charles Mador Address: 14 Southern Street London W10 5PH Tel: +44 (0) 20 7281 5550 Email: charles@mador.co.uk		Mador & Partners Chartered Architects Ltd. 14 Southern Street London W10 5PH Tel: +44 (0) 20 7281 5550 Email: charles@mador.co.uk		<table border="1"> <tr> <td>DATE</td> <td>NO</td> <td>BY</td> <td>CHKD</td> <td>APPD</td> <td>SCALE</td> </tr> <tr> <td>2024-01-15</td> <td>001</td> <td>CM</td> <td>MP</td> <td>MAK</td> <td>1:100</td> </tr> <tr> <td>REVISION</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>NO</td> <td>DESCRIPTION</td> <td>DATE</td> <td>BY</td> <td>CHKD</td> <td>APPD</td> </tr> <tr> <td>1</td> <td>ISSUED FOR PERMIT</td> <td></td> <td></td> <td></td> <td></td> </tr> </table>		DATE	NO	BY	CHKD	APPD	SCALE	2024-01-15	001	CM	MP	MAK	1:100	REVISION						NO	DESCRIPTION	DATE	BY	CHKD	APPD	1	ISSUED FOR PERMIT				
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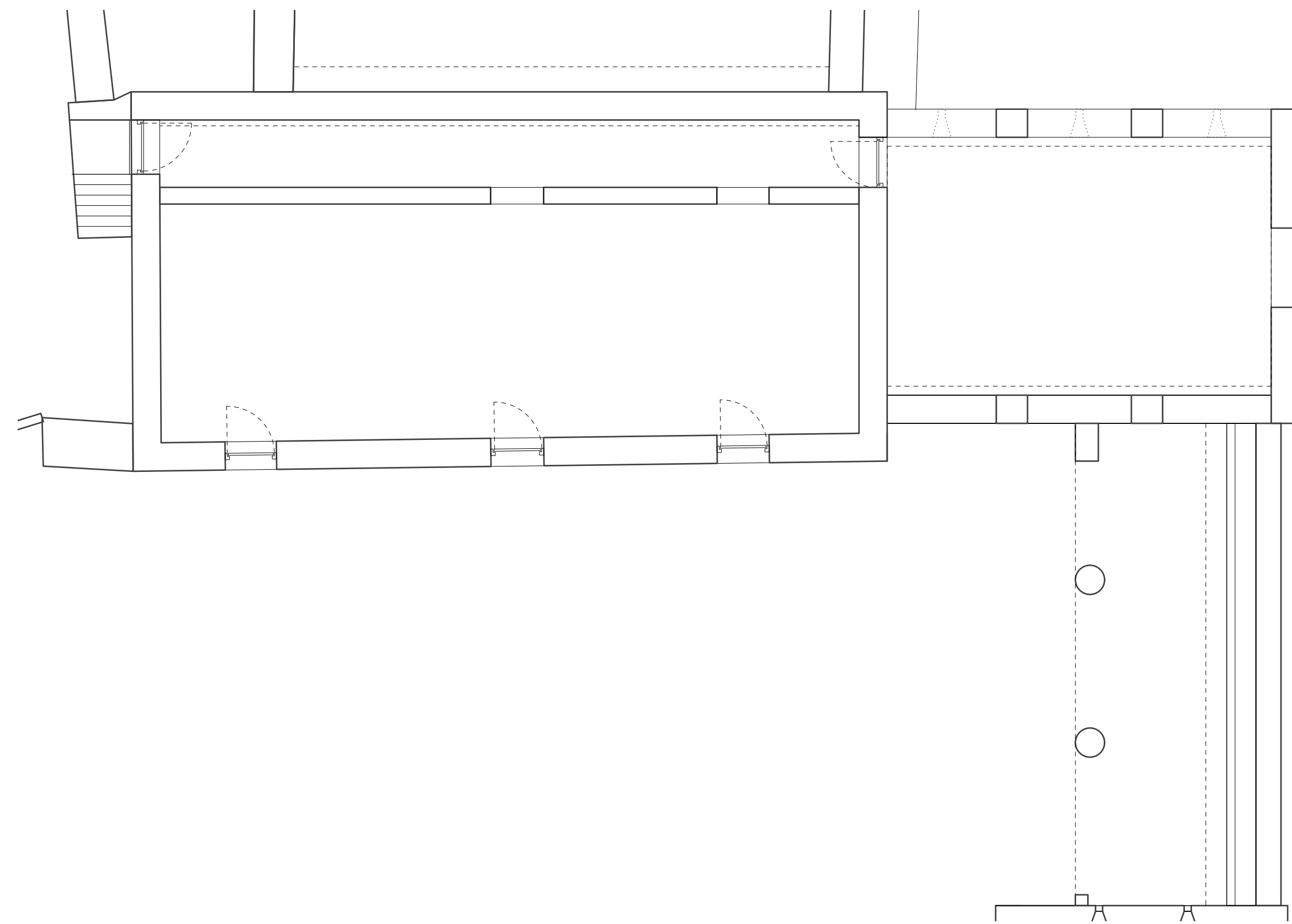


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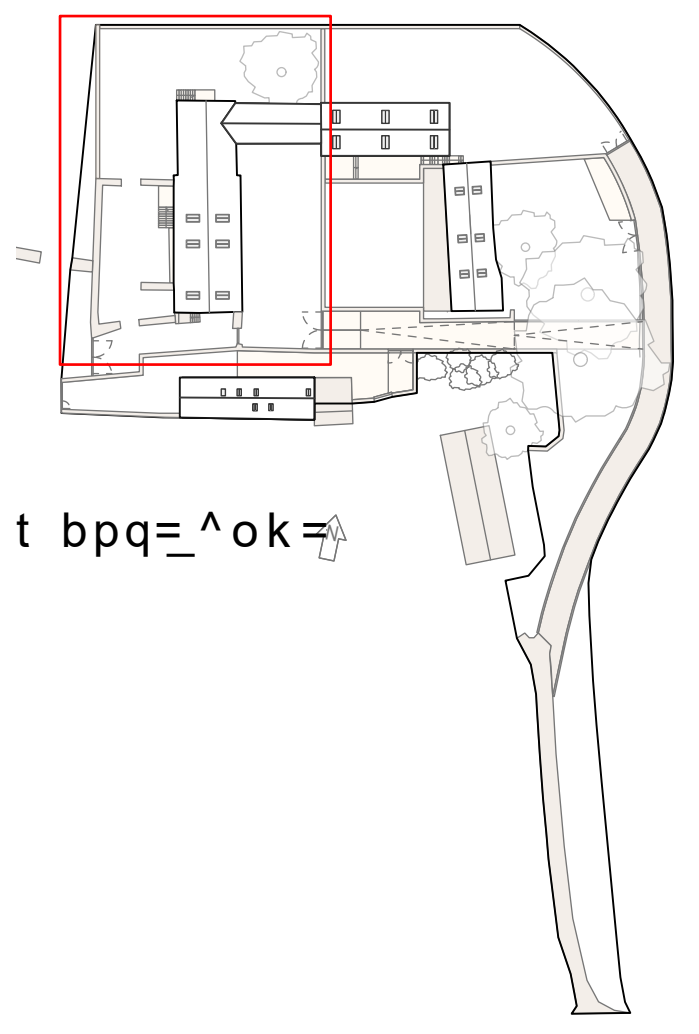
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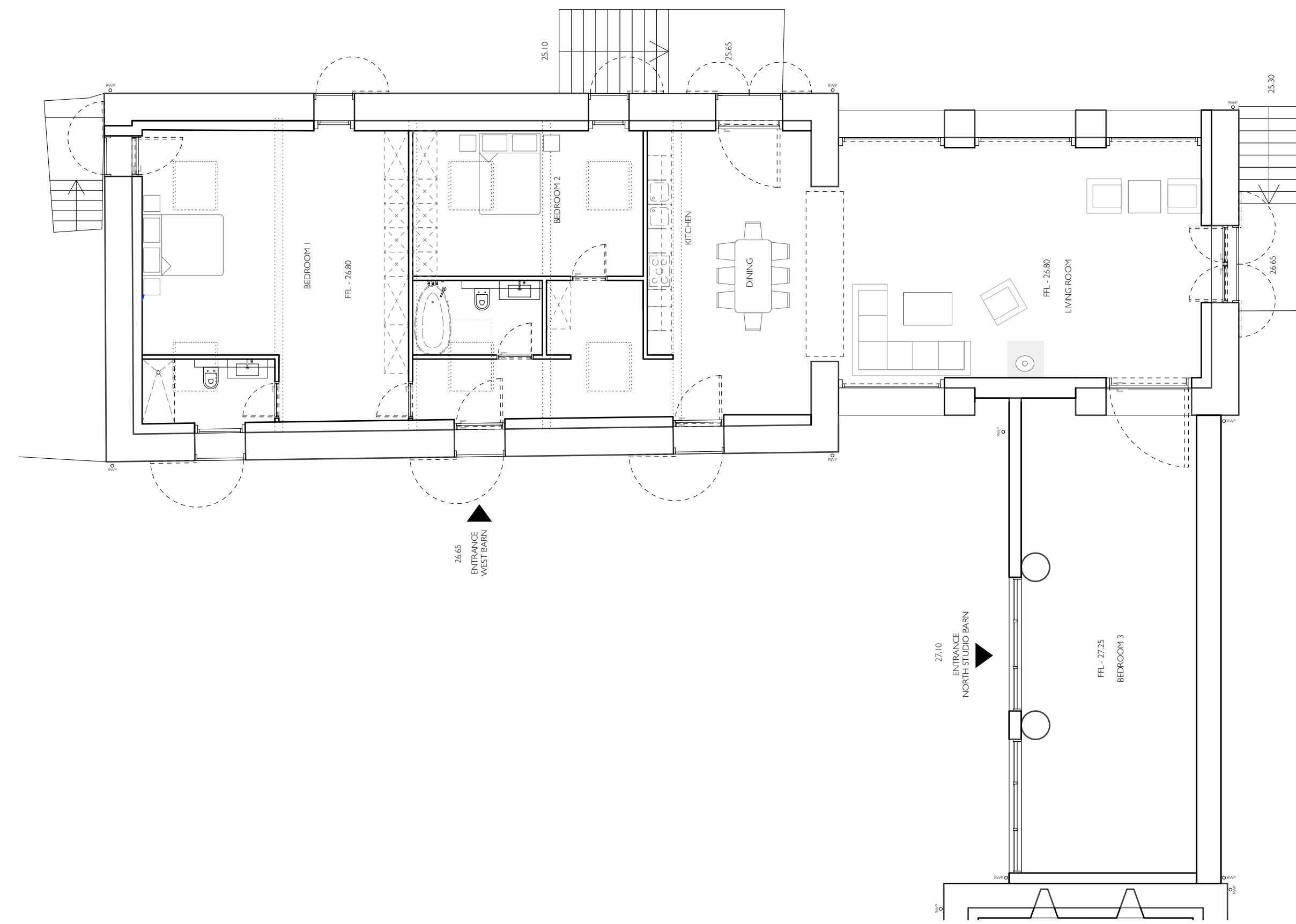
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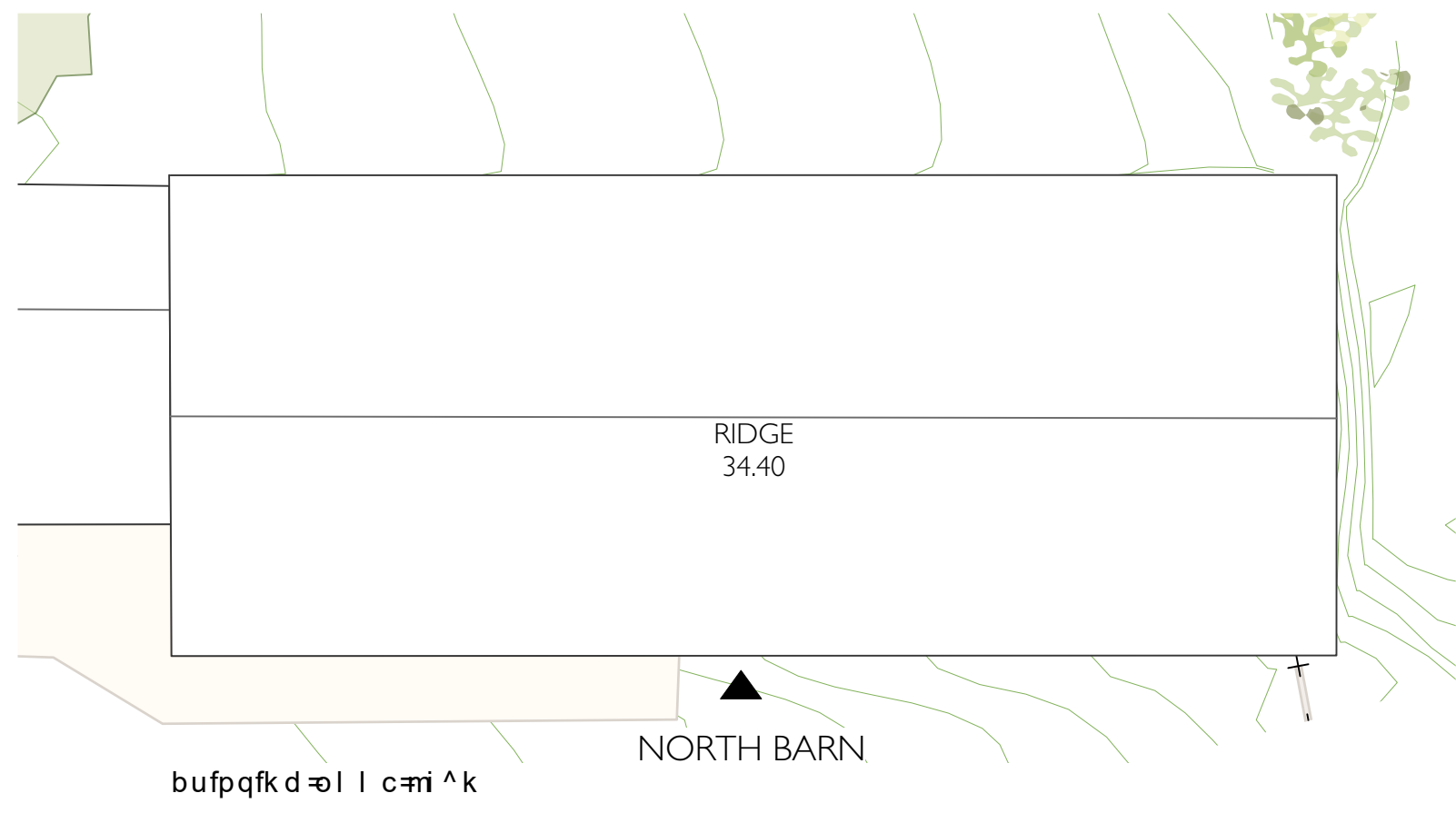
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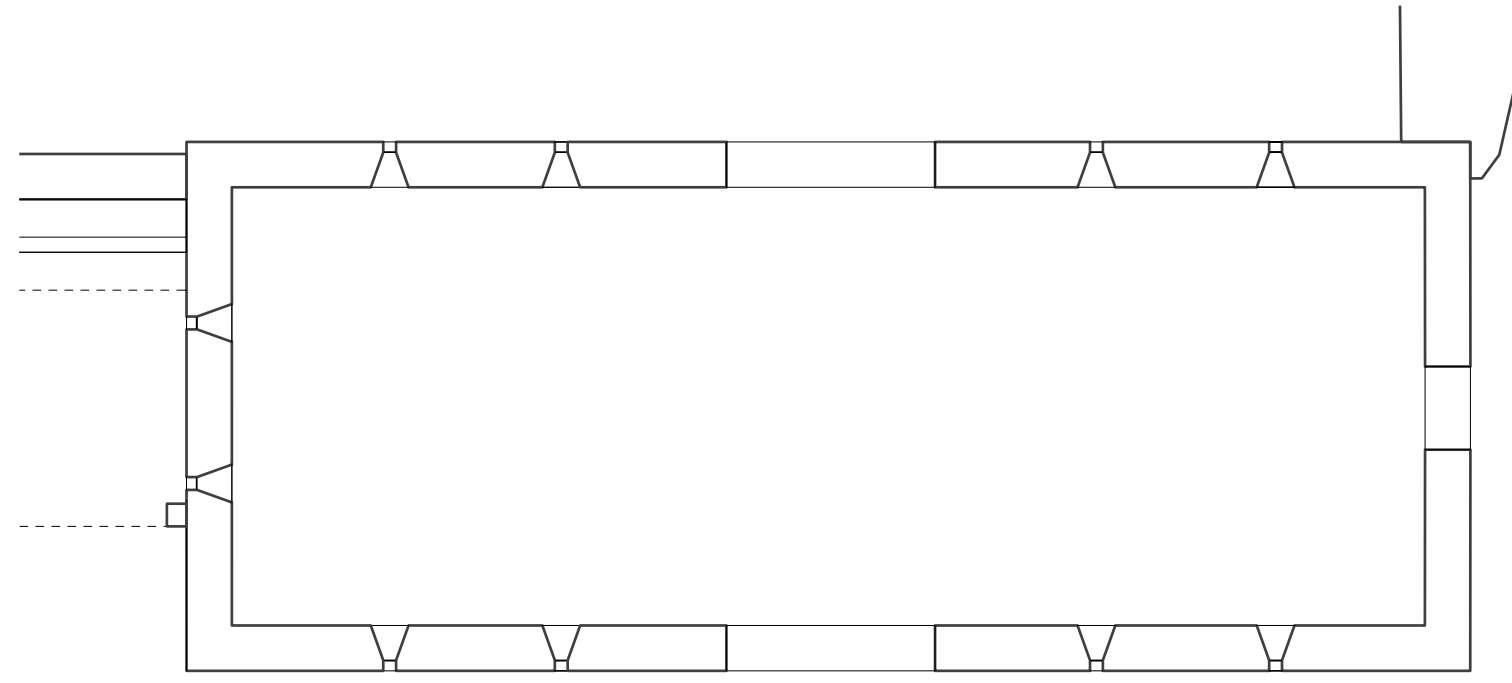
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<p>CLIENT</p> <p>Name: Charles Mador Address: 14, Southam Street London W10 5PH Tel: +44 (0) 20 7281 5550</p>		<p>ARCHITECT</p> <p>Mador & Partners Chartered Architectural Firm 14, Southam Street London W10 5PH Tel: +44 (0) 20 7281 5550 Email: charles@mador.co.uk</p>		<p>204-TALTREDDYNN FAWR</p> <p>Name: Charles Mador Address: 14, Southam Street London W10 5PH Tel: +44 (0) 20 7281 5550 Email: charles@mador.co.uk</p>	
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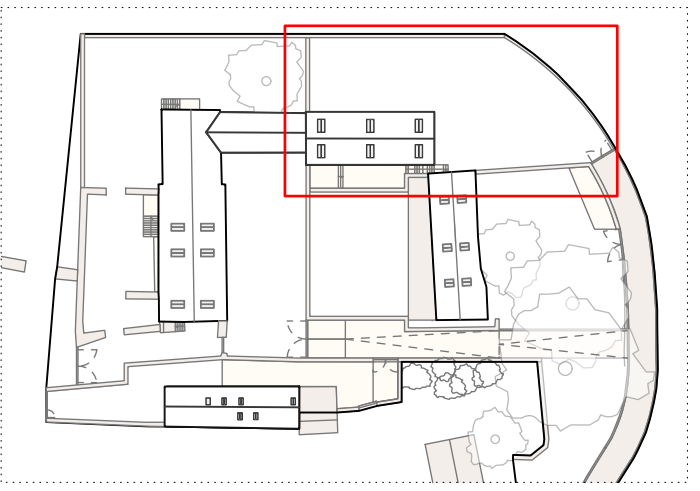
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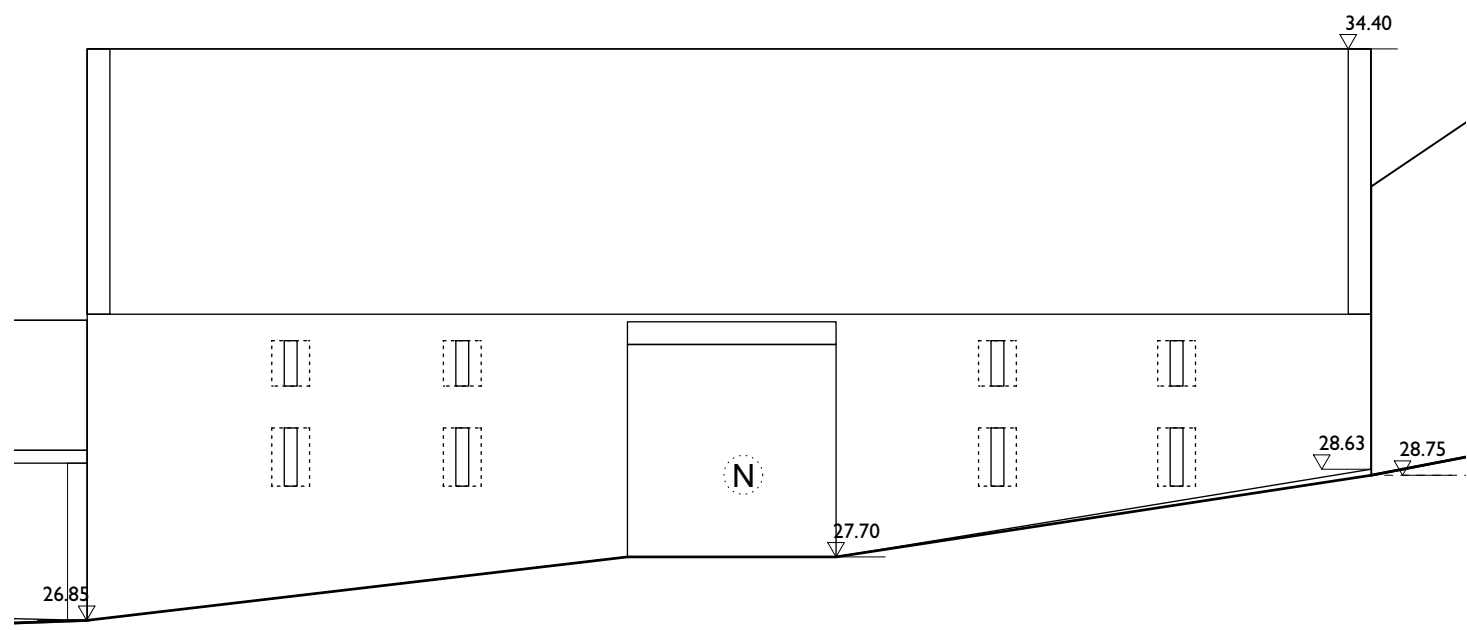
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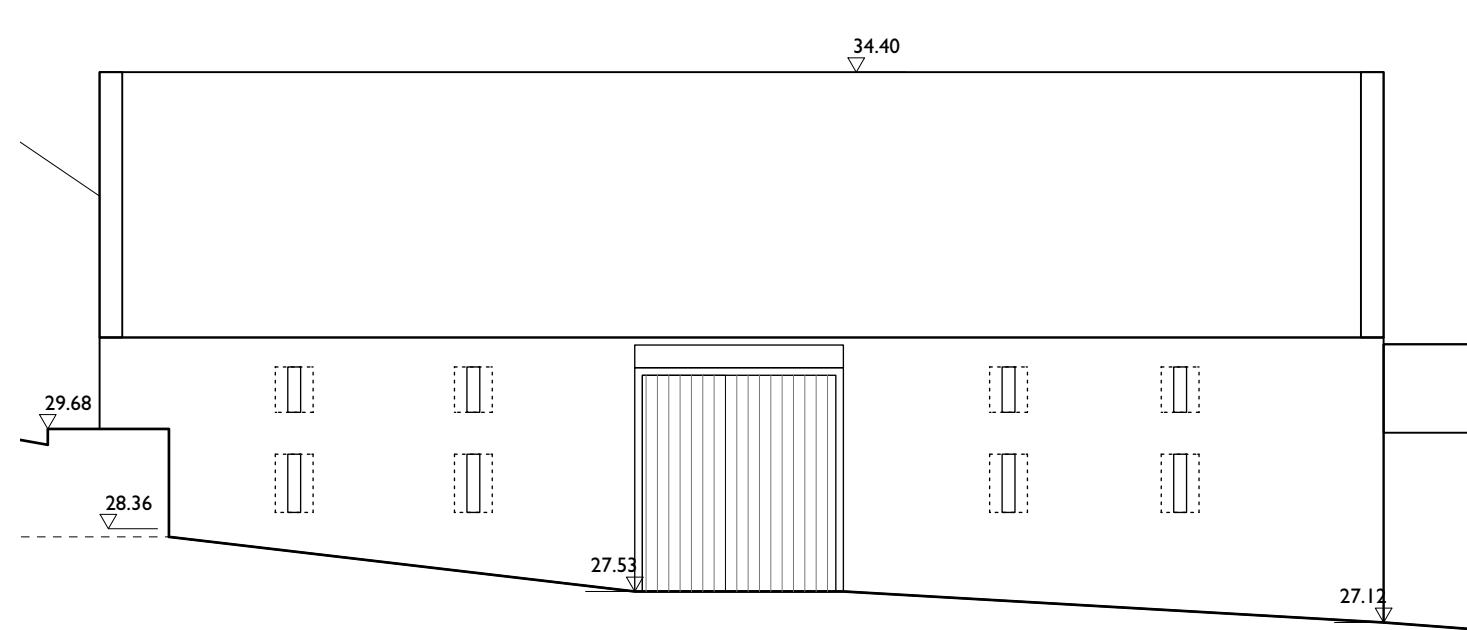


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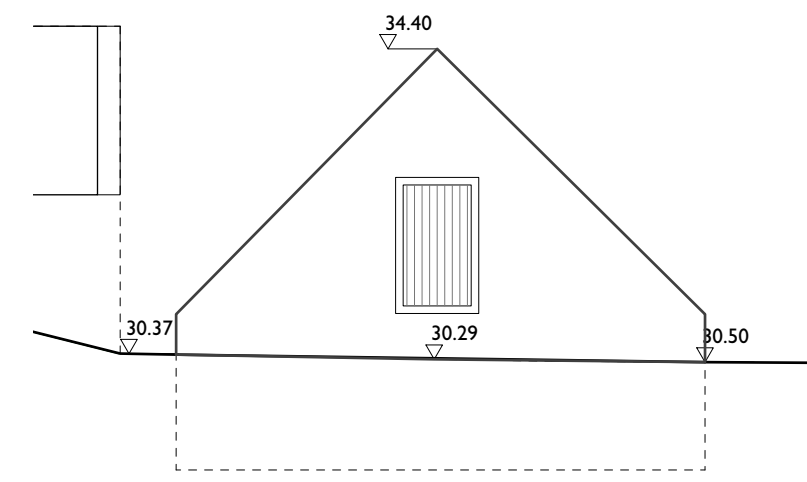


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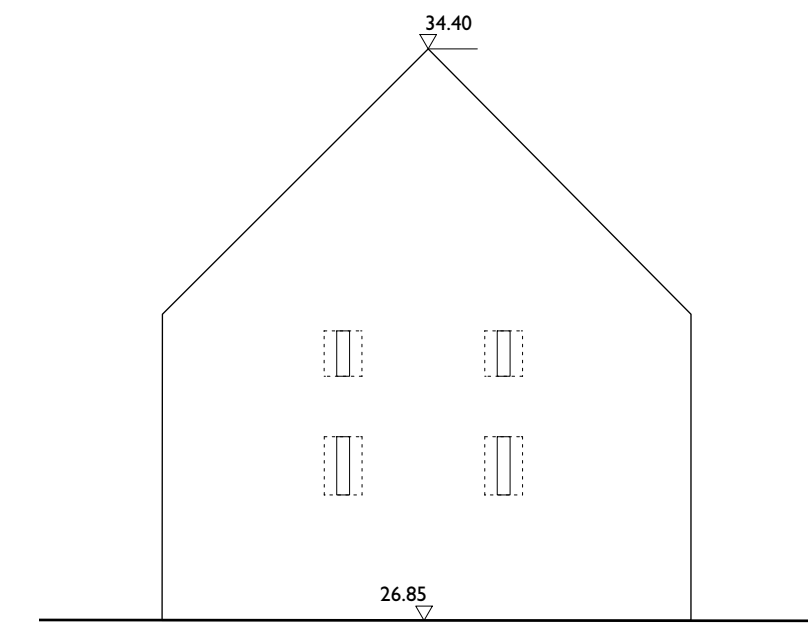
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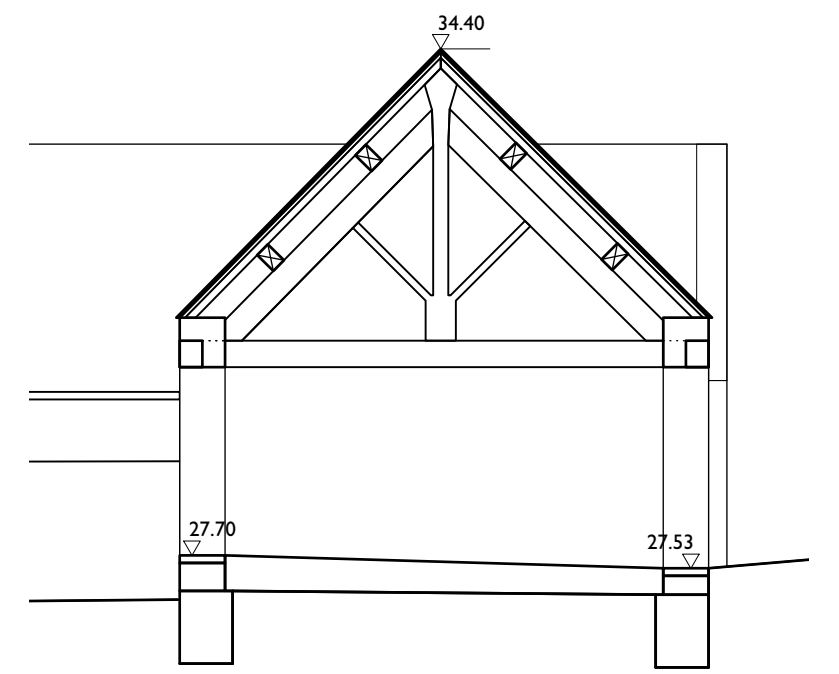
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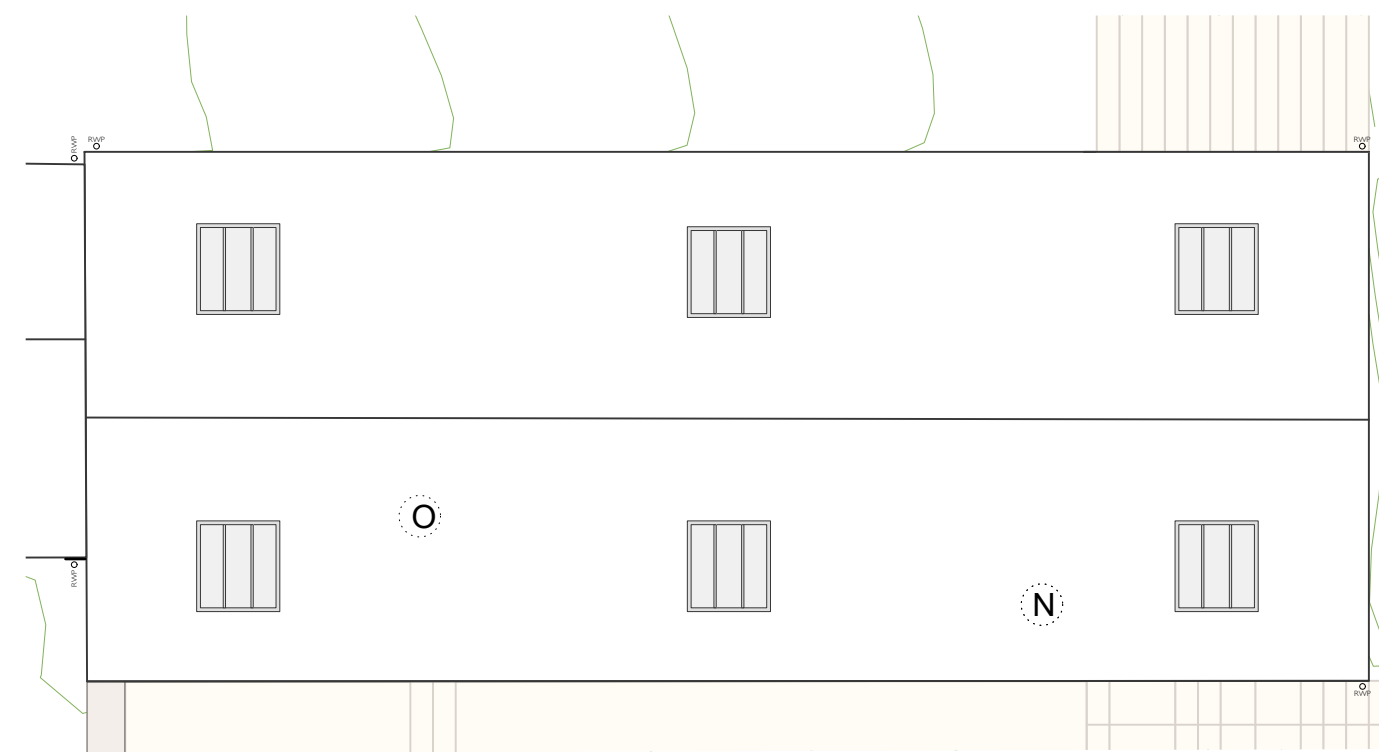


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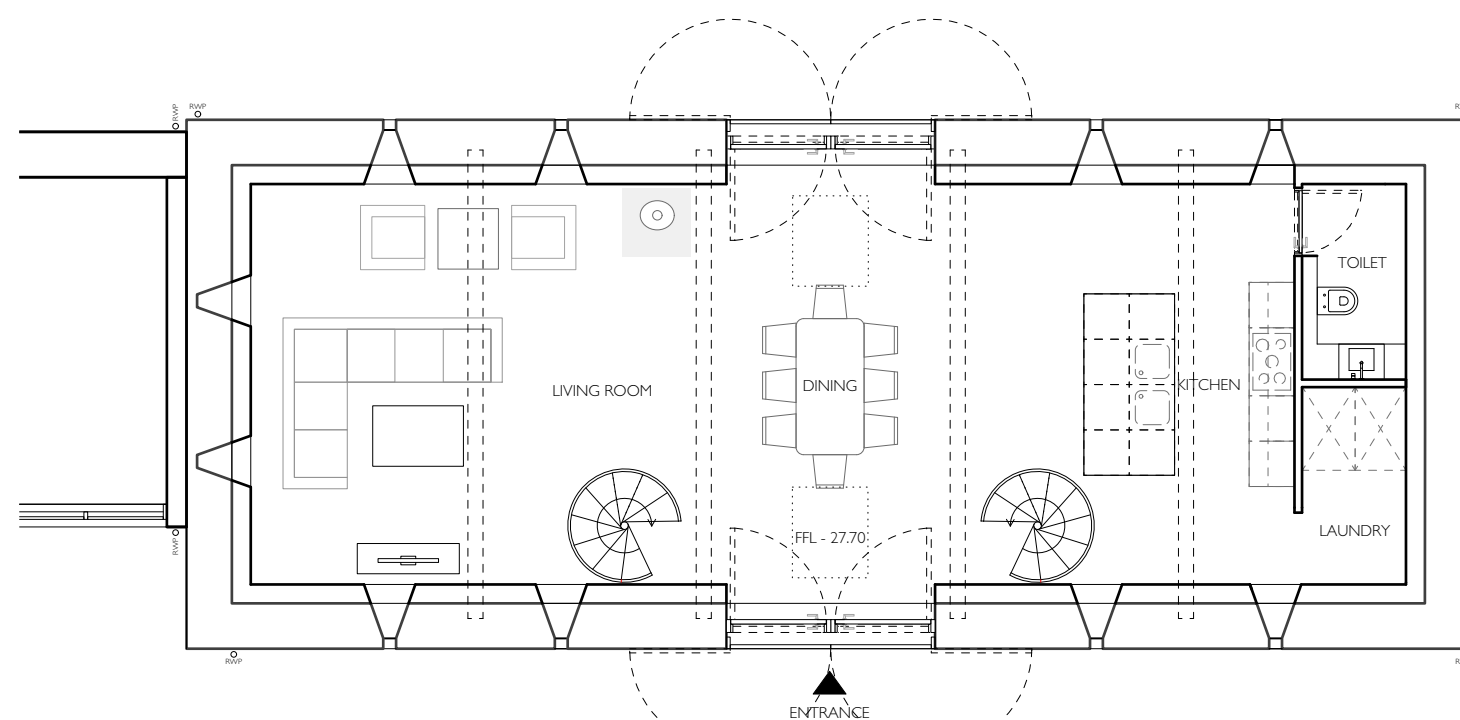
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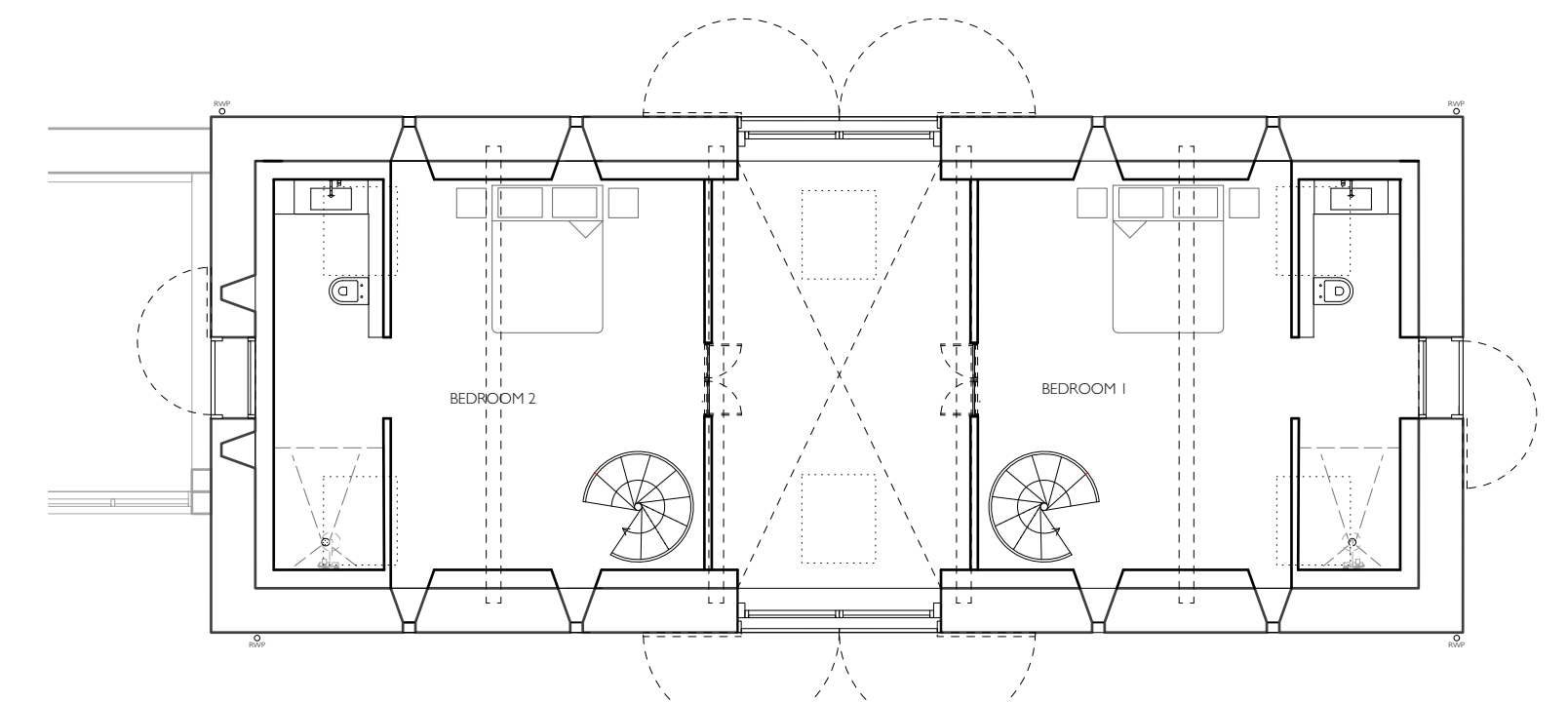


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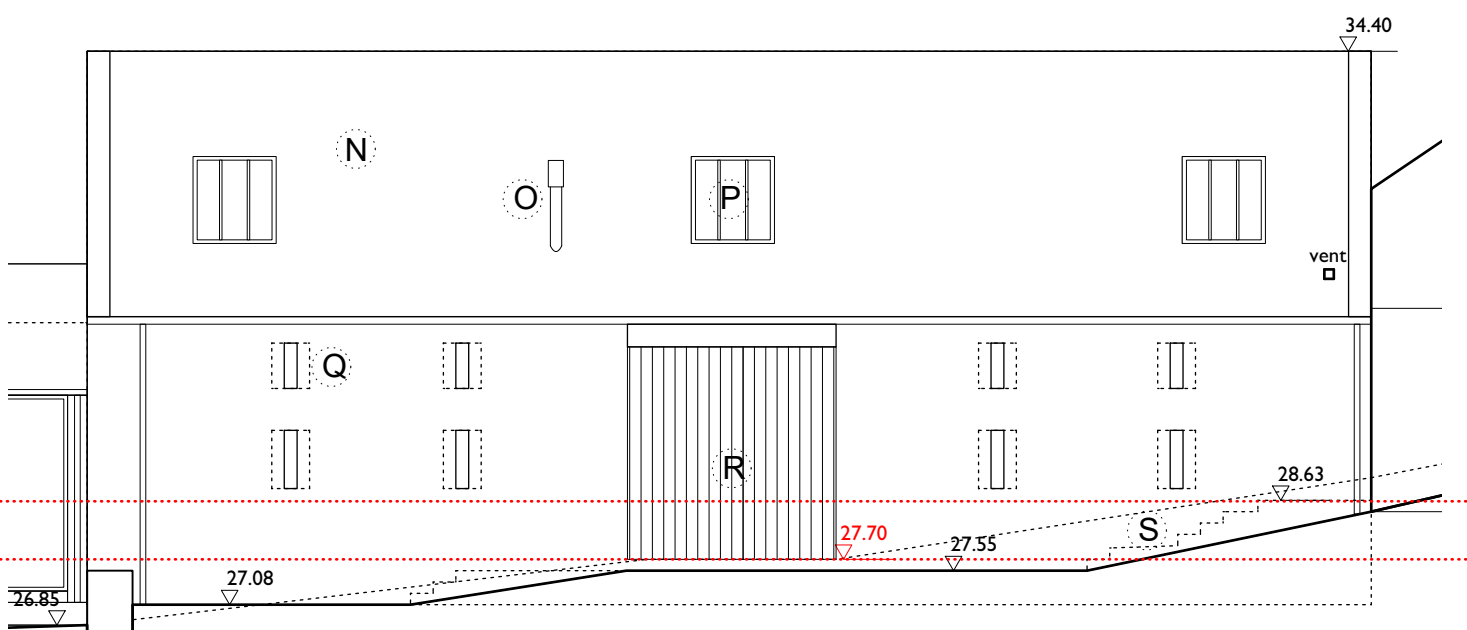
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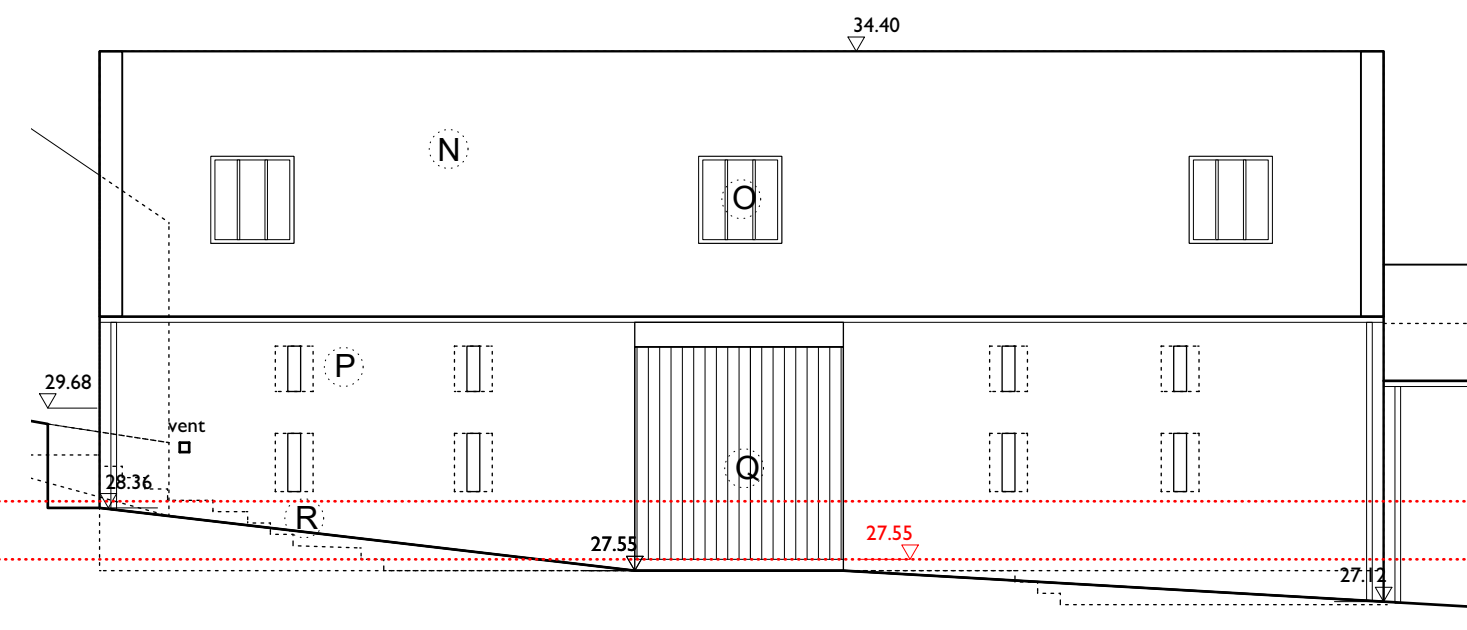


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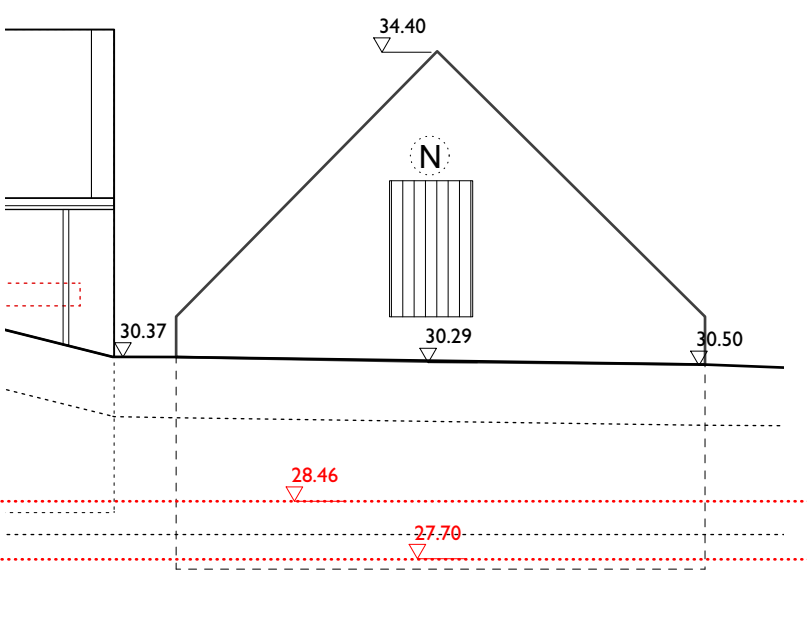
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 Qh k e i a a e c i c e a c i e c a i e e a n e i c h e c c q a i e e e
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 Q h n e i a o i e a i a i q a e e a e a o o e c
 R h a c e e e c c e e e i c e c h a u n i a o o b e c e a e e a a e u a c k
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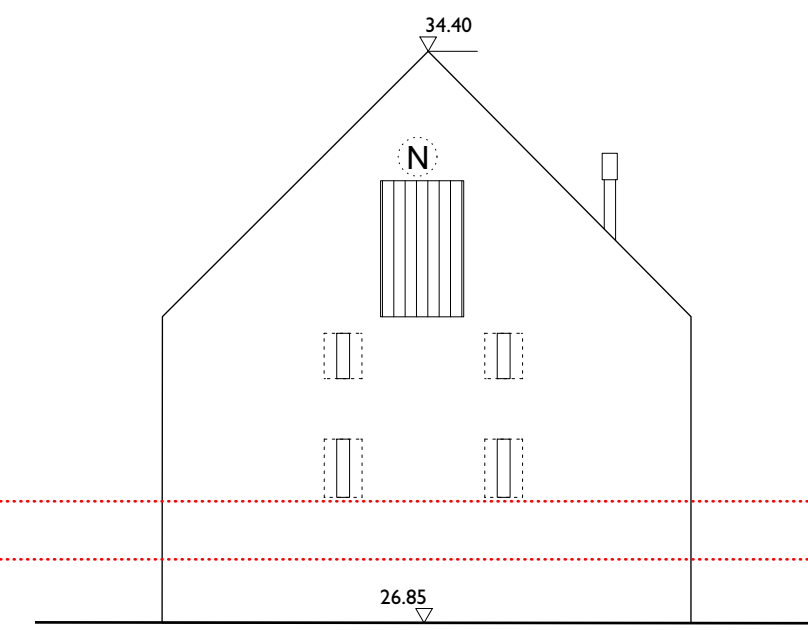
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 p a o e r e e e a c i g a a u c e a e e c h e a i n e a e o a a e a e o q p a k
 Q h u e e a b i a c a e e e i q a e i o e e c h i d u e r a u a e a i e a e c c e c h e p p i i u b e i i q a k
 P h n e i a o i e a i a i q a e e a e a o o e c
 Q h a c e e e c c e e e i c e c h a u n i a o o b e c e a e e a a e u a c k
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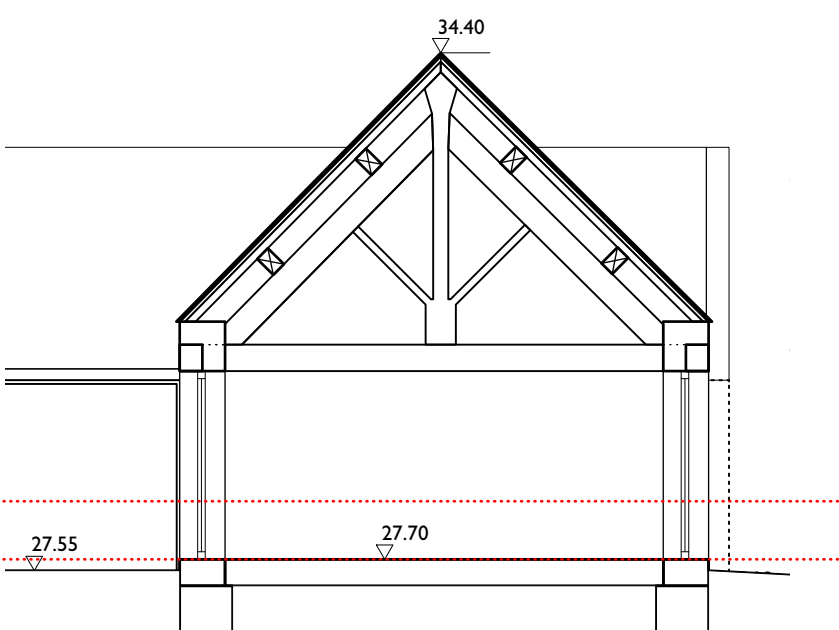
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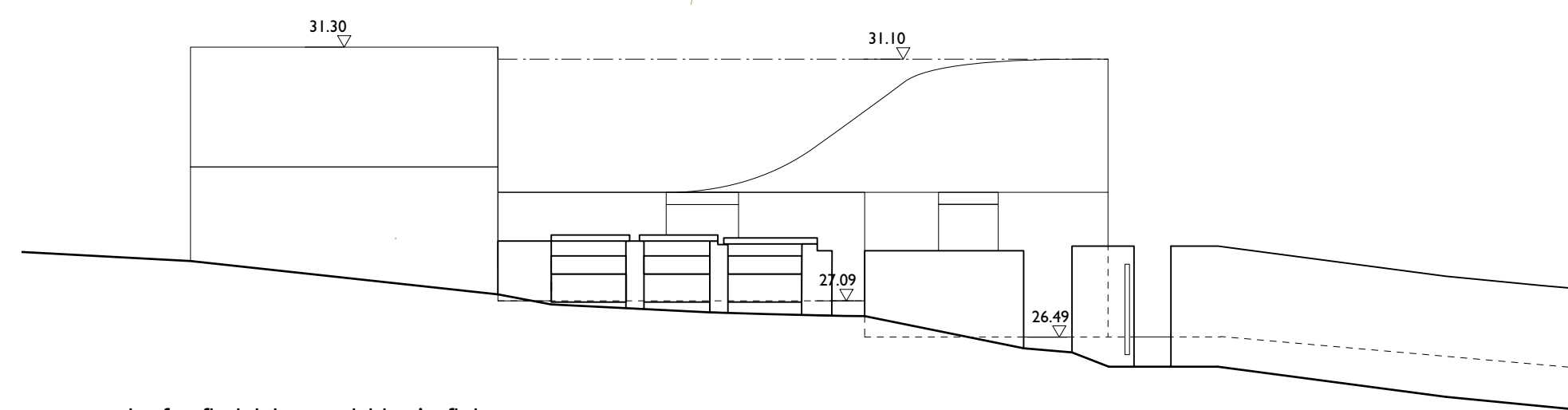
<p>CLIENT</p> <p>Name: Charles Mador Address: 14 Southern Street London W10 5PH Tel: +44 (0) 20 7281 5550</p>	<p>ARCHITECT</p> <p>Mador & Partners Chartered Architects Ltd. 14 Southern Street London W10 5PH Tel: +44 (0) 20 7281 5550 Email: charles@mador.co.uk</p>	<p>204-TALTREUDDYN FAWR</p> <p>204-TALTREUDDYN FAWR 14 Southern Street London W10 5PH Tel: +44 (0) 20 7281 5550</p>
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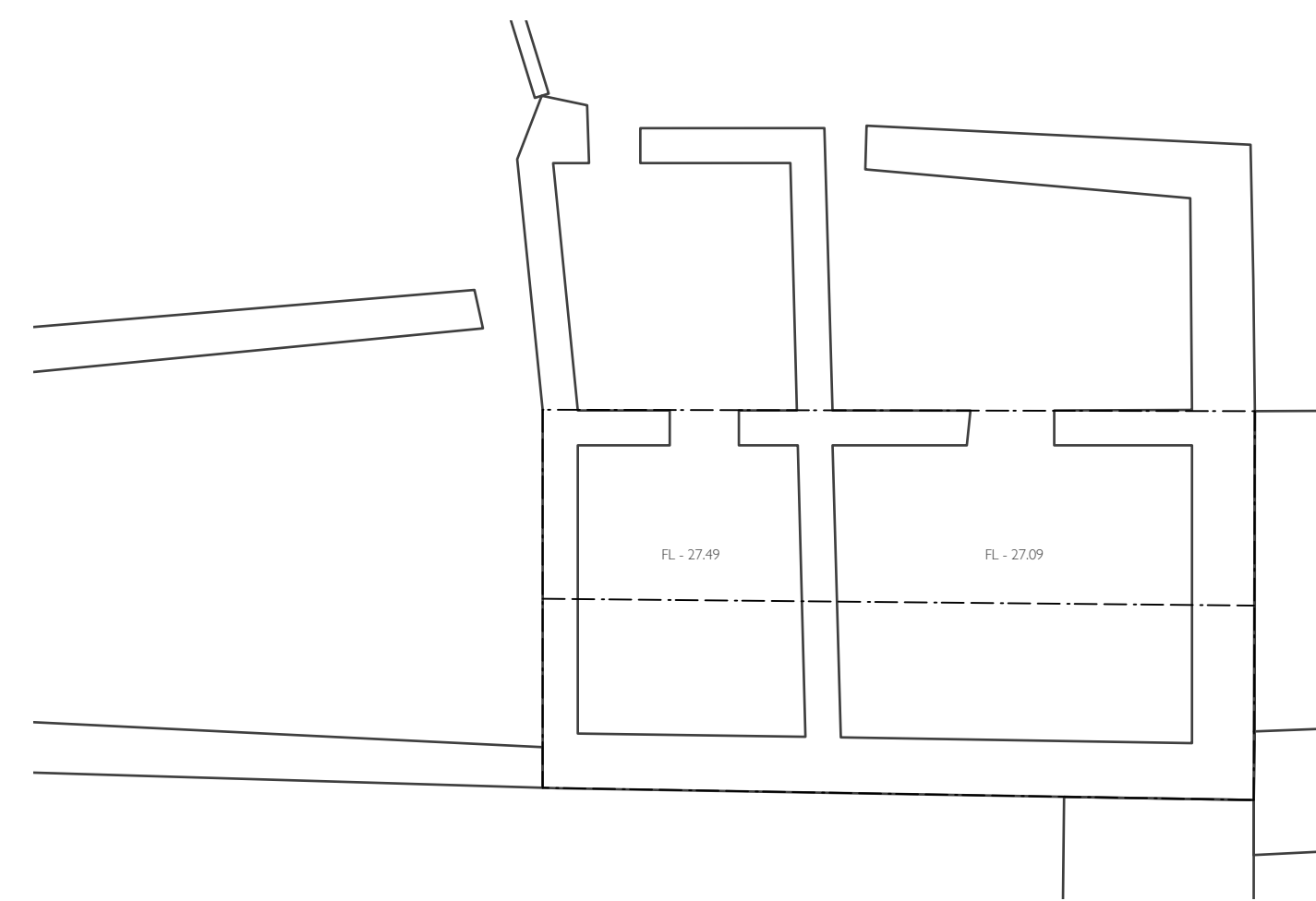


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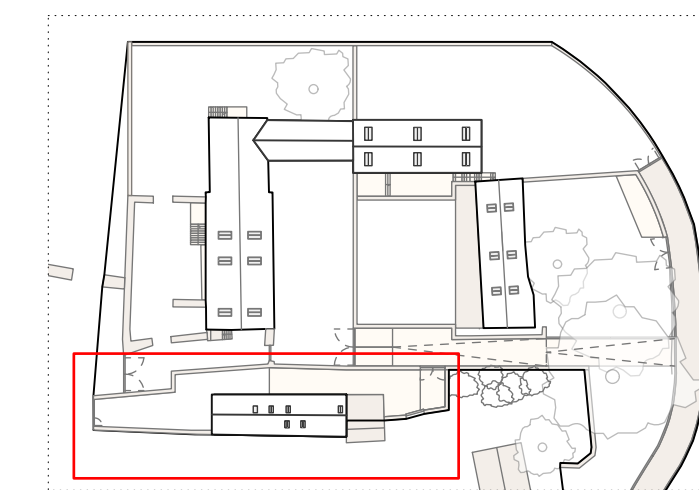
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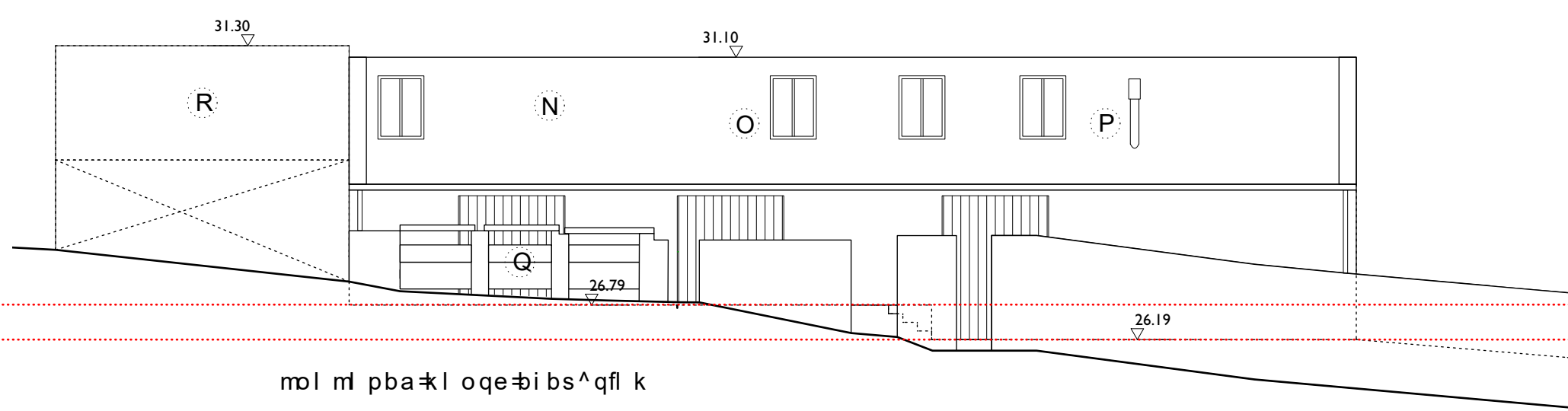


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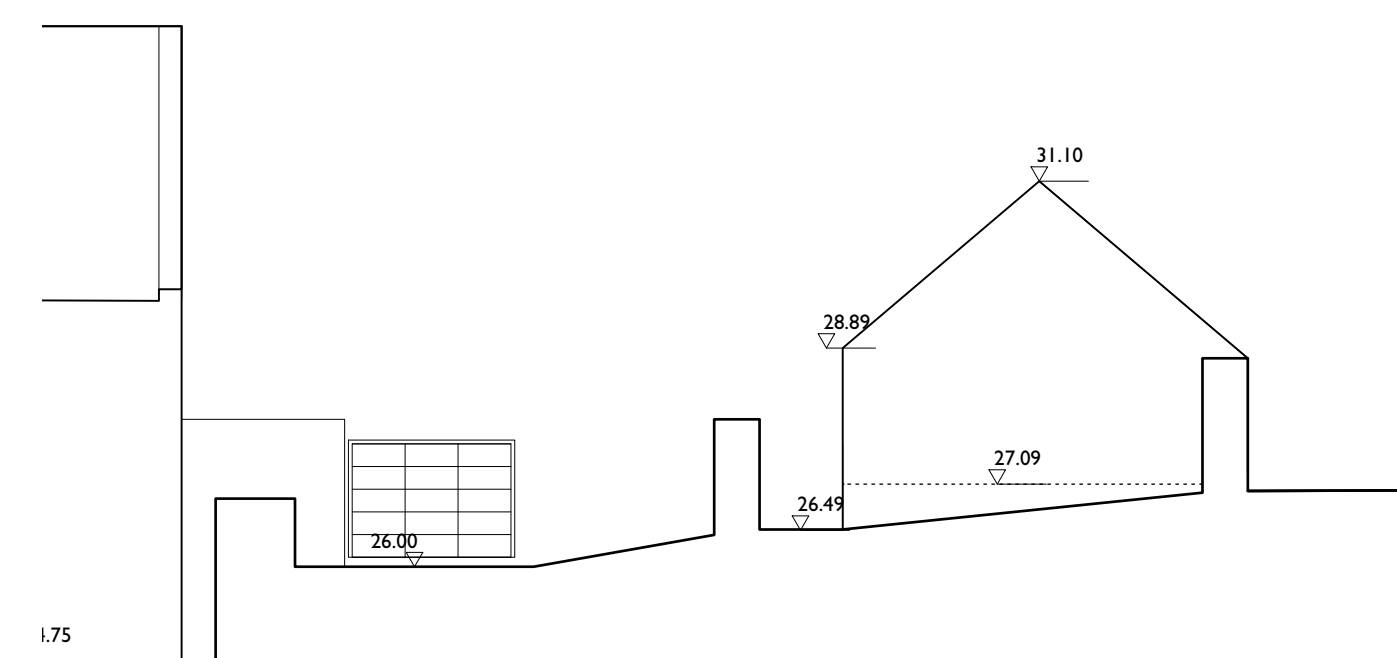


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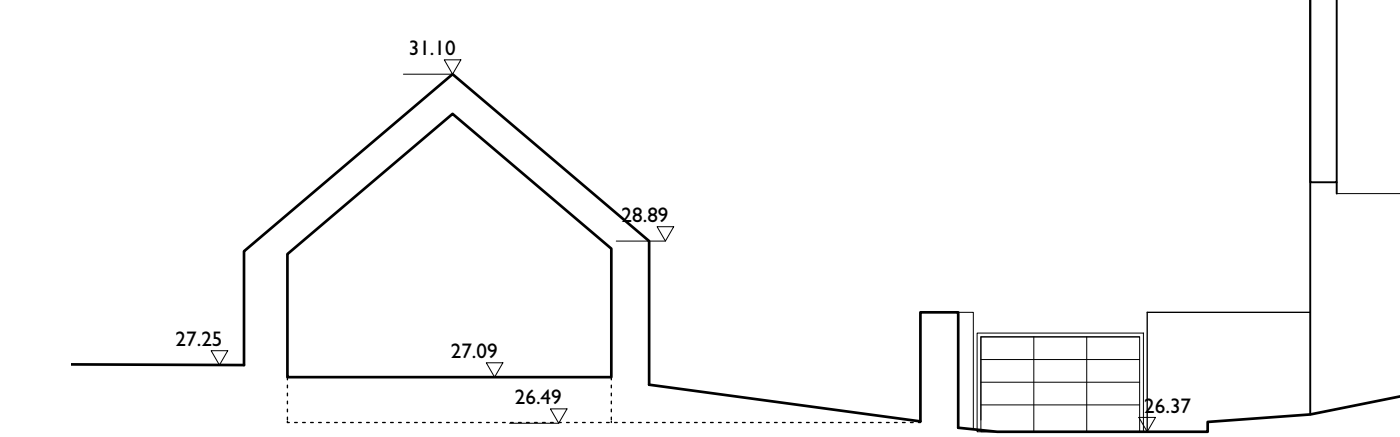


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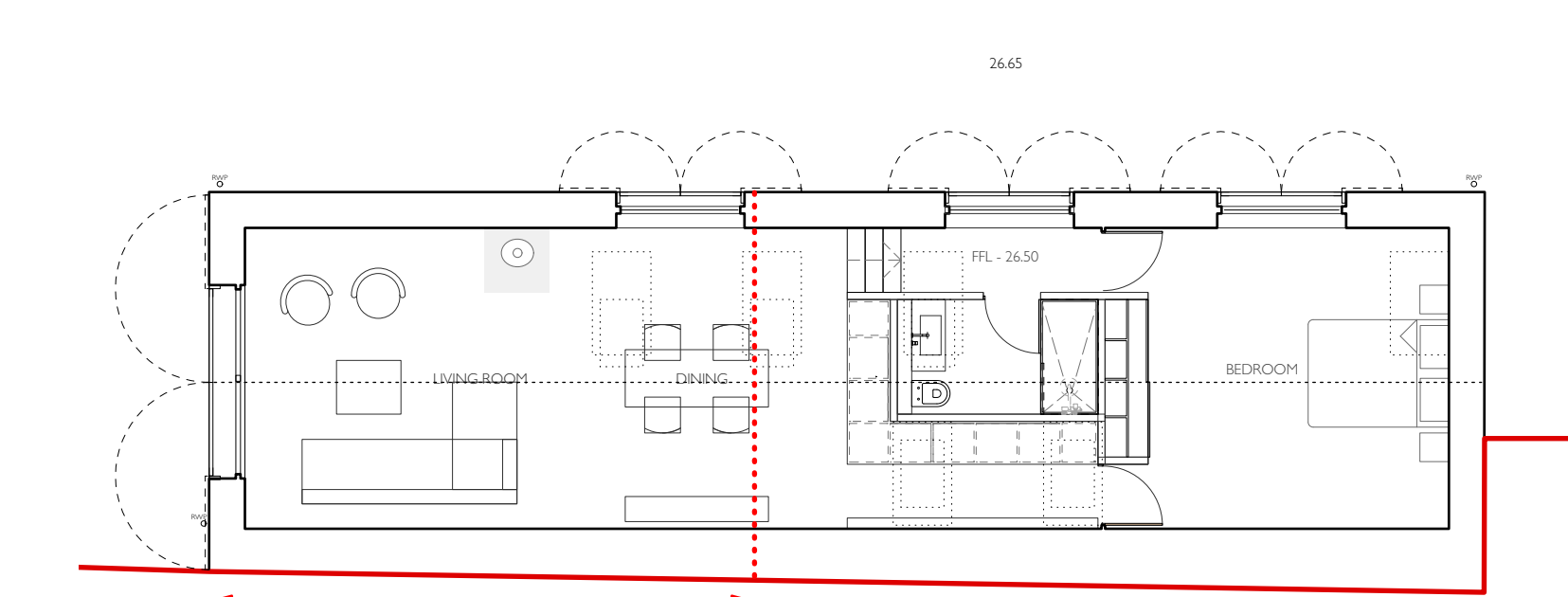
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 O h k b i a q a e e a i q a e i o e e c n i o u e a u a e a i e a e q e c f c k q a u a c p c i i u b a b i a q a e k
 P h k b i a q a e e c i q e a q i e c e i e e a q c q a i a e e a i e
 Q h n b a i a O e a d b i o e a i a a a q e n i e a q e c f c u e e c i i u h a u a b i e a i e q n e e u t i a q a t u e a a e k
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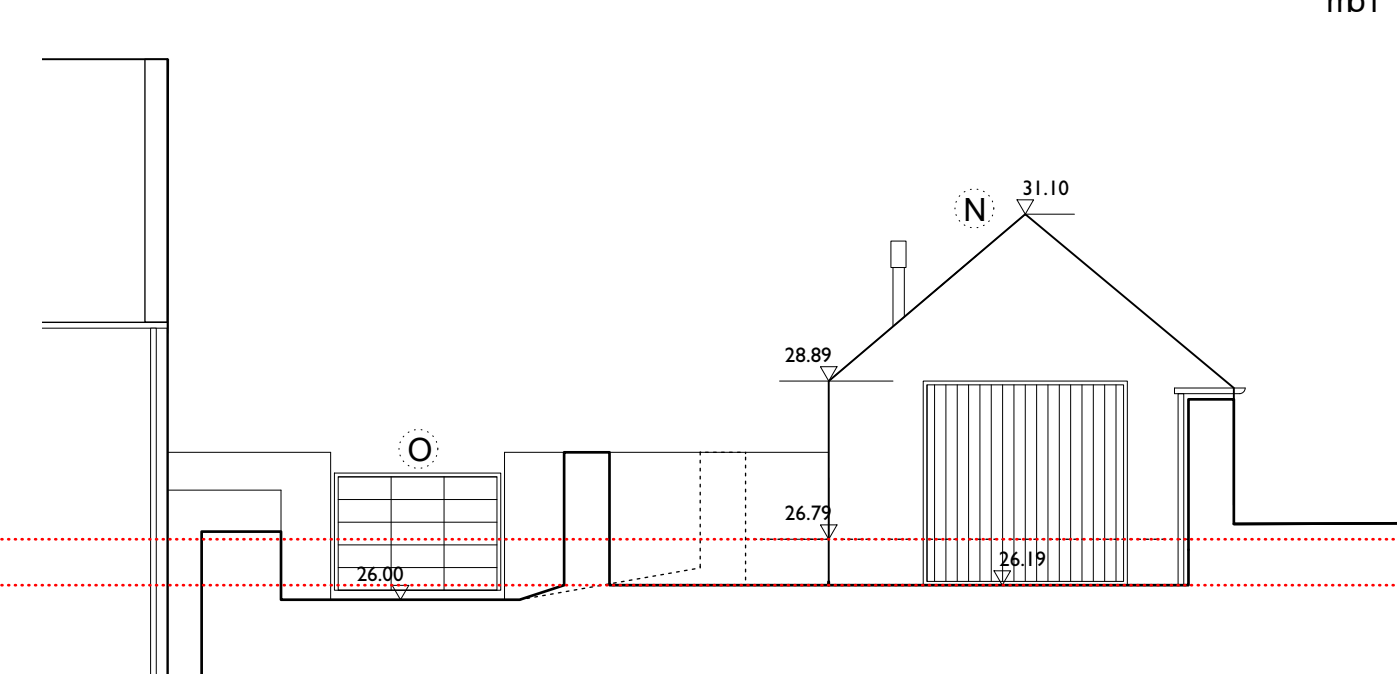
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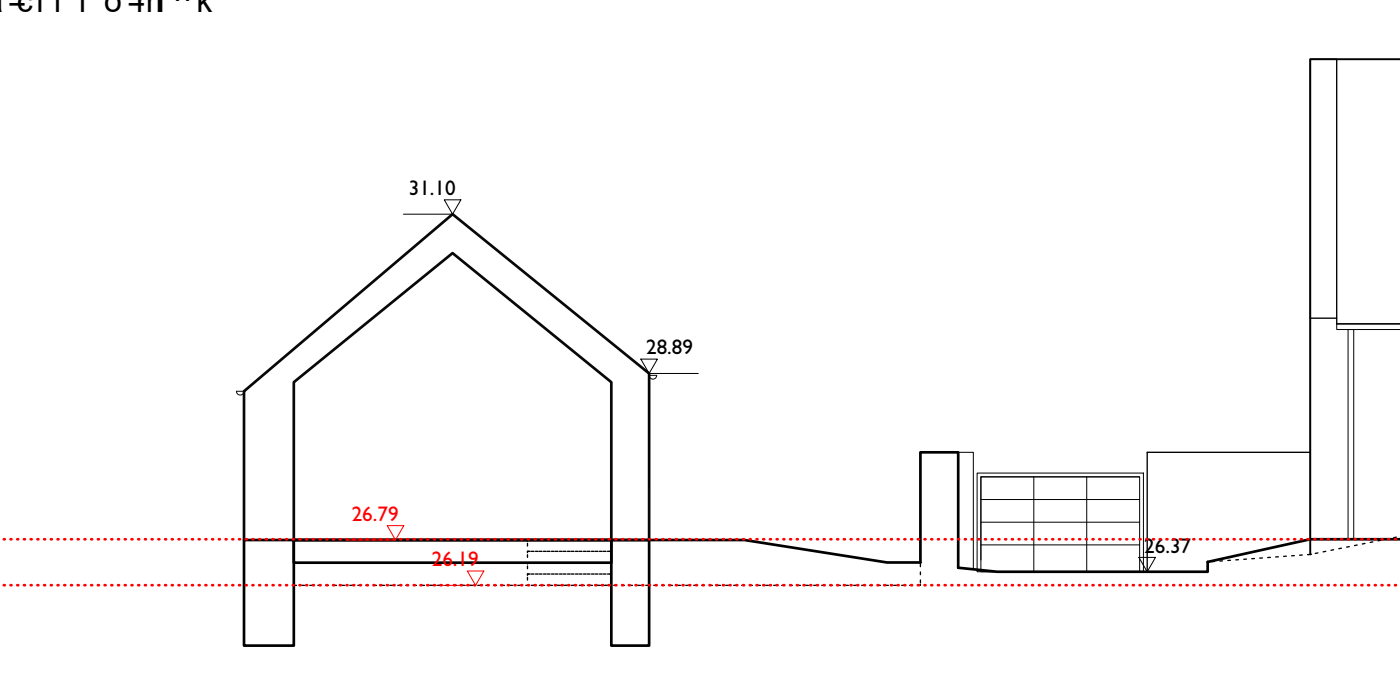


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Nb nbaia Oe a d b i o e a i a a a q e n i e a q e c f c u e e c i i u h a u a b i e a i e q n e e u t i a q a t u e a a e k
 o a q e e b i e a e i a e c e e n b a i a o p n m m
 Q h e e a a e a e a i e q e c f c i e k



mol ml pba p b q l k

<p>CLIENT</p> <p>Name: Charles Mador Address: 14, Southam Street, London W10 5PH Tel: +44 (0) 20 7281 5550</p>		<p>ARCHITECT</p> <p>Mador & Partners Chartered Architects Ltd 14, Southam Street, London W10 5PH Tel: +44 (0) 20 7281 5550 Email: charles@mador.co.uk</p>		<p>204-TALTREDDYNN FAWR</p> <p>Client: Charles Mador Date: 15/01/2024 Scale: 1:50 Status: Final</p>	
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Snowdonia National Park Authority – Planning & Access Committee **Date: 06-Dec-2023**

Application Number: NP5/76/323R

Date Application Registered: 13/10/23

Community: Penrhyndeudraeth

Grid Reference: 261937 339628

Case Officer: Mr Aled Lloyd

Location:

Land at Blaen Cefn, Penrhyndeudraeth.
LL48 6NA

Applicant:

Hochtief (UK) Construction Ltd.
c/o Agent

Description:

Change of use of land for the creation of a temporary off-site living accommodation facility up until December 2025 and alterations to existing vehicular access off the A487, associated with the Eryri Visual Impact Provision project, creation of a temporary internal access road together with associated works

Summary of the Recommendation:

To GRANT permission subject to conditions

- Start within 5 years.
- In accordance with the submitted plans
- Temporary Use
- Access
- Re-instatement of access
- Occupation of units
- Submission of Noise Management Plan
- Submission of an external lighting Plan
- Landscaping
- Working hours during construction
- Ecology and Biodiversity enhancements

Reason(s) Application Reported to Committee:

The application is one that the Director of Planning and Land Management considers to be Major Development and a departure from the adopted policies of the Eryri Local Development Plan

Environmental Impact Assessment (EIA):

The project as a whole has been formally screened in accordance with the requirements of the town and Country planning (environmental impact Assessment) (Wales) Regulations 2017 and Welsh Office circular 11/99 Environmental Impact assessment (EIA) by the Authority under reference NP5/76/323R and it was concluded that the project did not meet the formal requirements of Schedule 1 or Schedule 2, and it was concluded that the proposal was not an EIA development.

Habitats Regulations Assessment (HRA):

As the 'Competent Authority' for the purposes of the Conservation of Habitats and Species Regulations 2017 this Authority is required to undertake a Habitats Regulations Assessment.

There is a requirement to carry out an assessment under the Habitat Regulations.

Site description

The application site comprises of a parcel of land which lies between Blaen Cefn Caravan Park to the north and the A487 to the south, on the north-eastern outskirts of Penrhyndeudraeth. The site lies principally within the administrative boundary of the Authority, with the proposed vehicular access point from the A487 located within the administrative area of Cyngor Gwynedd.

In view that the main application is within the Authority's boundary and in consideration that the access to the development site is a significant part of the application, planning procedures allow for adjoining Authority's to deal with part of an application outside its boundaries, hence the alterations and use of the existing vehicular access, is being determined by this Authority.

The application site comprises of a combination of undeveloped land extending around a lake located centrally within the site with some porous hardstanding areas used as access tracks and circulation space within the site.

There is an access road serving Blaen Cefn Caravan Park from the A487 Trunk Road to the north-east of the application site. No access would be provided from this existing access road to the application site and proposed development.

The application site lies outside the development boundary of Penrhyndeudraeth, in an open countryside location but is predominantly very well screened from the A487. The A487 to the south is a trunk road. There is an existing vehicular access from the A487 to the site, which would be used to provide access to the application site.

A Public Right of Way runs along the site's northern, eastern and southern boundaries providing pedestrian links between the site and Penrhyndeudraeth.

The application site lies outside areas of flood risk as identified on Natural Resources Wales (NRW)'s Technical Advice Note (TAN 15) Development Advice Maps.

Special Areas of Conservation (SAC) are located nearby including Meirionnydd Oakwoods and Bat Sites to the north and north-east and Pen Llyn a'r Sarnau to the south.

Land Designations / Constraints:

Open countryside
Public Footpaths nearby
Ancient Woodland nearby

The site lies within –

- 310m from the Coedydd Dyffryn Ffestiniog SSSI
- 340m from the Meirionnydd Oakwoods and Bats SAC & Mwyngloddiau Llanfrothern SSSI.
- 800m from the Lley Peninsula and the Sarnau SAC & Morfa Harlech SSSI

Proposal:

The proposed development comprises of the

- change of use of land to create an off-site temporary living accommodation facility for workers associated with the Eryri VIP
- the erection of temporary associated service/welfare building,
- alterations to existing access,
- creation of temporary internal access road and associated works.

The workers accommodation facility is proposed for a temporary period of time, up until December 2025.

The majority of the off-site temporary accommodation for workers development would be positioned within the north-eastern parcel of the site and a new internal access road would be created to provide a vehicular access from the existing access towards the southern part of the site, from the A487. The proposed internal access road would navigate around an existing lake, which would be retained. The proposed internal access road would be a temporary feature. A security gate would be provided on the approach into the main part of the site from the internal access road. A security cabin would also be provided near the entrance into the main part of the site.

Visibility from the existing vehicular access on the A487 can provide visibility splays of 4.5m x 215m in each direction.

In terms of the general layout of the main part of the site, the General Services Building would be provided near the internal entrance into the site, with 100 individual 'bunkabin' units provided around the external perimeter of the site which would provide the temporary accommodation for workers.

The general services building would provide a floorspace of 288 sqm measuring 24m x 12m. The general services building would provide a large, shared dining space and clothes washing facilities for workers.

Each 'bunkabin' would measure 2.8m (w) x 4.3m (l). Each 'bunkabin' would provide living accommodation for a single worker comprising of a bed, kitchenette and a bathroom. The 'bunkabin' units would avoid the water main and the 3m exclusion zone each side.

100 car parking spaces would be provided centrally within the site.

The proposed materials are as follows:

Sleeper units:

- Roof: corrugated steel deck finish
- External walls: Tanalised softwood stud walls, filled with injected polyurethane foam insulation, finished either side with a plastisol steel cladding in off-white, sat in between blue steel SHS columns sat on adjustable steel legs.
- External doors: Polyurethane insulated door with plastisol steel cladding to both sides. Colour to be blue.
- External windows: ISS window with integrated shutter. Colour to be white
- Rainwater goods: white uPVC

General services building:

- Roof: corrugated steel deck finish
- External walls: Tanalised softwood stud walls, filled with injected polyurethane foam insulation, finished either side with a plastisol steel cladding in light grey, sat in between light grey steel SHS columns sat on adjustable steel legs.
- External doors: Polyurethane insulated door with plastisol steel cladding to both sides. Colour to be grey.
- External windows: ISS window with integrated shutter. Colour to be white.
- Rainwater goods: white uPVC

A plant area would be provided to the rear of the general services building and two package treatment plans would be installed to deal with foul drainage from the development.

The existing entrance to the north towards Blaen Cefn Caravan Site would be closed off with a gate and the existing entrance towards Blaen Cefn would only be used to serve Blaen Cefn Caravan Site and would not be used to serve the proposed development in any way.

Access to the Public Right of Way along the northern boundary would be retained, which would provide a safe pedestrian access into Penrhyndeudraeth. A secured pedestrian access gate would be provided, together with secure perimeter fencing for security and to avoid encroachment onto areas protected for their biodiversity value.

Major Development

Section 17 of the Planning (Wales) Act 2015 and the Town and Country Planning (Development Management Procedure) (Wales) Order 2012 (DMPWO), as amended, require applicants to carry out pre-application consultation for major development. Major development includes development carried out “on a site having an area of 1 hectare or more” and, thus, the proposed development falls within the pre-application consultation requirement. This should not be confused with the definition of ‘Major Development’ in Strategic Policy B of the LDP – which refers to developments which are of major significance in a UK context e.g. major road building programmes or major energy projects. This proposal is not considered to be major in that specific context.

To support the application, the following documents were submitted –

Design and Access Statement;
Planning Support Statement;
Construction & Environmental Management Plan
Construction Traffic Management Plan

Drainage Strategy
 Arboricultural Planning Assessment
 Arboricultural Site Overview
 Preliminary Tree Assessment
 Arboricultural Impact Assessment West, Centre and East
 Preliminary Ecological Statement
 Habitat Regulations Assessment
 Control Plan for Japanese Knotweed & Himalayan Balsam
 Landscaping Plan: Implementation Phase
 Landscaping Plan: Restoration Phase
 Tree Protection Plans
 Local Workforce Strategy
 Welsh Language Statement
 Transport Statement;
 Pre-application Consultation Report (*PAC*).
 Soil Management Plan
 Welsh Language Policy

Eryri Local Development Plan 2016-2031

- SP A: National Park Purposes and sustainable Development
- SP B: Major Development
- SP C: Spatial Development Strategy
- DP 1: General Development Principles
- SP Ch: Social and Physical Infrastructure in new development
- DP 2: Development and the Landscape
- SP D: Natural Environment
- SP Dd: Climate Change
- DP 6: Sustainable Design and Materials
- DP 8: Protection of Non-Designated sites
- DP 18: The Welsh Language and the Social and Cultural Fabric of Communities
- SP L: Accessibility and Transport

Supplementary Planning Guidance

- SPG 1: Sustainable Design in the National Parks of Wales
- SPG 2: General Development Considerations
- SPG 3: Planning and the Welsh Language
- SPG 6: Nature Conservation & Biodiversity
- SPG 13 Landscape and Sensitivity Assessment
- SPG 14 Obtrusive Lighting (Light Pollution)

National Policy

- Future Wales: The National Plan 2040
- Planning Policy Wales (Edition 11) 2021

Technical Advice Note 5: Nature Conservation and Planning

Technical Advice Note 12: Design

Technical Advice Note 15: Development and Flood Risk

Technical Advice Note 11: Noise

Technical Advice Note 18: Transport

Technical Advice Note 20: Planning and the Welsh Language

Technical Advice Note 23: Economic Development

Consultees:

Penrhyndeudraeth Town Council	<p>Comments – The Town Council were happy to support this development until there have been lorries disposing of 2000 tons on land next door to a football pitch which is an asset of the town council. We are concerned that this will cause this to close the ditch which runs at the bottom of the land and causes the destruction of our asset, and the water will come from the village part of the time here.</p> <p>If Planning permission is granted the Town Council needs to be assured that the landowner will not apply for planning permission to continue the use after the 2 years.</p>
Natural Resources Wales	<p>No objection, comments made that appropriate conditions are imposed on a grant of permission.</p> <p>As we have also previously advised we would re-iterate our comments in relation to the colour of the proposed buildings. The temporary buildings would have corrugated steel deck finish roofs with off-white walls and blue doors. The site may be more visible in winter months and as buildings would be seen against the surrounding vegetation, a darker hue such as dark brown or dark green would be more appropriate (a range of 'standard' plastisol colours may be available).</p>

Gwynedd Council - Highways	<p>No objection - Recommended conditions on maintaining visibility and in accordance with the plans.</p> <p>The submission of a Construction Method Statement to include details regarding: Management of site related traffic during construction</p>
Welsh Government – Highways	Welsh Government as highway authority for the A487 trunk road have confirmed that they do not intend to issue a direction.
Welsh Water	<p>Having reviewed the revised Drainage Strategy dated September 2023, we note it is proposed to communicate foul flows with the public sewerage system in Griffin Industrial Estate which we would offer no objection in principle subject to a detailed drainage plan being submitted.</p> <p>Recommend conditions for the protection of the water main</p>
Gwynedd Council – Environmental Health	Concerns with the application because of inadequate information has been provided with regards to the control of nuisance during the development
Gwynedd Council – Housing and Property Department	Licence required under the Mobile Home Act (Wales) 2013
Gwynedd Council – Site Licencing	Licence required under the Mobile Home Act (Wales) 2013
Gwynedd Council – Planning	No Comments

Gwynedd Council - Footpaths	<p>The applicant is advised that Public Footpath No. 47 Penrhyndeudraeth crosses nearby site of this permission and it is an offense to obstruct or divert any right of way unless it is done in accordance with the appropriate legislation. During the development phase and following completion any development work should ensure that the public right of way is</p> <p>:</p> <ul style="list-style-type: none"> • remain open, unobstructed and safe for the public to use on all occasions; • that no building materials are kept on the surface of the public right of way; • that there is no limitation on the width of the public right of way; <p>Before undertaking any development work the applicant is advised to contact the Rights of Way Team</p>
Gwynedd Council – Building Regulations	No response
North Wales Fire and Rescue Service	The Fire Authority does not have any observations in regard to access for appliances and water supplies.
SaB	<p>Comments - maps indicate that an open (ordinary) watercourse flows along the site boundary, however the route of the watercourse will not be affected. Ordinary Watercourse Consent will be required for any works that may affect the flow of the watercourse, including connection of surface water drainage, and FCRMU@gwynedd.llyw.cymru should be contacted for further advice. Also, we recommend that the developer leave a minimum 3m corridor from the top of the bank of this watercourse undeveloped, so not to prevent future maintenance operations.</p>

Ecology	Comments – submission of detailed lighting plan
Forestry	No response
Dark Skies	No response

Responses to Publicity:

The application has been publicised by way of a site notices, neighbour notification letter to 6 nearby residential properties, together with notice published in a newspaper.

5 letters of objection have been submitted on the grounds of,

- Impact on local drainage systems
 - Unnecessary use of agricultural land within Snowdonia National Park
 - Public health sewerage concern
 - Impact on Maes y Parc Playing Field (Penrhyndeudraeth Football Club)
 - Highway safety
 - Carbon emissions
 - Land use after proposed temporary planning
- The SNPA should seek a high standard of reinstatement of the site following the temporary use, with the objective of enhancing biodiversity. In this regard the Society draws attention to Future Wales 2040 Policy 9 that indicates that development should result in 'Net Benefit for Biodiversity'.
 - The proposed internal access road and the drainage arrangements would be permanent features and will be retained. No reason or justification is given for this. There is no mention of the materials to be used, but we assume that this road will be tarmac.
 - Other more suitable sites available in the area.
 - This is a request to effectively create a new village as it talks about a place for up to a hundred people to stay. There are many villages in the Park with less than a hundred people living in them. The development may only be temporary but if this is allowed it will clearly set a dangerous precedent. This goes against the local development plan by using the excuse that the company has looked for other sites. What evidence has been given that this is true, or is it in fact one other site they have looked at?
 - Although the site is not in a flood area, fairly close land is often under water and allowing this would mean there would be a great danger for the other sites to suffer much more.

- We have great concerns about this development and believe it should not be allowed.
- The development lies on wet and marshy land, and a significant development as recommended would cause significant water problems in the area.
- It is clear that the development will put unacceptable pressure on traffic.
- The scale of the development is far too large for this area of Penrhyndeudraeth.

Background

- 1.1 Planning permission NP5/77/336B was granted on the 24 September 2021 for the Eryri Visual impact Provision (VIP) project which was for.
 - 1) Construction of Eastern tunnel head house (including the associated construction compound), sealing end compound and permanent access
 - 2) A new sealing end compound (SEC) to connect the underground cables to the overhead line
- 1.2 The project aims to reduce the visual impact of National Grid's overhead line across the Dwyryd Estuary from Minffordd to Llandecwyn. This would be achieved through the removal of a section of overhead line and 10 pylons and replace it with electricity cables buried in a tunnel underground.
- 1.3 Work on the project has commenced and to ensure suitable and sufficient accommodation for workers in the tourist seasons, through the winters, as well as ensuring that specialist subcontractors can mobilise their best people and accommodate them even at short notice, the applicant proposes the development of temporary off-site living accommodation together with associated facilities and development at the application site to accommodate up to 100 workers. The workers that would be accommodated at the site would be non-home-based workers, mainly undertaking specialist work.
- 1.4 Pre-application advice was sought from the Authority where it was advised that the proposal would be contrary to a number of policies set out in the Eryri LDP given the location of site outside any defined development boundary. However, it was acknowledged in the pre-application enquiry response that the use of the site for workers' accommodation would be temporary and that the site is in close proximity to the site of the National Grid VIP.

1.5 As the application is major development, in accordance with Planning Act, it is a requirement to carry out pre-application consultation (PAC) to be undertaken with the local community and stakeholders. The pre-application consultation has been carried out in accordance with the Act and the applicant has submitted a PAC report and addressed all the comments received.

2.0 Principle of Development

2.1 The proposal would be contrary to all of the policies in the adopted Eryri Local Development Plan (ELDP) and therefore the application is a departure for the ELDP.

2.2 It is acknowledged that the use would be temporary at that the site is within close proximity to the construction site for the Visual Impact Provision by National Grid.

2.3 Each application is considered on its own merits and in this case officers consider that there are material planning considerations to support the temporary development of the site.

2.5 The full assessment of the policies will be detailed in this report.

3.0 Assessment

3.1 The proposed development comprises of the change of use of land to create an off-site temporary living accommodation facility for workers associated with the Eryri VIP project together with the erection of temporary associated service/welfare building, alterations to existing access, creation of a temporary internal access road and associated works. The workers accommodation facility is proposed for a temporary period, up until December 2025.

Construction

3.2 Construction of the proposed development would be undertaken by local workers, all of whom are from the LL postcode area and therefore would already be living in the local area and travelling to work daily.

3.3 It is anticipated that the accommodation would be inhabited by construction workers from early 2024 onwards and likely to operate until December 2025 whilst the Eryri VIP project is under construction

3.4 A plant area would be provided to the rear of the general services building.

- 3.5 The existing entrance to the north towards Blaen Cefn Caravan Site would be closed off with a gate and the existing entrance towards Blaen Cefn would only be used to serve Blaen Cefn Caravan Site and would not be used to serve the proposed development in any way.
- 3.6 Access to the Public Right of Way along the northern boundary would be retained, which would provide a safe pedestrian access into Penrhyndeudraeth. A secured pedestrian access gate would be provided, together with secure perimeter fencing for security and to avoid encroachment onto areas protected for their biodiversity value.

Landscaping

- 3.7 Pockets of soft landscaping would be provided internally within the site mainly between the car parking areas centrally within the site and in front of the general services building. Topsoil would be stored in bunds to the rear of the bunkabins which would provide additional screening towards the site. Additional landscape planting is proposed along the site's boundary along the A487 to enhance screening in the form of underplanting of the existing dense woodland screen which limits visibility of the site from the A487. This landscaping would comprise of native species featuring trees and shrubs. Security fencing is proposed along the site's perimeter, details of which are provided on the proposed landscaping plan.

Operation of the proposed development

- 3.8 It is anticipated that the accommodation would be inhabited by construction workers from April 2024 onwards and likely to operate until December 2025 whilst the Eryri VIP project is under construction.

Decommissioning of the proposed development

- 3.9 The proposed accommodation would be a temporary facility and is expected to be decommissioned December 2025.
- 3.10 All buildings would be removed. The proposed modular construction of these buildings would allow this to be done with relative efficiency.
- 3.11 The submitted details included the retention of the new access track from the A487 on to the temporary site. Officers advised the agent that to retain the access permanently would not be acceptable. The agent has agreed that the access road will only be temporary. A condition will be imposed to ensure that the access is removed and the land reinstated to its original condition.

- 3.12 The areas of permeable parking would be removed and these areas, together with the locations where the buildings have been removed, would be allowed to regenerate naturally with rough grassland and other colonising vegetation.
- 3.13 The link through to the Public Right of Way would be retained as part of the decommissioning of the site. The perimeter fencing would be removed.

Alternative sites

- 3.14 Details submitted with the application stated that the field of search for the workers' accommodation site concentrated principally on Penrhyndeudraeth and Porthmadog, given that proximity to the main construction sites at Cilfor and Garth, Minffordd was essential and that the workers' accommodation site was accessible to local services by foot; cycle and public transport, in the interests of sustainable development. A 5km radius from the construction sites at Cilfor and Garth was considered to be the maximum extent of the search area, given the nature of the work; shift patterns and the need to keep travel to site time to a minimum. The 5km search area would include all areas within the development boundary of Porthmadog and Penrhyndeudraeth.
- 3.15 A search of a wider area was carried out to ascertain if any capacity was available on existing lodge; caravan; and glamping sites with contact made with site owners as far west as Criccieth. Feedback from site owners and from contact with the Gwynedd and Anglesey Branch of the British Holiday and Home Park Association (BH&HPA) which has over 190 site owning members within the branch was that all sites in the area were either up to capacity or were not willing to accommodate workers at the expense of retaining capacity during peak holiday periods.
- 3.16 Sites within Cyngor Gwynedd and outside the National Park were initially viewed as preferable with a preference for previously developed land to align with the principles of sustainable development set out within national planning policy. However, a key constraint which, following discussion with Cyngor Gwynedd led to the dismissal of a number of sites within Porthmadog and Penrhyndeudraeth was the fact that most of the potentially suitable and available previously developed sites were within an area constrained by flood risk.
- 3.17 The agent has confirmed that discussion with Cyngor Gwynedd as the Local Planning Authority covering the area within which the preferred sites were located, indicated clearly that highly vulnerable workers accommodation would not be supported, even on a temporary basis, within an area shown to be at risk of flooding.

- 3.18 The Flood Map for Planning indicates that the majority of areas within Porthmadog and the area covering the initial preferred sites within Gwynedd at the Cookes Field Site, Penrhyndeudraeth and at Penamser Road, where feasibility schemes were produced, were constrained by flood risk and these sites were dismissed.
- 3.19 There appears to be no suitable sites within Porthmadog or Penrhyndeudraeth, the search area was extended to cover sites further afield at Blaenau Ffestiniog, though they were not located within the initially preferred travel to work distance. Detailed consideration was given to a site which was predominantly outside the flood zone near the Rehau site at Blaenau Ffestiniog. This site was assessed in detail with initial ecology; flood risk; transport assessment and design work carried out to assess feasibility. The site was considered deliverable, though ultimately a combination of distance from the main construction sites and confirmation from the landowner that the site was not available led to its dismissal.

Access

- 3.20 Vehicular access to the application site and the proposed development would be via an existing vehicular access from the A487, which is a Trunk Road. Alterations are proposed to this access through widening the access road to 7.5m. Visibility from the existing vehicular access on the A487 can provide visibility splays of 4.5m x 215m in each direction. Detailed drawings of the access are included as part of the application including swept path analysis.
- 3.21 The vehicular access lies in Cyngor Gwynedd's administrative boundary. Therefore, a planning application to alter the access will be submitted to Cyngor Gwynedd alongside a planning application for the change of use of land which lies in Eryri National Park Authority.
- 3.22 A new temporary access road would be constructed internally to serve the temporary accommodation units within the main part of the site.
- 3.23 The application is accompanied by a Transport Statement which assesses trip generation associated with the proposed development. As detailed in the Transport Statement, workers would be working 6 days a week around three shifts with maintenance shift on Sundays:
- 06:00hrs to 14:00hrs.
 - 14:00hrs to 22:00hrs; and
 - 22:00 to 06:00hrs.

- 3.24 A maximum number of 60 workers would be working during each shift. At each shift change over time, a maximum of eight single trips would have to be made to transport all the shift workers to work, and also from work back to their temporary accommodation at the application site. As there is very limited car parking at Garth's tunnel head, temporary workers staying at the application site are unlikely to use their personal cars to travel to work.
- 3.25 The Transport Statement concludes that an additional eight single trips at each shift change over time is likely to produce a negligible impact on the surrounding road network. Opportunities have been identified to minimise the frequency of motor vehicle trips from the site. These include transporting shift workers to and from the site via minibus, shift patterns outside of normal working hours, and utilisation of a footpath at the rear of the site to provide connectivity into Penrhyndeudraeth for pedestrians.
- 3.26 The Transport Statement concludes that the proposed development is acceptable from a transport perspective.

Drainage

- 3.27 The submitted application included the installation of two package treatment plants to deal with foul drainage from the development. Following consultation with NRW, they submitted an objection on the grounds that the proposed development is located in close proximity to a publicly sewered area. Given the number of units proposed (albeit for a temporary period) and the distance to the nearest sewer line, a connection to the mains sewer would be expected. The installation of private sewage treatment facilities within publicly sewered areas is not normally considered environmentally acceptable because of the greater risk of failures leading to pollution of the water environment compared to public sewerage systems.
- 3.28 The application was amended to include the installation of a pipeline from the application site through football playing fields on land in the ownership of Clwb Peldroed Penrhyndeudraeth and to a connection with the public sewer at the Griffin Industrial Estate in Penrhyndeudraeth. The land is owned by Penrhyndeudraeth Town Council who objected and confirmed that they would not allow for the sewer to be installed on the land.
- 3.29 The application was further amended to include the installation of a pipeline for the disposal of foul drainage from the site and on to the verge of the A487 from the site access. Both NRW and Welsh Water are satisfied with this element of the proposal.

General and residential amenities

- 3.30 The nearest residential properties include Blaen Cefn, Beudy Newydd, Ty'n y Ffridd, Bryn Berthan and Pen Cefn which are within around 200m from the main living accommodation part of the application site. Blaen Cefn Caravan Park also lies immediately to the north of the main part of the site where the temporary living accommodation units would be positioned.
- 3.31 Gwynedd Council, Public Protection have raised concerns in terms of noise associated with the development, traffic noise and lighting. Following their comments, the agent has submitted a Construction Traffic Management Plan and Construction Environmental Plan (CEMP) together with a lighting plan. The department has been re-consulted for their further comments.
- 3.32 Conditions will be imposed on the grant of planning permission for the submission and approval of a Noise Management Plan and restricting working hours during construction.
- 3.33 The agent has stated that a rental agreement and code of conduct will be prepared to reinforce respect for neighbours, appropriate behaviour and to encourage volunteering and work in the community.
- 3.34 Immediate neighbouring residential dwellings and the caravan park at Blaen Cefn are expected to experience some disruption from noise during the construction period including from construction traffic. This would be managed and mitigated as best as possible through the submission of a Construction Traffic Management Plan that will be conditioned as part of the planning application. The set up of the application site to accommodate the temporary accommodation facility is expected to take a few months.
- 3.35 The main living accommodation part of the application site is well screened and enclosed by mature trees and screening and therefore there would be limited visual effects of the proposed development from the nearest residential properties. The enclosed nature of the site would also assist with containing noise and light associated with the operation of the temporary living accommodation facility within the site itself.
- 3.36 The proposed use of the existing vehicular access (which is separate from the access to Blaen Cefn) would also mean that there would be no overlap between vehicular movements associated with the proposed development and Blaen Cefn Caravan Park or the residential property of Blaen Cefn which would use a separate vehicular access.

- 3.37 As previously noted, workers would be travelling to and from the site to the main construction site using organised shuttle buses, which would pick up and drop off around the three shift patterns detailed in paragraph 3.23 (Mondays to Saturdays, with only maintenance shifts on Sundays):
- 3.38 The Transport Statement confirms that at each shift change over period, a maximum of eight single trips would have to be made to ensure all temporary workers access work and the temporary accommodation via minibus. Some of these trip movements would be early in the morning (around 06:00) and late at night (around 22:00) however the limited number of vehicular movements, would result in minimal disruption to nearby residential and caravan park residents and occupiers.
- 3.39 Off-shift works will of course be expected to travel to and from the site occasionally to access services and facilities which may be available in Penrhyndeudraeth, or at Porthmadog, however, the vehicular access into the site is located away from sensitive receptors and is unlikely to have an unacceptable adverse effect on residential amenity.

Landscape and Visual impact

- 3.40 Development Policy 2: Development and the Landscape advises that the scale and design of new development, including its setting, landscaping and integration should respect and conserve the character, qualities and views of the landscape.
- 3.41 The application details that whilst searching for sites, consideration was given to the landscape setting and screening available in order to integrate the site into its surroundings as best as possible, whilst also acknowledging that the proposal is for a temporary period of time with the land to be restored to its original condition following decommissioning.
- 3.42 The proposed temporary buildings (sleeping accommodation) would comprise of off-white coloured units with blue doors and windows, whilst the general services building would comprise of light grey coloured units with grey doors. The colours of the units would reflect the types of units that would be expected within a construction compound, reflecting the temporary nature of the use and operation.
- 3.43 The pre-application enquiry response advised that the Authority would be looking for further landscaping measures and biodiversity enhancements. Considering this, the application includes pockets of soft landscaping which would be provided internally within the site mainly between the car parking areas centrally within the site and in front of the general services building.

- 3.44 Topsoil would be stored in bunds to the rear of the bunkabins which would provide additional screening towards the site. Additional landscape planting is proposed along the site's boundary along the A487 to enhance screening in the form of underplanting of the existing dense woodland screen which limits visibility of the site from the A487. This landscaping would comprise of native species featuring trees and shrubs. Security fencing is proposed along the site's perimeter,

Lighting - Dark sky reserve

- 3.45 The site is set within the Dark Sky Reserve (though it is not within a core zone).
- 3.46 Lighting shall be used only when required to ensure safety and shall comprise lighting of work areas and access and egress with low level directional lighting. Lighting for the construction works the site welfare and site security cabins shall include low level lighting.
- 3.47 A lighting plan has been submitted as part of the application. However, following an assessment by an ecologist a more detailed plan is required in order to safeguard the Meirionydd Oakwoods and Bats SAC. This will be conditioned
- 3.48 Lighting details submitted with the application confirms that motion sensor- lighting shall be used in areas of high security risk and access and egress.
- 3.49 Regarding neighbouring properties & residents, wildlife and energy management, the following measures shall be implemented for any lighting provided at or above ground level:
- Lights installed shall be of the minimum brightness and/or power rating capable of performing the desired function.
 - Light fittings shall be used that reduce the amount of light emitted above the horizontal.
 - Light fittings shall be positioned correctly and directed downwards.
 - Direction of lights shall seek to avoid spillage onto neighbouring properties.
 - Passive Infra-Red (PIR) controlled lights shall be considered for use where appropriate as these may be more acceptable to neighbours than those which are controlled by a time switch or are on all the time; and
 - Unnecessary lights shall be switched off.

Biodiversity

- 3.50 The application is accompanied by a Preliminary Ecological Appraisal which confirms that a Phase 1 Habitat Survey has been undertaken along with a Preliminary Bat Roost Assessment of the trees in proximity to the working areas.
- 3.51 Special Areas of Conservation (SAC) are located nearby including Meirionnydd Oakwoods and Bat Sites to the north and north-east (designated for the large population of lesser horseshoe bats) and Pen Llyn a'r Sarnau to the south. Gwaith Powdwr Local Nature Reserve lies around 0.3km from the application site and is of interest for the large population of native reptiles and lesser horseshoe bats. There are a number of Sites of Special Scientific Interest (SSSI) nearby including Coedydd Dyffryn Ffestiniog (Gogleddol), Mwyngloddio Llanfrothen, Glaslyn, Morfa Harlech and Ysbyty Bron y Garth.
- 3.52 The habitats at the application site are generally of low ecological value, with the caravan site being a mix of manmade hardstanding and disturbed improved grassland. The access is via existing access routes, using nearby roads. There will be no vegetation removal associated with the works and the accommodation will be cited on existing hardstanding and improved grassland.
- 3.53 No potential bat roosting features were identified within the working area of the application site. The mature trees in the wider area are suitable for roosting bats, however no works will be undertaken in this area.
- 3.54 The application site has moderate potential for foraging and commuting bats, however the works will be undertaken in the daytime outside of the bat active season and therefore there will be no night-time lighting during the works that could negatively affect any foraging bats by restricting their range. The accommodation block will have night-time lighting and recommendations regarding the lighting are included.
- 3.55 There would be no effect on badger setts however good practice construction measures are proposed.
- 3.56 The trees and hedgerows in the Site boundary could support nesting birds during the breeding season. The proposed development will retain and protect hedgerows and is not considered to have a significant effect on breeding birds, provided the works are carried out following recommendations provided.
- 3.57 The PEA recommends good practice construction measures to minimise noise and to avoid pollution.

3.58 Due to the proximity of the application site to nearby SACs a shadow Habitat Regulation Assessment (HRA) has been undertaken and is included as part of the application.

Welsh Language

3.59 ELDP policy 18 acknowledges that in determining planning applications the Authority must take into consideration the needs and interests of the Welsh language. In so doing, account must be taken of matters such as:

- Supporting development which maintains or enhances the integrity of the Welsh language
- Refusing development that would cause significant harm to the character and language balance of a community
- Mitigate against any adverse effect
- Encourage all signage by public bodies, commercial interests to be bilingual or in Welsh only and to promote the distinctiveness of any cultural amenity
- Encourage the use of the Welsh language for place names, house, and street names.

3.60 In accordance with Development Policy 18, the application is accompanied by a Community and Linguistic Impact Assessment (CLIA). 3.61 The CLIA identifies that the proposal would lead to the introduction of up to 100 non-home-based workers who would reside at the application site for a temporary period of up to 21 months. This would lead to a temporary increase in the population of Penrhyndeudraeth and temporarily increase the number of non-Welsh speakers in the ward.

3.61 The temporary increase in population and the number of non-Welsh speakers has the potential to adversely affect the Welsh language in Penrhyndeudraeth, through a dilution of the use of the language within the community. This effect would be temporary over a period of up to 21 months.

3.62 As part of the applicant's commitment to the local community, the applicant is promoting and raising awareness of Welsh language and culture amongst.

3.63 Additional measures are also proposed to raise awareness of the Welsh language and culture amongst non-home-based workers.

3.64 Beneficial effects are expected in terms of impacts on local businesses and local jobs through the creation of employment opportunities to support existing businesses and jobs in the LL postcode including SMEs and local businesses. The Local Workforce Strategy will ensure decent work in the supply chain by engaging local subcontractors, and locally advertising works suitable for SMEs.

- 3.65 The majority of these would support existing job roles and the proposed development provides economic opportunities for existing workers but would lead to limited new or additional jobs.
- 3.66 The employment opportunities for local businesses and local jobs in the LL postcode will include a proportion of Welsh speakers, which is considered to be a beneficial effect for the Welsh language. Developments which provide local employment opportunities will help retain existing Welsh speakers who will use the language daily, in the community and in the workplace. The proposed development therefore has the potential to support the long-term vibrancy of the Welsh language in the LL postcode area through the provision of support for existing jobs for local people, including Welsh speakers.
- 3.67 In conjunction with the Welsh Government's Supplier Development Service, HOCHTIEF will hold a 'Meet the Buyer' day in the early stages of the project and at key milestones to enable as many local suppliers as possible to meet and explore opportunities to work together. This will maximise opportunities for local businesses.
- 3.68 The proposal is also expected to have a beneficial effect on local services and facilities in the rural catchment of Penrhyndeudraeth as well as the town of Porthmadog as the proposal would lead to spin-off spending in the local economy for up to 21 months. Workers may also visit locations further afield on their days off, supporting the local economy further.

4. Conclusion

- 4.1 The application seeks consent for change of use of land for the creation of a temporary off-site living accommodation facility for workers associated with the Eryri VIP project, alterations to existing vehicular access, creation of a temporary internal access road, erection of a temporary associated service/welfare building together with associated works on land at Blaen Cefn, Penrhyndeudraeth.
- 4.2 The site lies principally within the Eryri National Park Authority, with the proposed vehicular access point from the A487 located within the administrative area of Cyngor Gwynedd.
- 4.3 Planning permission for the Eryri VIP project has been granted to reduce the visual impact of National Grid's overhead line across the Dwyryd Estuary from Minffordd to Llandecwyn. This would be achieved through the removal of a section of this overhead line and pylons and replace it with electricity cables buried in a tunnel underground.

- 4.4 The proposed development is required to ensure suitable and sufficient accommodation is available for workers associated with the Eryri VIP during tourist seasons as well as through the winters. The facility would provide temporary accommodation for up to 100 workers and is expected to be operational between April 2024 and December 2025.
- 4.5 An extensive search for a suitable site to house the temporary accommodation for workers has been undertaken by the applicant, principally considering sites in the Porthmadog and Penrhyndeudreath area, given the need to be close to the main construction sites at Garth and Llandecwyn. Sites within Cyngor Gwynedd and outside the National Park were initially viewed as preferable with a preference for previously developed land to align with the principles of sustainable development set out within national planning policy.
- 4.6 A number of sites were discounted due to flood risk issues. Allocated housing sites in Penrhyndeudraeth were considered but a combination of lack of willingness to bring the sites forward for temporary accommodation, topographic and drainage constraints led to the sites being dismissed as suitable for the proposed workers accommodation. A site further afield at Blaenau Ffestiniog was considered, although being outside the initially preferable travel to work distance. A combination of distance from the main construction sites and confirmation from the landowner that the site was not available led to its dismissal.
- 4.7 In the absence of suitable alternatives, the site at Blaen Cefn has been selected as the preferred workers accommodation site and now forms the subject of this Statutory Pre-Application Consultation process.
- 4.8 The application is accompanied by ecological surveys, a Transport Statement, Drainage Strategy and Community and Linguistic Impact Assessment which considers the potential effects of the proposed development.
- 4.9 Whilst the proposal is a departure from the policies within the adopted development plan, the proposal would be temporary in nature and is required to support the Eryri VIP project which will assist to deliver a major opportunity to conserve and enhance the special qualities and natural beauty, wildlife and cultural heritage of the National Park.
- 4.10 It is recommended therefore that the application is approved subject appropriate conditions which will ensure that the proposal is implemented without harm to the landscape and with minimal effect to the residents of the area. Also, enforceable conditions will be imposed on the grant of planning permission to ensure that the application site is restored to its former condition.

RECOMMENDATION: To GRANT permission subject appropriate conditions

1. The development hereby permitted shall be commenced before the expiration of FIVE years from the date of this decision.
2. The development hereby permitted shall be carried out in strict conformity with the details shown on plan(s):
 - C0233-DEW-PAR-CG-DR-A-0001 Blaen Cefn - Location Plan P05
 - C0233-DEW-PAR-CG-DR-A-0002 Blaen Cefn -Existing Site Plan P01
 - C0233-DEW-PAR-CG-DR-A-0003 Blaen Cefn -Proposed Site Plan P12
 - C0233-DEW-PAR-CG-DR-A-0004 Blaen Cefn -Proposed Plan and Elevations Sleeper Units P01
 - C0233-DEW-PAR-CG-DR-A-0005 Blaen Cefn -Proposed Plan and Elevations General Services P02
 - C0233-DEW-PAR-CG-DR-A-0006 Blaen Cefn -Proposed Site Plan Accommodation Area P07
 - C0233-DEW-PAR-CG-DR-A-0007 Blaen Cefn -Proposed Landscaping Plan P07
 - SVIP-PEN-GA01-P01 - Proposed Site Access
 - C0233-SUP-PTW-CG-DR-X-0001-C03 - Temporary Accommodation External Lighting
3. This permission shall be for a limited period only, expiring on the **31st July 2026**. The use shall be discontinued and all the sleeper units, the general services building, plant area, temporary access road, hardstanding, lighting, fencing and all other associated temporary structures shall be completely removed and the site fully reinstated to its former condition.
4. The access and visibility splays shall be laid out, constructed and maintained strictly in accordance with the submitted plan (drwg no. SVIP-PEN-Ga01-P01 Rev. P01).
5. The access and visibility splays shall be re-instated to its to its former condition and to the entire satisfaction of the Local Planning Authority within six months of the last occupation of the site.
6. The occupation of the temporary accommodation units hereby approved, shall be limited to contractors only associated with the construction works with the National Grid, Visual Impact Provision between Garth, Minffordd and Cilfor, Llandecwyn. The applicant shall maintain a register of occupants of the site. This shall be made available on request for inspection by any duly authorised officer of the Local Planning Authority.

7. A Noise Management Plan shall be submitted by means of a formal application before the site is operational to address likely noise. The plan should clearly identify the potential for noise nuisance, the source of noise and how the activities will be managed to mitigate noise.
8. Prior to the installation of any external lighting a detailed lighting plan that conforms to best practice set out in the Institution of Lighting Professionals and Bat Conservation Trust: *Guidance Note 08/23: Bats and Artificial Lighting in the UK* should be submitted and approved by means of a formal application to the local planning authority. The lighting plan shall be implemented in accordance with the approved details
9. All planting, seeding or turfing comprised in the approved details of landscaping shall be carried out in the first planting and seeding seasons following the occupation of the buildings or the completion of the development, whichever is sooner; and any trees or plants which within the period of 5 years from the completion of the development die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species.
10. The core working hours for general construction of the site shall be limited to between 0800 and 1800 Monday to Friday, 0800 and 1300 Saturday, and no working on a Sunday or Bank Holidays, unless otherwise approved by the Local Planning Authority.
11. The applicant/developer shall ensure that Biodiversity enhancement and enhancement measures for the site as listed in section 6 and 7 of the Preliminary Ecological Appraisal by Atmos Consulting dated April 2023 shall be followed and implemented in full.

Reasons:

1. To Comply with Section 91 (as amended) of the Town and Country Planning Act 1990.
2. To define the permission and for the avoidance of doubt.
3. To safeguard the visual amenity and landscape character of the area and to acknowledge the particular circumstances in this case and to retain future control over the future use of the site in accordance with Eryri Local Development Plan Policies 2016-2031 and in particular policies 1, 2 and A.
4. In the interest of highway safety
5. In the interest of highway safety
6. To ensure that the temporary accommodation hereby permitted is occupied by persons employed as contractors and not as general accommodation.

7. To protect the amenity of neighbouring residents at in accordance with Eryri Local Development Plan Policies and in particular Policy 1.
8. To ensure a satisfactory standard of development and to minimise the risk of unacceptable harm or disturbance to protected species in accordance with Eryri Local Development Plan Policies and in particular Policy D.
9. To ensure a satisfactory appearance of the development in accordance with Eryri Local Development Plan Policies and in particular Policy 1.
10. To protect the amenity of neighboring residents at in accordance with Eryri Local Development Plan Policies and in particular Policy 1.
11. To ensure a satisfactory standard of development and to minimise the risk of unacceptable harm or disturbance to protected species in accordance with Eryri Local Development Plan Policies and in particular Policy D

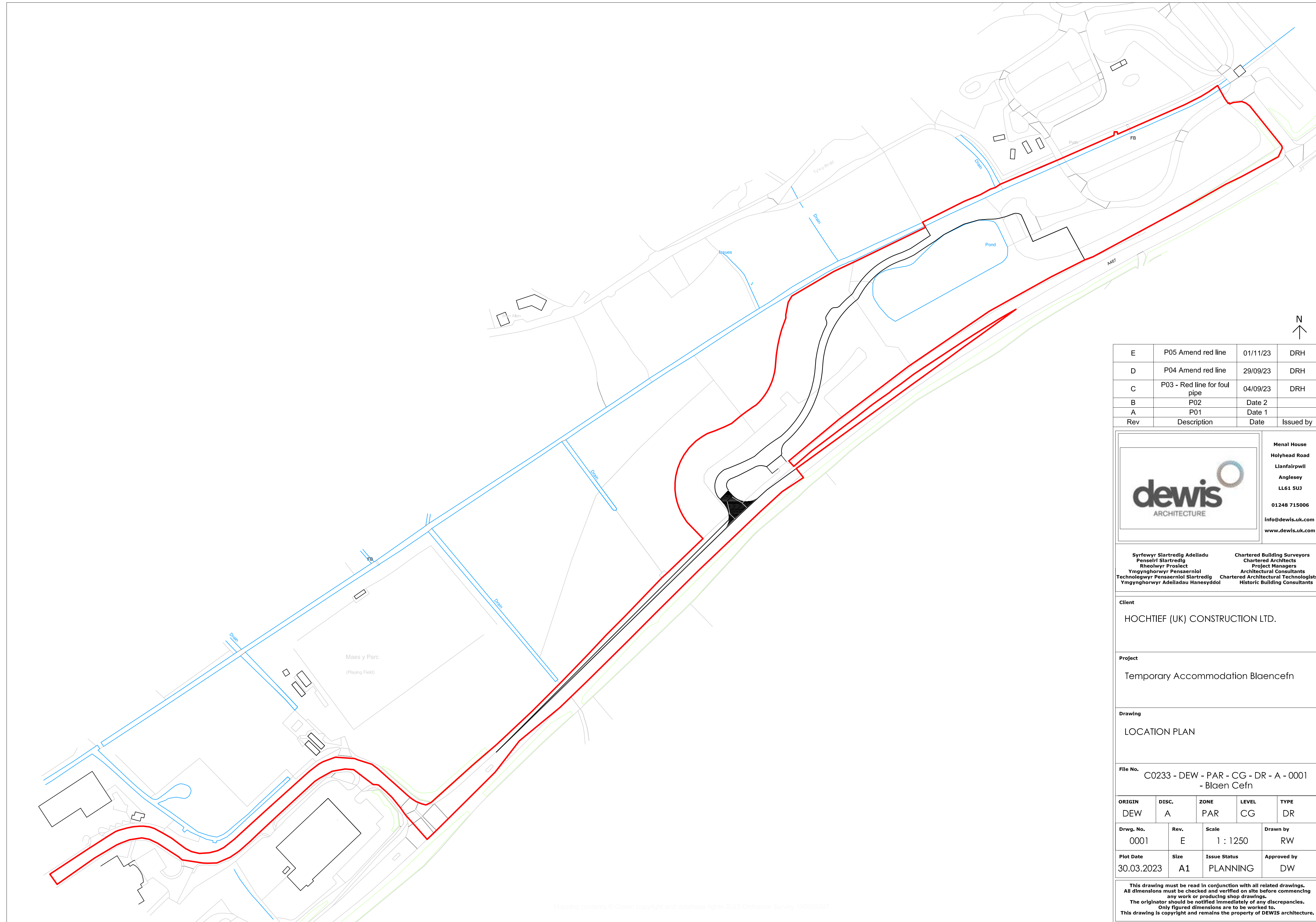
Advisory

1. FLOOD AND WATER MANAGEMENT ACT (FWMA) 2010 THE SUSTAINABLE DRAINAGE (APPROVAL AND ADOPTION PROCEDURE)(WALES) REGULATIONS 2018

The introduction of legislation on 7th January 2019 made sustainable drainage systems a mandatory requirement on new development where the construction area is 100m² or more. It is considered that this development exceeds the above identified threshold and may require Sustainable Drainage Systems (SuDS) consent from the relevant Sustainable Drainage Systems Approval Body (SAB) prior to construction works commencing.

Consequently, you are advised to contact the relevant Sustainable Drainage Systems Approval Body (SAB), i.e. (Gwynedd Council) for advice and guidance on this matter.

2. Your attention is drawn to the content of the consultation response from Gwynedd Council Pollution Control & Licencing Service dated 16/08/23 (copy attached to this notice)
3. Your attention is drawn to the content of the consultation response from Gwynedd Council Housing and Property Department dated 16/08/23 (copy attached to this notice)
4. Your attention is drawn to the content of the consultation response from Dŵr Cymru/Welsh Water, conditions for Development near water mains dated 15/11/23 (copy attached to this notice)



Rev	Description	Date	Issued by
E	P05 Amend red line	01/11/23	DRH
D	P04 Amend red line	29/09/23	DRH
C	P03 - Red line for foul pipe	04/09/23	DRH
B	P02	Date 2	
A	P01	Date 1	



Menal House
 Holyhead Road
 Llanfairpwll
 Anglesey
 LL61 5UJ
 01248 715006
 info@dewis.uk.com
 www.dewis.uk.com

Syrfewyr Siartredig Adelladu
 Pensaïr Siartredig
 Rheolwyr Proiect
 Ymgynghorwyr Pensaernïol
 Technolegwyr Pensaernïol Siartredig
 Ymgynghorwyr Adelladau Hanesyddol

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 Architectural Consultants
 Chartered Architectural Technologists
 Historic Building Consultants

Client
 HOCHTIEF (UK) CONSTRUCTION LTD.

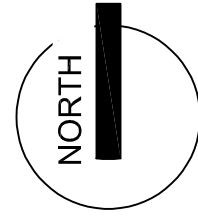
Project
 Temporary Accommodation Blaencfn

Drawing
 LOCATION PLAN

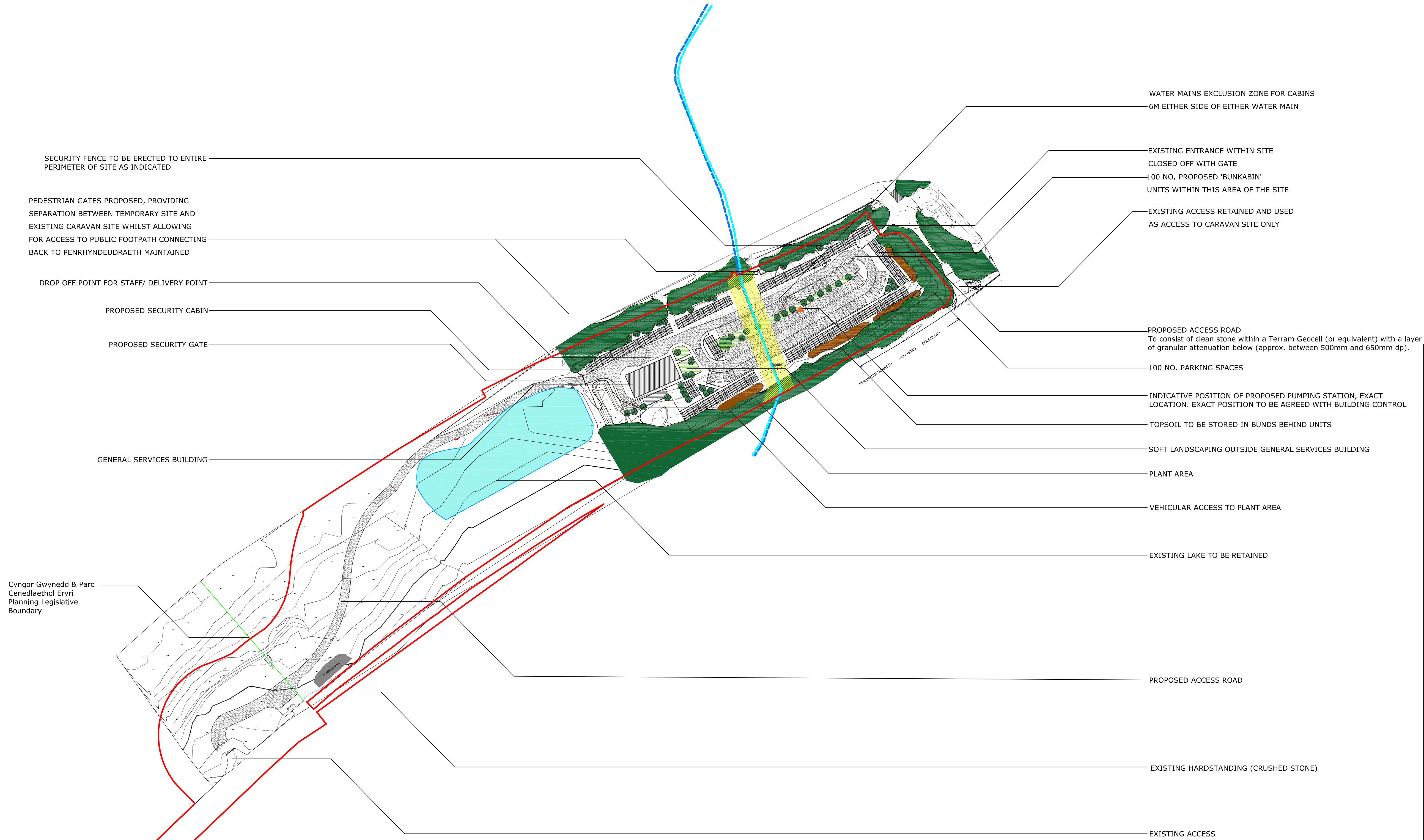
File No.
 C0233 - DEW - PAR - CG - DR - A - 0001
 - Blaen Cefn

ORIGIN	DISC.	ZONE	LEVEL	TYPE
DEW	A	PAR	CG	DR
Drwg. No.	Rev.	Scale	Drawn by	
0001	E	1 : 1250	RW	
Plot Date	Size	Issue Status	Approved by	
30.03.2023	A1	PLANNING	DW	

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KEY	
	EXISTING LANDSCAPING
	PROPOSED PLANTING
	PROPOSED SOFT LANDSCAPING
	PROPOSED BUNDS FOR TOPSOIL STORAGE
	PROPOSED SITE PERIMETER FENCING
	2400mm HIGH MESH SECURITY FENCING IN GREEN



Cyngor Gwynedd & Parc
Cenedlaethol Eryri
Planning Legislative
Boundary

WATER MAINS EXCLUSION ZONE FOR CABINS
6M EITHER SIDE OF EITHER WATER MAIN

SECURITY FENCE TO BE ERECTED TO ENTIRE
PERIMETER OF SITE AS INDICATED

PEDESTRIAN GATES PROPOSED, PROVIDING
SEPARATION BETWEEN TEMPORARY SITE AND
EXISTING CARAVAN SITE WHILST ALLOWING
FOR ACCESS TO PUBLIC FOOTPATH CONNECTING
BACK TO PENRHYNDEUDRAETH MAINTAINED

DROP OFF POINT FOR STAFF/ DELIVERY POINT

PROPOSED SECURITY CABIN

PROPOSED SECURITY GATE

GENERAL SERVICES BUILDING

EXISTING ENTRANCE WITHIN SITE
CLOSED OFF WITH GATE

100 NO. PROPOSED 'BUNKABIN'
UNITS WITHIN THIS AREA OF THE SITE

EXISTING ACCESS RETAINED AND USED
AS ACCESS TO CARAVAN SITE ONLY

PROPOSED ACCESS ROAD
To consist of clean stone within a Terram Geocell (or equivalent) with a layer
of granular attenuation below (approx. between 500mm and 650mm dp).

100 NO. PARKING SPACES

INDICATIVE POSITION OF PROPOSED PUMPING STATION, EXACT
LOCATION. EXACT POSITION TO BE AGREED WITH BUILDING CONTROL

TOPSOIL TO BE STORED IN BUNDS BEHIND UNITS

SOFT LANDSCAPING OUTSIDE GENERAL SERVICES BUILDING

PLANT AREA

VEHICULAR ACCESS TO PLANT AREA

EXISTING LAKE TO BE RETAINED

PROPOSED ACCESS ROAD

EXISTING HARDSTANDING (CRUSHED STONE)

EXISTING ACCESS

Rev	Description	By	Date
P05	6m each side for drain zone, move 4 cabins to NW	DRH	14/06/23
P06	Amend NW cabins for Egrlol	DRH	11/07/23
P07	Amend drain zone west and move cabins to accommodate	DRH	18/07/23
P08	Amend red line for new foul pipe	DRH	04/09/23
P09	Amend red line for new foul pipe	DRH	29/09/23
P10	Show indicative position of pumping station (orange triangle)	DRH	06/10/23
P11	Amend red line to avoid flood risk area	DRH	01/11/23
P12	Move topsoil bund out of DCWW easement area	DRH	08/11/23

Menai House
Holyhead Road
Llanfairpwll
Anglesey
LL61 5UJ

01248 715006
info@dewis.uk.com
www.dewis.uk.com

Syrfewyr Siartredig Adeiladu
Penseiri Siartredig
Rheolwyr Prosiect
Ymgynghorwyr Pensaernïol
Ymgynghorwyr Adeiladau Hanesyddol

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Project Managers
Architectural Consultants
Chartered Architectural Technologists
Historic Building Consultants

Client
HOCHTIEF (UK) CONSTRUCTION LTD.

Project
Temporary Accommodation Blaencefn

Drawing
PROPOSED SITE PLAN

File No.
C0233 - DEW - PAR - CG - DR - A - 0003

ORIGIN	DISC.	ZONE	LEVEL	TYPE
DEW	A	PAR	CG	DR

Drwg. No.	Rev.	Scale	Drawn by
0003	P12	1:1000	RW

Plot Date	Size	Issue Status	Approved by
30.05.23	A1	PLANNING	DW

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Rev.	Description	By	Date
P02	5m each side for 20m zone, move hedgins to NW	DRH	14/06/23
P03	Amend 20m zone for Egniol	DRH	11/07/23
P04	Amend 20m zone west and move cabins to accommodate	DRH	18/07/23
P05	Amend 20m zone west and move cabins to accommodate	DRH	29/09/23
P06	Show indicative position of pumping station (orange triangle)	DRH	06/10/23
P07	Move topsoil bund out of DCWW easement area	DRH	08/11/23

dewis
ARCHITECTURE

Menl House
Holyhead Road
Llanfairpwll
Anglesey
LL61 5UJ

01248 715006
Info@dewis.uk.com
www.dewis.uk.com

Syrfewyr Siartredig Adelladu
Penselri Siartredig
Rheolwyr Proiect
Ymgynghorwyr Pensaeriol
Ymgynghorwyr Adelladau Hanesyddol

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Project Managers
Architectural Consultants
Chartered Architectural Technologists
Historic Building Consultants

Client
HOCHTIEF (UK) CONSTRUCTION LTD.

Project
Temporary Accommodation Blaencefn

Drawing
**PROPOSED HARD & SOFT
LANDSCAPING PLAN**

File No.
C0233 - DEW - PAR - CG - DR - A - 0007

ORIGIN	DISC.	ZONE	LEVEL	TYPE
DEW	A	PAR	CG	DR

Drwg. No.	Rev.	Scale	Drawn by
0007	P07	1:500	RW

Plot Date	Size	Issue Status	Approved by
30.05.23	A3	PLANNING	DW

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KEY

ICON	IMAGE	DESCRIPTION
		EXISTING LANDSCAPING - SITE WELL SCREENED BY EXISTING TREES AND HEDGING.
		PROPOSED PLANTING - NATIVE SPECIES FEATURE TREES/ PLANTING TO PROPOSED LOCATIONS TO ENHANCE SCREENING WHERE APPROPRIATE
		PROPOSED SOFT LANDSCAPING
		PROPOSED 'HARD' LANDSCAPING - PERMEABLE STONE SURFACING FOR ACCESS ROADS, CAR PARKING AND BASES FOR UNITS
		PROPOSED BUNDS FOR TOPSOIL STORAGE TO LOCATIONS BEHIND PROPOSED SLEEPER UNITS AS SHOWN PROVIDING ADDITIONAL SCREENING
		PROPOSED SITE PERIMETER FENCING TO BE 2400mm HIGH CLD ECLIPSE MESH SECURITY FENCING IN GREEN

Site Landscaping Details: Implementation Phase

General

The following plan provide details of the proposed landscaping treatments associated with the construction, and subsequent decommissioning of the worker's accommodation at land adjoining the Bla'en Cefn campsite in Penrhynudraeth. The temporary accommodation is for the use of the workforce on the upcoming Snowdonia Visual Impact Provision project. This project aims to reduce the visual impact of the National Grid's overhead line above the Dwyryd Estuary, from Minfordd to Llandecwyn, in North Wales. The following recommendations relate to the primary phase of site construction to the decommissioning of the site, post-construction. Details of the site restoration are found on sheet 2 of this submission.

The Site

The site comprises land to the south of the established Bla'en Cefn caravan site, whose northern extent provides seasonal touring caravan pitches. The northern half of the site houses the range of infrastructure such as toilets, shower blocks, amenity buildings an amenity leisure spaces. While not an active part of the site facilities, the southern site extent is used for site maintenance (the storage of land maintenance arisings), machinery storage and as a general utility area. In terms of general landscape management, the southern, candidate area is mainly managed as a mown grass sward, and the hedges and edges are trimmed, as required. There is an informal track loop within the extent, which is used for tractor and maintenance vehicle access at this time.

Phasing

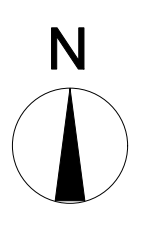
The landscape aspect of the project is to be in two phases. The first phase will provide landscaping around the proposed accommodation blocks, service buildings and access/parking network. This will provide some interim biodiversity value during the 2023-2025 construction phase of the project, as well as delivering essential erosion and sediment control function on the newly-made ground. Once work is completed on site, the decommissioning and restoration phase will get underway. All infrastructure buildings, drains and roads will be removed, and the land returned broadly to its current configuration. Biodiversity enhancements will be delivered, in the form of a partial replacement of the existing mown grass sward, with areas of diverse grassland types. Additionally screening planting between the candidate site and the existing campground will be installed, in order to improve site separation during construction, and to improve screening of the campsite post-decommissioning.

Objectives

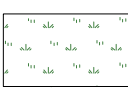
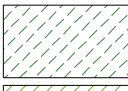


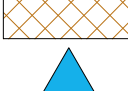
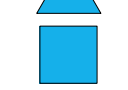

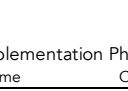
The objectives for the site over the life of the VIP project is to generally employ the mown grass extent of the site to provide space for a utility building for project storage and co-ordination, as well as providing modular living accommodation for the specialist tunnelling contractors who will be delivering the project. While roads and other surfaces will need to be installed to enable the siting of this infrastructure, it will be installed such as to be recovered and restored from first principles. Drainage, erosion and sediment control will be delivered by ensuring that, once groundworks are complete, drainage is installed and no bare earth will be left exposed. Any ground not planted or seeded with a diverse range of species, will generally be in high-traffic areas and, as such, will be seeded with a durable mown grass finish to prevent wear and suppress mud and sediment from forming.

Biodiversity & Invasive Species

As noted above, despite the landscape interventions during the implementation phase being temporary, they will be seeded and managed with the view of delivering enhanced biodiversity value, compared to the current species-poor grass sward. Any features which may be retained and included into the restored site, such as the meadows along the north and south boundaries of the site, and some of the tree planting, will be retained. This may include translocation of trees and shrubs into the final configuration. Both Japanese knotweed and Himalayan balsam have been found on site. The knotweed has been located and isolated, and is currently subject to sustained herbicide treatment. The balsam is widespread on site, but is generally easier to control. Gradual clearing of this material will be best addressed by frequent pulling of plants prior to flowering.



KEY

-  Standard Wildflower Meadow
-  Woodland Edge Wildflowers
-  Low Shrub Mix
-  Mown Grass
-  Large Shrub Mix
-  Topsoil Stockpiles
-  Vivaro Pro Woodstone Bat Box
-  1B Schwegler Nest Box (32mm hole)
-  Red Line Site Boundary

TREES: Implementation Phase

Botanical Name	Common Name	Size	Quantity
<i>Betula pendula</i>	Silver birch	12-14cm heavy standard	8
<i>Sorbus aucuparia</i>	Rosier	standard tree	9
<i>Thuja plicata 'Emerald Giant'</i>	Western red cedar 'Emerald Giant'	H2m RB or 45l	23
<i>Catalpa biondiana</i>	Hawthorn	10-12cm standard tree	3
<i>Corylus avellana</i>	Hazel	H 1.6 multistem	14
	Total		57

SHRUBS: Implementation Phase

Botanical Name	Common Name	Size	Quantity
<i>Fraxinus alnus</i>	Box elder	2l	46
<i>Dryopteris filix-mas</i>	Male Fern	3l	38
<i>Cornus sanguinea</i>	Red dogwood	3l	84
<i>Asplenium scolopendrium</i>	Hart's tongue fern	2l	63
<i>Sambucus nigra</i>	Elderberry	2l	44
<i>Alythum felix-femina</i>	Lady fern	3l	54
<i>Viburnum tinus</i>	Viburnum	3l	40
	Total		369

NOTE: All plant material shall be of local provenance, where available. UK Provenance Zone 303. Where practicable, locally-collected seed or vegetative material should be sought.

TOTAL AREA SEEDED FOR THIS PHASE 1428.13 SQ.M

EMORSGATE EW1 WOODLAND MIX

Botanical Name	Common Name	Percentage
<i>Alliaria petiolata</i>	Garlic Mustard	1
<i>Anthriscus sylvestris</i>	Cow Parsley	0.5
<i>Carex divulsa ssp divulsa</i>	Grey Sedge	2
<i>Carex pendula</i>	Pendulous sedge	0.1
<i>Chaerophyllum temulum</i>	Rough Chervil	4
<i>Digitalis purpurea</i>	Foxglove	1
<i>Filipendula ulmaria</i>	Meadowsweet	1.1
<i>Galium album</i>	Hedge Bedstraw	0.5
<i>Geranium pyreniacum</i>	Hedge Crane's Bill	2
<i>Geum urbanum</i>	Wood avens	0.8
<i>Hyacinthoides non-scripta</i>	Bluebell	1
<i>Silene dioica</i>	Red Campion	5
<i>Silene flos-cuculi</i>	Ragged Robin	1
<i>Agrostis capillaris</i>	Common Bent	1
<i>Anthoxanthum odoratum</i>	Sweet Vernal Grass	2
<i>Brachypodium sylvaticum</i>	False Brome	1
<i>Cynosurus cristatus</i>	Crested Dogtail	50
<i>Deschampsia cespitosa</i>	Tufted Hair Grass	2
<i>Festuca rubra</i>	Red Fescue	20
<i>Poa nemoralis</i>	Wood Meadow Grass	4
	TOTAL PERCENT	100

TOTAL AREA SEEDED FOR THIS PHASE 837.08 SQ.M

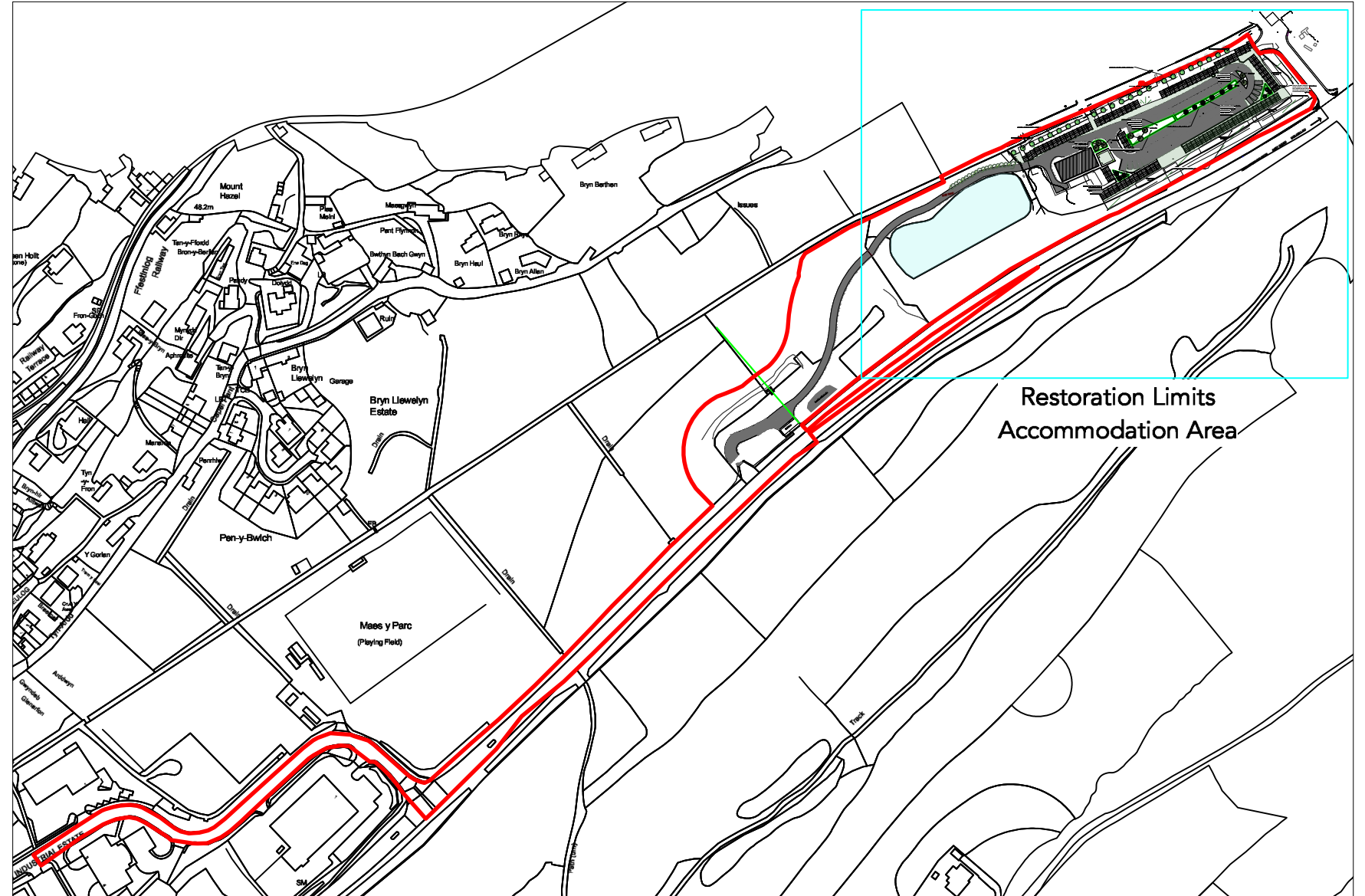
EMORSGATE EH33 UPLAND MEADOW MIXTURE

Botanical Name	Common Name	Percentage
<i>Crepis capillaris</i>	Smooth Hawk's-beard	1
<i>Euphrasia officinalis</i>	Eyebright	1
<i>Hypochaeris radicata</i>	Catsear	4
<i>Medicago lupulina</i>	Black Medic	2
<i>Leontodon hispidus</i>	Rough Hawkbit	1
<i>Lotus corniculatus</i>	Birdsfoot Trefoil	1
<i>Plantago lanceolata</i>	Ribwort Plantain	18
<i>Fumaria vulgaris</i>	Selheal	1
<i>Ranunculus acris p</i>	Meadow Buttercup	10
<i>Rhinanthus minor</i>	Yellow Rattle	8
<i>Trifolium pratense</i>	Wild Red Clover	4
<i>Agrostis capillaris</i>	Common Bent	5
<i>Anthoxanthum odoratum</i>	Sweet Vernal-Grass	20
<i>Cynosurus cristatus</i>	Crested Dog-tail	17
<i>Dactylis glomerata</i>	Cocksfoot	5
<i>Festuca rubra</i>	Red Fescue	2
	TOTAL PERCENT	100

Bat & Bird Boxes
 2 no. Vivaro Pro Woodstone Bat Box
<https://www.nhbs.com/vivaro-pro-woodstone-bat-box>
 2 no. 1B Schwegler Nest Box (32mm hole)
<https://www.nhbs.com/1b-schwegler-nest-box>



Overall Site Extents
Scale 1:3,500



02/11/2023	PO4	Red Line Amended
18/10/2023	PO3	Revision made in response to NFM feedback.
09/10/2023	PO2	Revision of Red Line Boundary
04/09/2023	PO1	Final revisions and plant details.



West Coast Arboriculture & Land Planning Ltd
 Unit 5 Griffiths Crossing Ind. Estate
 Griffiths Crossing
 Gwynedd
 LL55 1TS
www.westcoast-land.co.uk

Blaen Cefn Landscape Restoration Strategy

Landscaping Plan: Implementation Phase

Sheet No:	1:450 @A1	Sheet Number:	1 of 2
Drawn By:	SF	Reviewed By:	SF
Sheet No.:	CO233-HUK-GES-CG-DR-X-0002		Rev.:
File Name:	WK_23_2023-Blaen Cefn Restoration Plan 02.11.23.mxd		PO5

Site Restoration Details

General
 This current plan prescribes how the Bla'en Cefn site is to be restored following the removal of the project infrastructure, described on sheet 1. The original, broad configuration of the site is to be maintained, such that the owners retain access to the area, further to the management of the wider leisure site. This includes the maintenance of an access track width which allows room for tractors and trailers to navigate. Crucially, the maintenance of a clear access track, ensures that vehicles do not stray onto the seeded meadow areas proposed. Soil compaction to carefully cultivated and seeded soils can be extremely damaging and is difficult to remedy.

Transition to Restoration
 As stated on the previous sheet, an objective of the demobilisation of the accommodation phase will be to preserve as much of the temporary landscaping as is practicable. This will involve the judicious fencing-off of as much of the meadow areas as possible, protected existing and planted tree from damage during operations, and lifting and translocating the majority of the plants into the revised configuration. The net effect of this will be that the restoration phase will be more of an extension of the primary work, than starting again from scratch.

Management & Maintenance
 A consistent characteristic of perennial wildflower meadows, is that they require diligent and well-directed maintenance in order to thrive. Carefully-targeted weed control and mowing is essential to limit the growth of grass and pernicious weeds, in order to encourage the appearance of forbs (flowering plants). Depending on when the site is ready for restoration, an autumn or spring sowing into well-prepared soil of reduced fertility (fertile stored topsoil can be used for mown grass or amenity areas) would be optimum. The emerging plants may be the subject of an early cut (March of year one), but then should generally need only be cut in late summer, and the cuttings removed. Some of this wildflower hay may be dried and re-dressed into the meadow where coverage is bare. Please see the excerpt in the bottom-right of this sheet from Emorsgate seeds for further, general wildflower establishment advice.

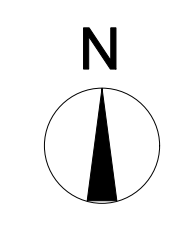
Biodiversity
 The biodiversity objectives for the site are to be placed in the context of it remaining a functional utility area for the owners. The provision of sufficient working space will ensure that the Bla'en Cefn caravan site continues to function well, while allocating previously low-biodiversity spaces to landscapes of far greater biodiversity value. Additionally, the institution of regimes of 1-2 meadow cuts versus 15-20 grass cuts per year amounts to significant carbon savings, which aggregate year-on-year for as long as this low-carbon approach is maintained.

Wildflower Management Advice

Provided by Emorsgate Seeds. The recommended seed supplier for this project.
Ground Preparation: Select ground that is not highly fertile, and does not have a problem with perennial weeds. Remove any existing vegetation by repeated cultivation or turf stripping. Then plough, surface cultivate or dig to bring up clean soil, harrow or rake to produce a medium tilth, and roll or tread to produce a firm surface. Aim to produce a firm, weed free, medium tilth, seed-bed. Sowing Rate: Sow at 4g/m² in a landscaping or garden setting. A reduced rate of around 2g/m² may be used in an agricultural setting or on large areas.
Sowing: Sow in the autumn or the spring, or at any other time of the year if the ground conditions are good. Divide the quantity of seed and sow half in one direction over the entire area and the remainder across the whole area in the other direction. The seed must be sown on the surface and can be applied by seed drill, seed fiddle, or broadcast by hand. Do not incorporate or cover the seed, but firm in with a roll, or by treading, to give good seed/soil contact.
Aftercare: Most of the sown meadow species are perennial and are slow to establish. Soon after sowing there will be a flush of annual weeds, arising from the soil seed bank. These weeds can look unsightly, but they will offer shelter to the sown seedlings, are great for bugs, and they will die before the year is out. So resist cutting the annual weeds until mid to late summer, especially if the mixture contains Yellow Rattle, or has been sown with a nurse of cornfield annuals. Then cut, remove and compost. Early August is a good time. This will reveal the young meadow, which can then be kept short by grazing or mowing through to the end of March of the following year.

In the second growing season, and each year thereafter, leave the meadow uncut and un-grazed from the end of March to mid-summer, allowing the sown species to flower in June and July. After flowering, cut and remove the vegetation. This may be taken off as hay, or cut and stacked nearby to rot. The meadow may then be kept mown or grazed through to the end of March in the following year. Moderate winter poaching is beneficial. Flowering in the second growing season will be very good, and as the years go by, and with good management, species diversity will increase.

Cutting date can be varied from year to year, bringing it forward to early July if the meadow becomes rank, or taking a later cut in early August if the structure is good. Perennial weeds can be controlled by selective scything or topping. Cut perennial weeds at flowering and before seed set.



KEY

- Standard Wildflower Meadow
- Woodland Edge Wildflowers
- Low Shrub Mix
- Mown Grass
- Large Shrub Mix
- Topsoil Stockpiles
- Red Line Site Boundary

TREES: Restoration Phase

Botanical Name	Common Name	Size	Quantity
Betula pendula	Silver birch	12-14cm heavy standard	6
Sorbus aucuparia	Rosier	standard tree	6
Quercus petraea	Seefe oak	12-14 heavy standard	3
Pinus sylvestris	Scots pine	H 2m RB	3
Castanea monogyna	Hazel	10-12cm standard tree	3
Corylus avellana	Hazel	H 1.6 multistem	14
	Total		35

SHRUBS: Restoration Phase

Botanical Name	Common Name	Size	Quantity
Fraxinus alnus	Box elder	2l	46
Dryopteris filix-mas	Male Fern	3l	38
Cornus sanguinea	Red dogwood	3l	84
Asplenium scolopendrium	Hart's tongue fern	2l	63
Sambucus nigra	Elderberry	2l	44
Aspidium filix-terre	Lady fern	3l	54
Viburnum tinus	Viburnum	3l	40
	Total		369

NOTE: All plant material shall be of local provenance, where available. UK Provenance Zone 303. Where practicable, locally-collected seed or vegetative material should be sought.

TOTAL AREA SEEDED FOR THIS PHASE
2214.91 SQ.M

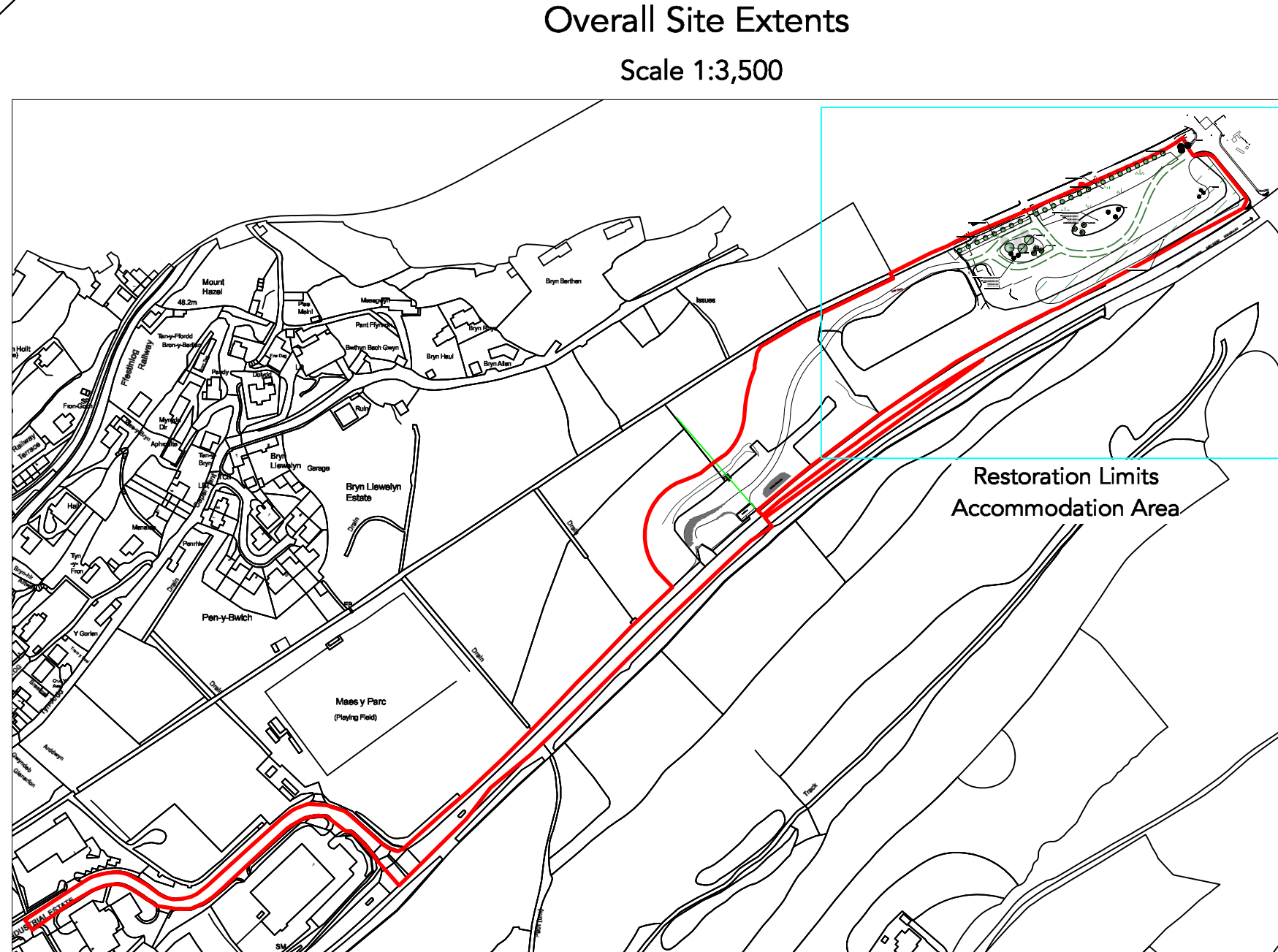
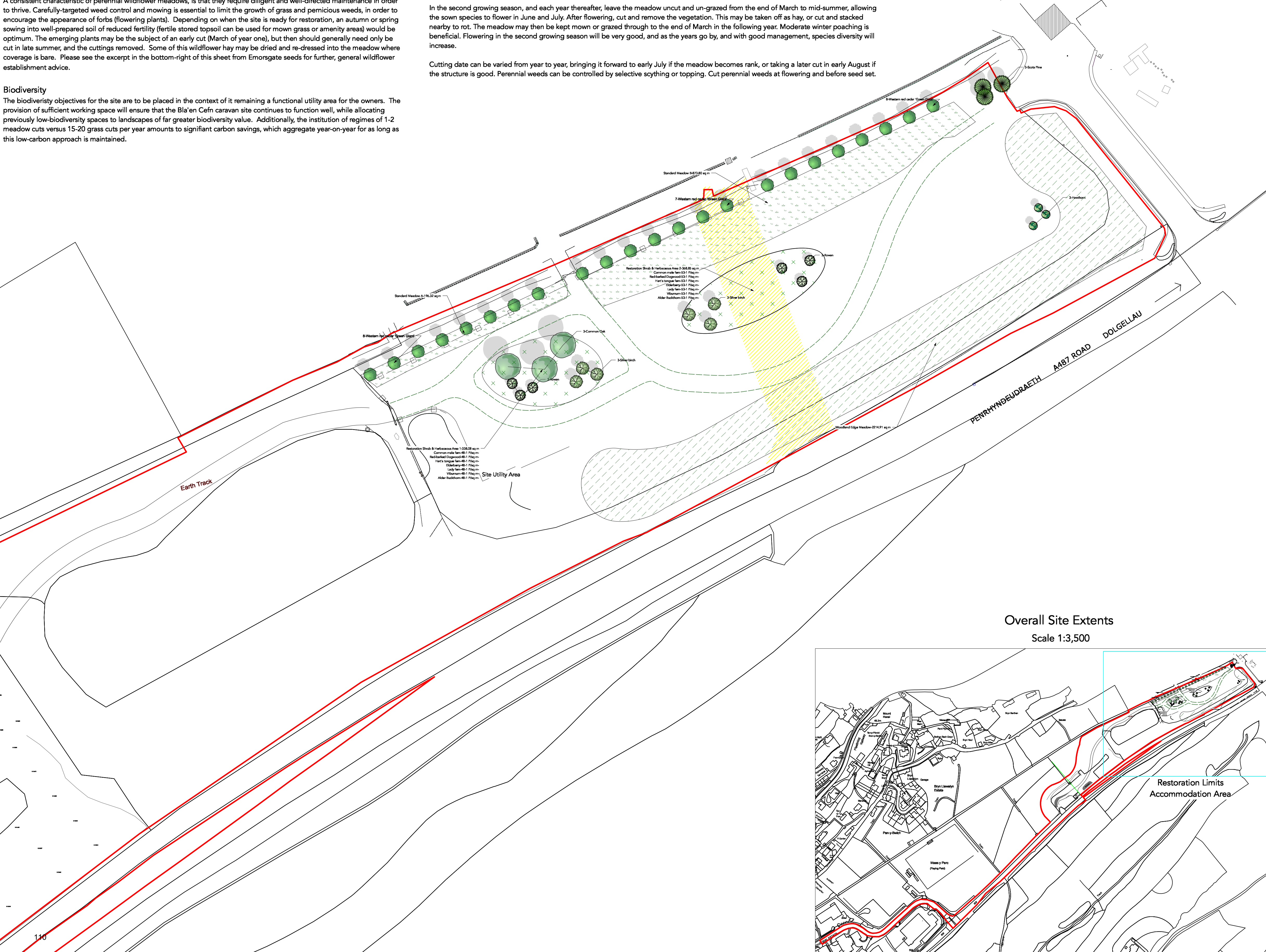
EMORSGATE EW1 WOODLAND MIX

Botanical Name	Common Name	Percentage
Alliaria petiolata	Garlic Mustard	1
Anthriscus sylvestris	Cow Parsley	0.5
Carex divivisa ssp divivisa	Grey Sedge	2
Carex pendula	Pendulous sedge	0.1
Chaerophyllum temulum	Rough Chervil	4
Digitalis purpurea	Foxglove	1
Filipendula ulmaria	Meadowsweet	1.1
Galium album	Hedge Bedstraw	0.5
Geranium pyrenaicum	Hedge Crane's Bill	2
Geum urbanum	Wood avens	0.8
Hyacinthoides non-scripta	Bluebell	1
Silene dioica	Red Campion	5
Silene flos-cuculi	Ragged Robin	1
Agrostis capillaris	Common Bent	1
Anthoxanthum odoratum	Sweet Vernal Grass	2
Brachypodium sylvaticum	False Brome	1
Cynosurus cristatus	Crested Dogtail	50
Deschampsia cespitosa	Tufted Hair Grass	2
Festuca rubra	Red Fescue	20
Poa nemoralis	Wood Meadow Grass	4
	TOTAL PERCENT	100

TOTAL AREA SEEDED FOR THIS PHASE
1070.12 SQ.M

EMORSGATE EH33 UPLAND MEADOW MIXTURE

Botanical Name	Common Name	Percentage
Crepis capillaris	Smooth Hawk's-beard	1
Euphrasia officinalis	Eyebright	1
Hypochaeris radicata	Catsear	4
Medicago lupulina	Black Medic	2
Leontodon hispidus	Rough Hawkbit	1
Lotus corniculatus	Birdsfoot Trefoil	1
Plantago lanceolata	Ribwort Plantain	18
Prunella vulgaris	Selfheal	1
Ranunculus acris p	Meadow Buttercup	10
Rhinanthus minor	Yellow Rattle	8
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Agrostis capillaris	Common Bent	5
Anthoxanthum odoratum	Sweet Vernal-Grass	20
Cynosurus cristatus	Crested Dog-tail	17
Dactylis glomerata	Cocksfoot	5
Festuca rubra	Red Fescue	2
	TOTAL PERCENT	100



Date	No.	Zone	Revision Notes
02/11/2023	P04		Red Line Amended
18/10/2023	P03		Revision made in response to NRW feedback.
05/10/2023	P02		Revision of Red Line Boundary
04/05/2023	P01		Final revisions and joint details.



West Coast Arboriculture & Land Planning Ltd
 Unit 5 Griffiths Crossing Ind. Estate
 Griffiths Crossing
 Gwynedd
 LL55 1TS
 www.westcoast-land.co.uk

Project Title: Blaen Cefn Landscape Restoration Strategy

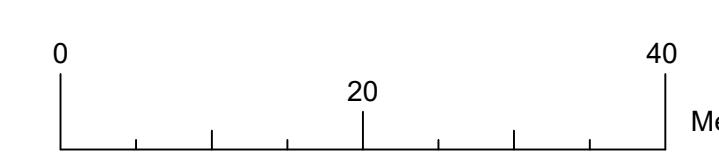
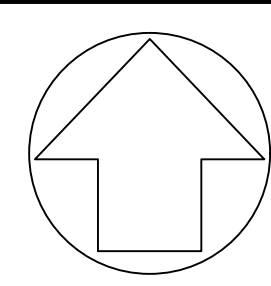
Sheet Title: Landscaping Plan: Restoration Phase

Sheet Scale: 1:450 @A1 Sheet Number: 2 of 2

Drawn By: SF Reviewed By: SF

Sheet No.: C0233-HUK-GES-CG-DR-X-0002 Rev. P05

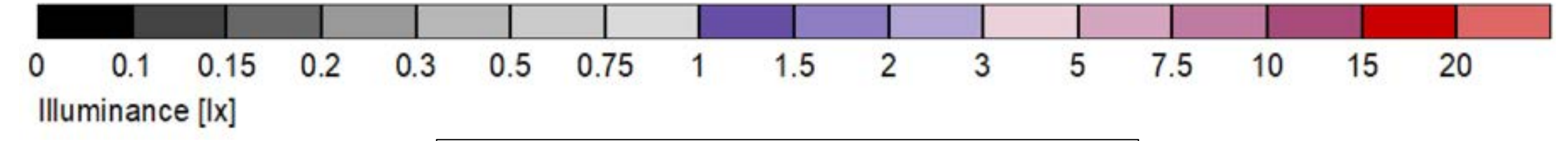
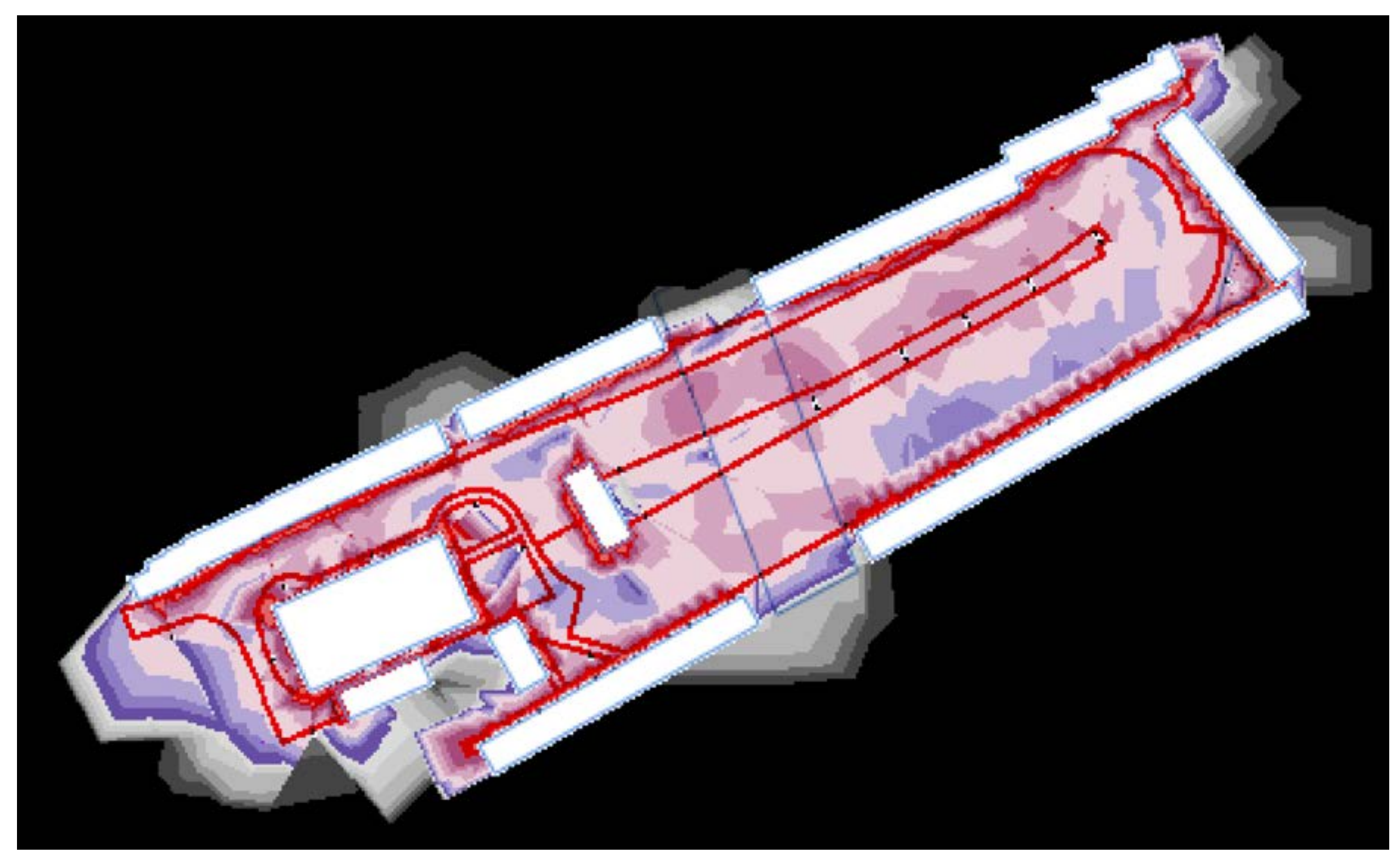
File Name: WK_23_2023 Blaen Cefn Restoration Plan 02.11.23.rvt
 Release code: S1 SHARED - SUITABLE FOR COORDINATION



- Legend:**
- OVERDOOR IPES LED LUMINAIRE C/W AMBER OPTIC TO BE MOUNTED OVER CABIN DOORS. PIR OPERATED.
 - POST TOP IPES LED LUMINAIRE C/W 5m COLUMN & AMBER OPTIC. EXC DENOTES GULF HEAD.
 - LED BOLLARD

LUMINAIRE SCHEDULE - LDL LIGHTING - design@id lighting

SYMBOL	QUANTITY	DESCRIPTION
●	17	5M COLUMN CW LDL LIGHTING STREET S L4 AMBER OPTIC16W 1600LM
●	5	5M COLUMN CW BACK TO BACK (500MM OUTREACH) LDL LIGHTING STREET S L4 AMBER OPTIC 16W 1600LM
—	119	LDL LIGHTING LEAH DIRECT 7W 600LM AMBER - ABOVE EACH CABIN DOOR. CW AMBER OPTICS
●	1	LDL LIGHTING HAMPSHIRE 1m 10W AMBER BOLLARD



FALSE COLOUR RENDER.
NOT TO SCALE

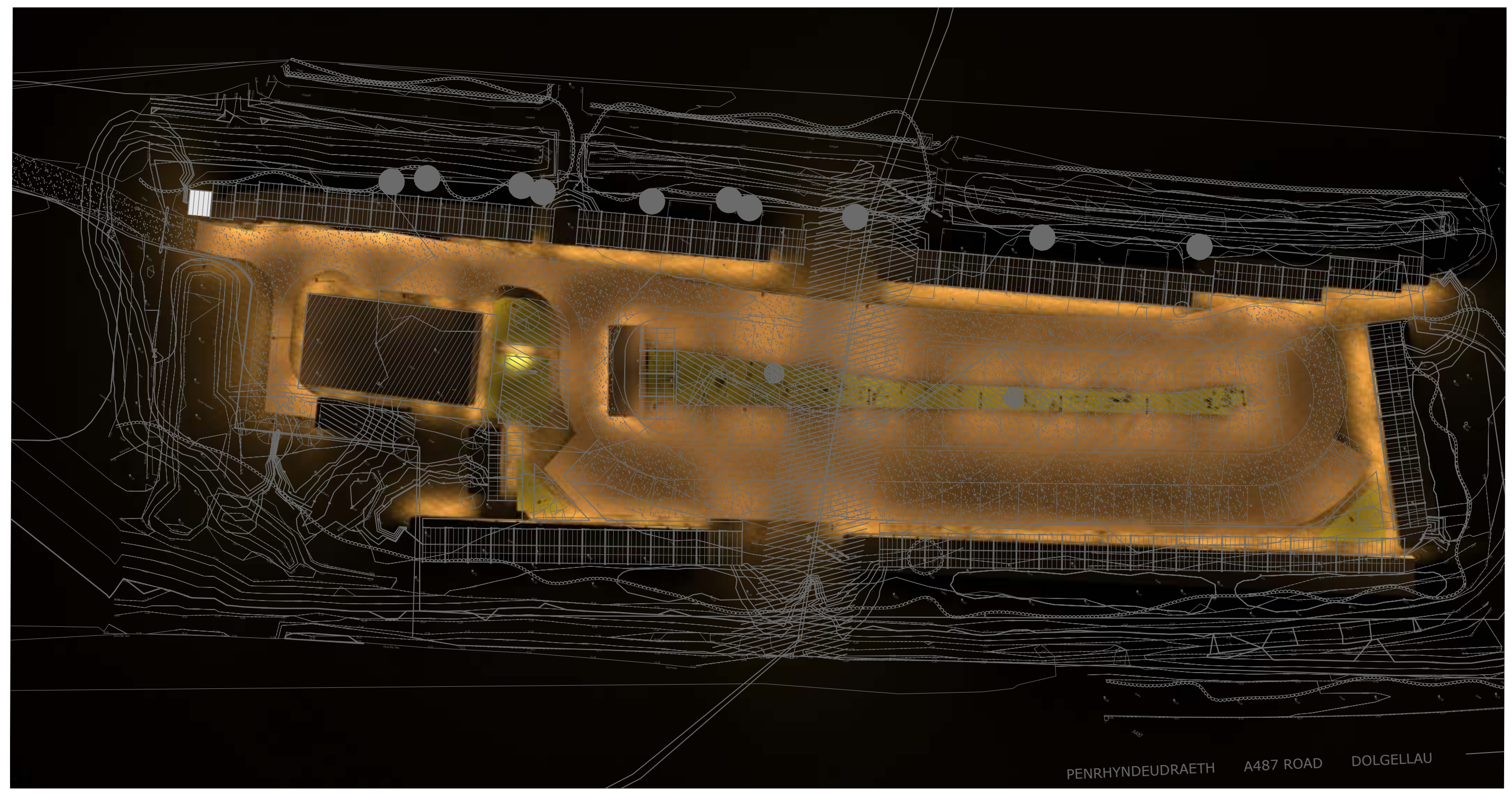
CALCULATION SUMMARY						
AREA	UNITS	Em	Emin	Emax	Uo	ULR
CAR PARK	LUX	5	1	27	0.27	0.00

ALL DOORWAY LIGHTING TO BE INDIVIDUALLY PIR CONTROLLED

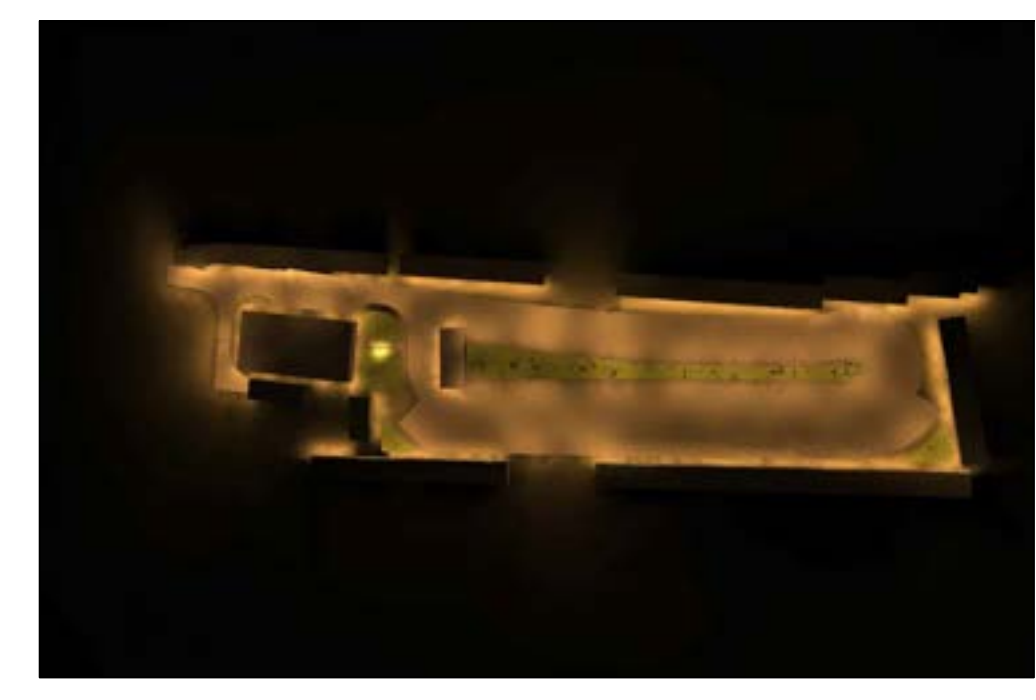
ALL OF THESE RED ZEROS DENOTE ZERO LUX SPILL CALCULATED AROUND THE PERIMETER OF THE SITE.



CONTOUR LINE	LUX LEVEL
—	0.08
—	0.10
—	0.15
—	0.20
—	0.25



3D ILLUMINANCE OVERLAID WITHIN 2D PLAN FOR INDICATIVE DISTRIBUTION.
NOT TO SCALE.



PROPOSED 3D LUMINANCE VIEWS

- NOTES:**
- ALL DIMENSIONS IN METRES UNLESS SHOWN OTHERWISE
 - DO NOT SCALE FROM DRAWINGS
 - THIS DRAWING SHALL BE READ IN CONJUNCTION WITH THE SPECIFICATIONS AND ALL RELEVANT SPECIFICATIONS
 - ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE RELEVANT SPECIFICATIONS

Rev	By	Chk'd	Auth'd	Date	Description
C03	TC	JH	PH	10/23	Construction issue
C02	TC	JH	PH	10/23	Construction issue
C01	TC	JH	PH	08/23	Construction issue

Client : **nationalgrid**

Subcontractor / Designer: **Viridian Consulting Engineers Limited**

Contractor: **HOCHTIEF**
 Head Office: Whitehill House, Windmill Hill Business Park, Whitehill Way, Swindon, SN5 6PE
 Tel: 01793 755555, Email: CADservices@hochtief.co.uk

Project : **SNOWDONIA VIP**

Title : **TEMPORARY ACCOMMODATION BLAENCEFN PROPOSED EXTERNAL LIGHTING**

Drawn by : TC	Checked by : JH	Approved by : PH
Date : 30.08.23	Date : 30.08.23	Date : 30.08.23
Drawing Scale & Paper Size : 1:250 Paper Size A0		CAD Filename : Drawing number

Drawing status : **Prelim or Approved for Constr**

Drawing No. : C0233-SUP-PTW-CG-DR-X-0001	Revision : C03
--	----------------



Rev	Description	By	Date
P02	6m each side for 3m zone, move cabins to NW	DRH	14/06/23
P03	Amend North zone for Egnol	DRH	11/07/23
P04	Amend North zone west and move cabins to accommodate	DRH	18/07/23
P05	Amend Pod line	DRH	29/09/23
P06	Show indicative position of pumping station (orange triangle)	DRH	06/10/23



Menal House
 Holyhead Road
 Llanfairpwll
 Anglesey
 LL61 5UJ
 01248 715006
 Info@dewis.uk.com
 www.dewis.uk.com

Syrffwyr Slatredig Adelladu
 Penseiri Slatredig
 Rheolwyr Prosiect
 Ymgynghorwyr Pensaernïol
 Technolegwyr Pensaernïol Slatredig
 Ymgynghorwyr Adelladau Hanesyddol

Chartered Building Surveyors
 Chartered Architects
 Project Managers
 Architectural Consultants
 Chartered Architectural Technologists
 Historic Building Consultants

Client
HOCHTIEF (UK) CONSTRUCTION LTD.

Project
Temporary Accommodation Blaencfn

Drawing
**PROPOSED HARD & SOFT
 LANDSCAPING PLAN**

File No.
C0233 - DEW - PAR - CG - DR - A - 0007

ORIGIN	DISC.	ZONE	LEVEL	TYPE
DEW	A	PAR	CG	DR

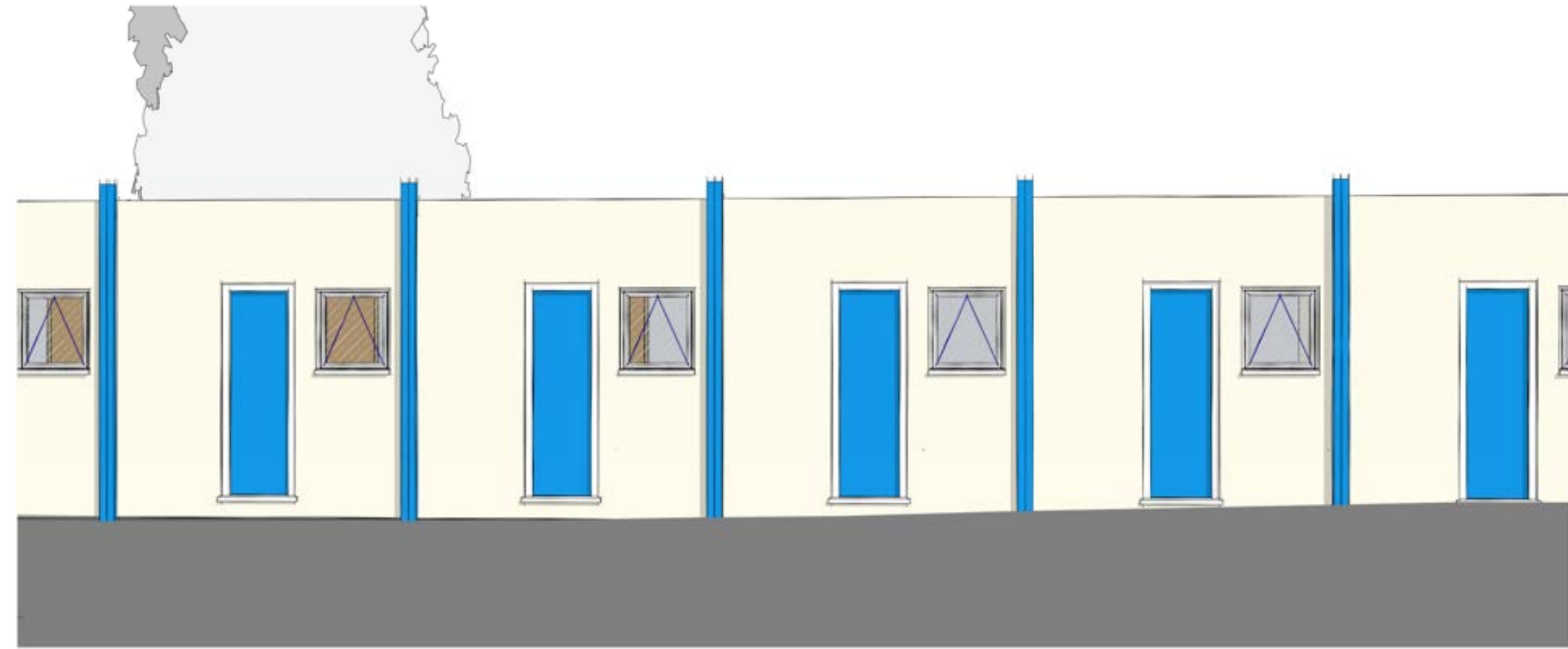
Drwg. No.	Rev.	Scale	Drawn by
0007	P06	1:500	RW

Plot Date	Size	Issue Status	Approved by
30.05.23	A3	PLANNING	DW

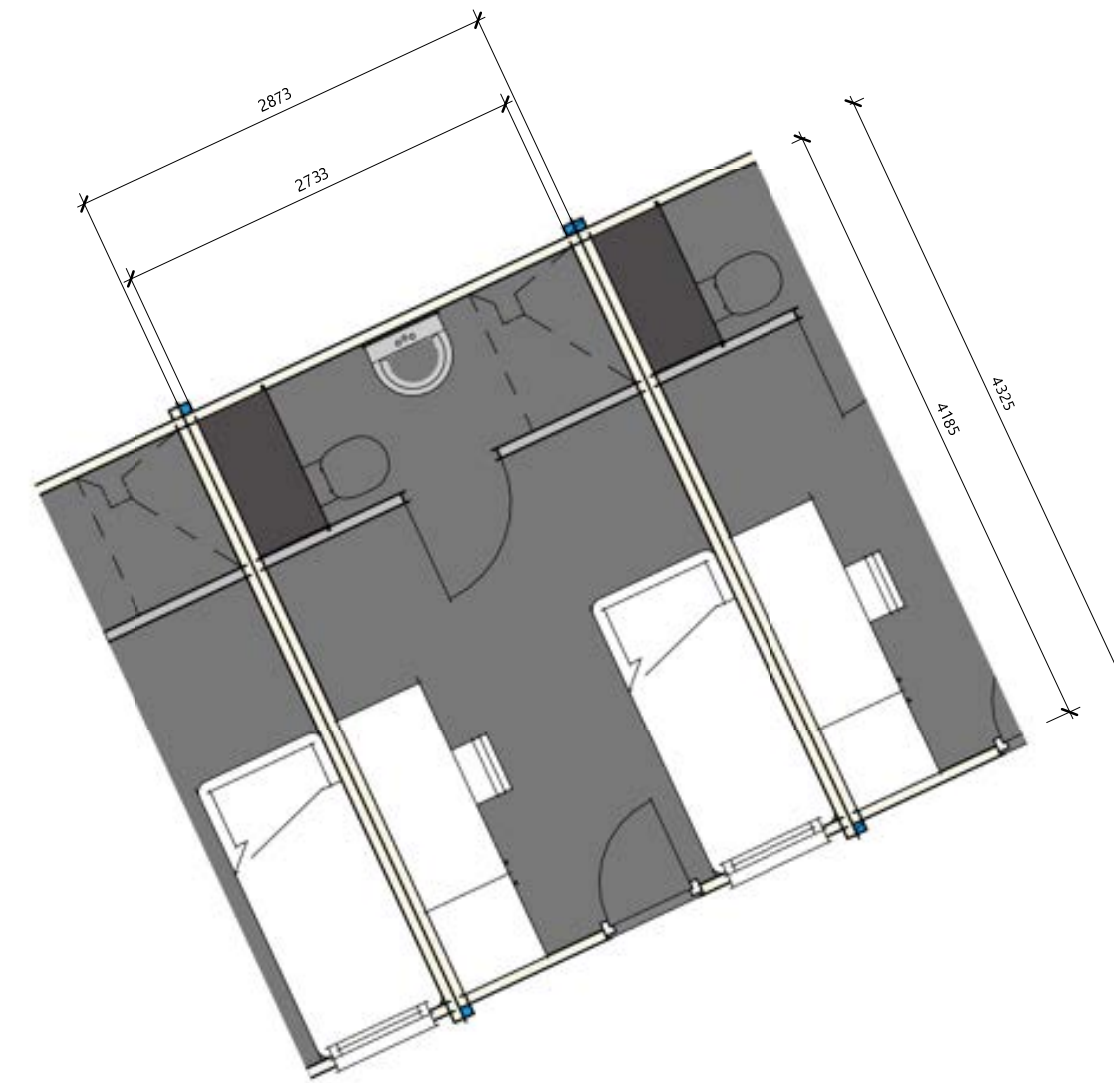
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ICON	IMAGE	DESCRIPTION
		EXISTING LANDSCAPING - SITE WELL SCREENED BY EXISTING TREES AND HEDGING.
		PROPOSED PLANTING - NATIVE SPECIES FEATURE TREES/ PLANTING TO PROPOSED LOCATIONS TO ENHANCE SCREENING WHERE APPROPRIATE
		PROPOSED SOFT LANDSCAPING
		PROPOSED 'HARD' LANDSCAPING - PERMEABLE STONE SURFACING FOR ACCESS ROADS, CAR PARKING AND BASES FOR UNITS
		PROPOSED BUNDS FOR TOPSOIL STORAGE TO LOCATIONS BEHIND PROPOSED SLEEPER UNITS AS SHOWN PROVIDING ADDITIONAL SCREENING
		PROPOSED SITE PERIMETER FENCING TO BE 2400mm HIGH CLD ECLIPSE MESH SECURITY FENCING IN GREEN

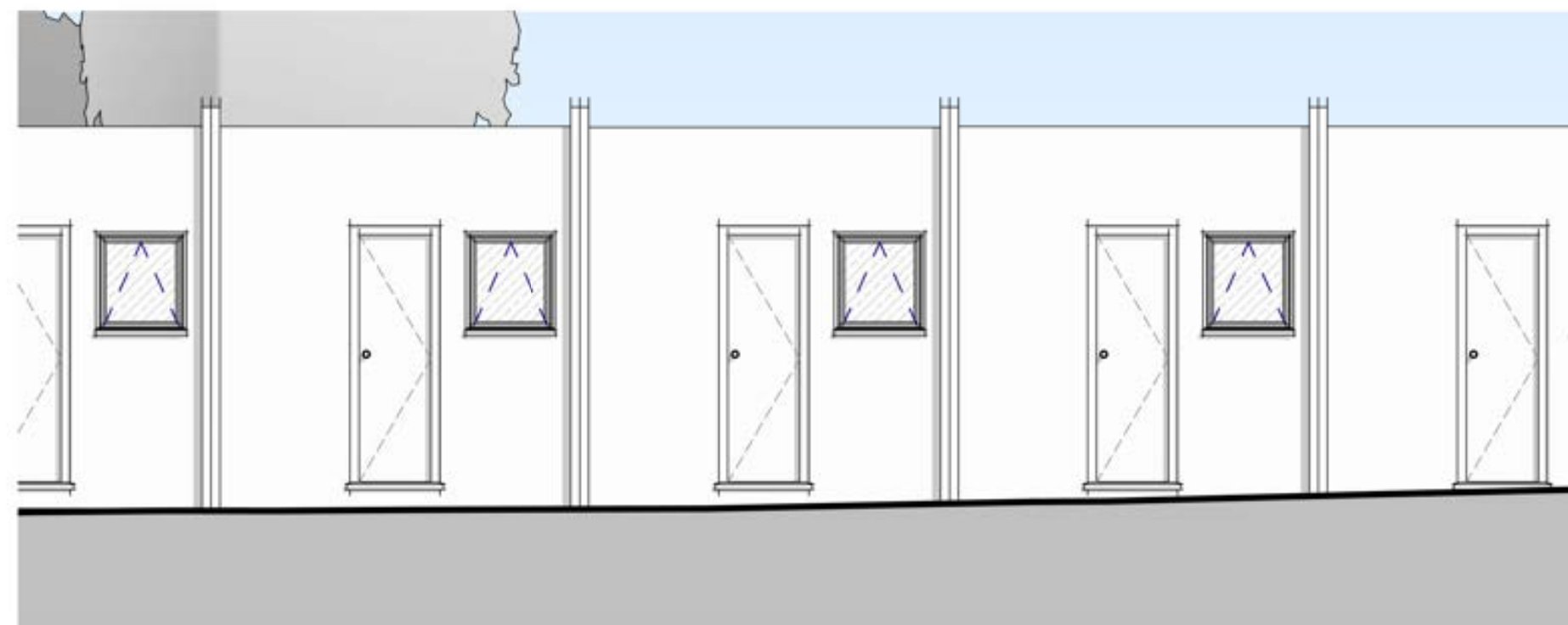
EXTERNAL MATERIALS	
Roof:	Corrugated Steel Deck Finish
External Walls:	Tanalised softwood stud walls, filled with injected polyurethane foam insulation, finished either side with plastisol steel cladding in off-white, sat in between blue steel SHS columns sat on adjustable steel legs.
External Doors:	Polyurethane insulated door with plastisol steel cladding to both sides. Colour to be blue.
External Windows:	ISS Window with integrated shutter. Colour to be white.
Rainwater Goods:	white uPVC



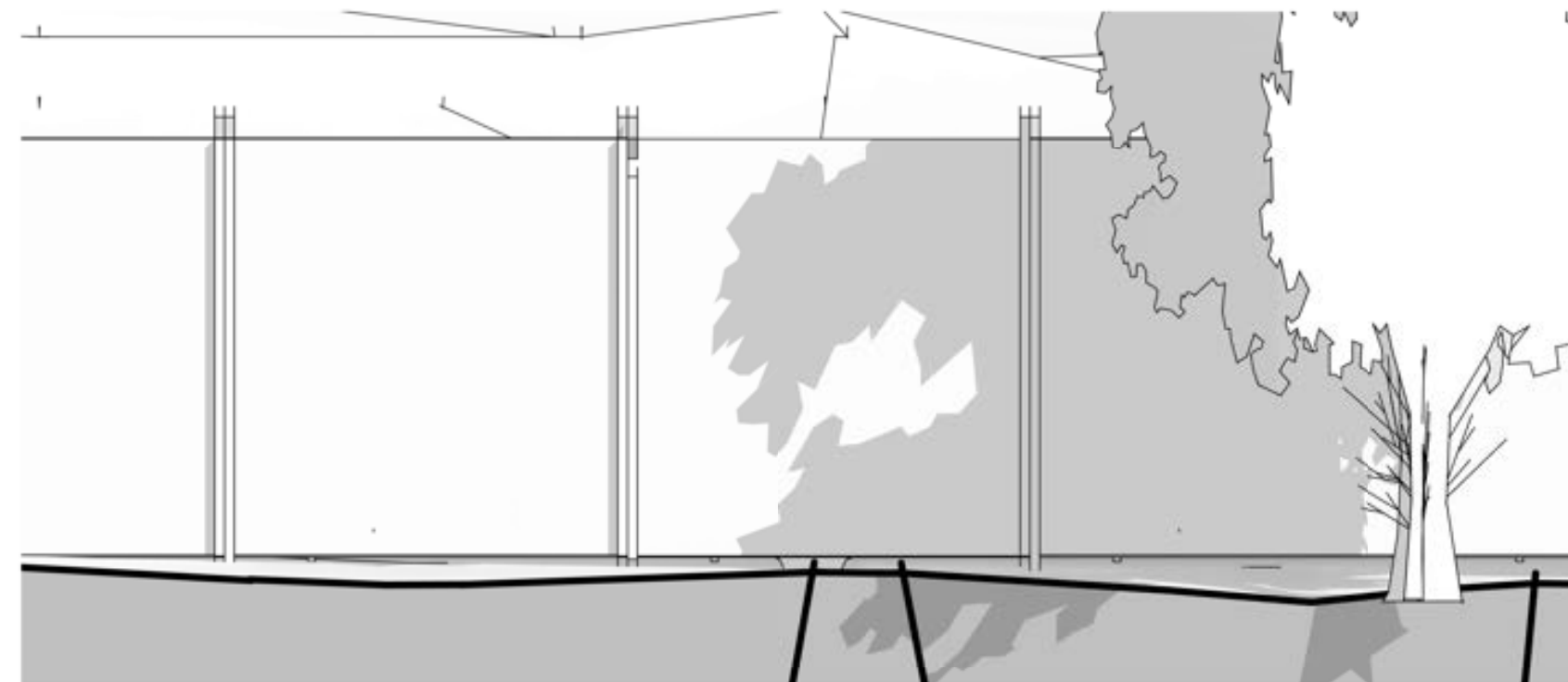
6 3D View 1



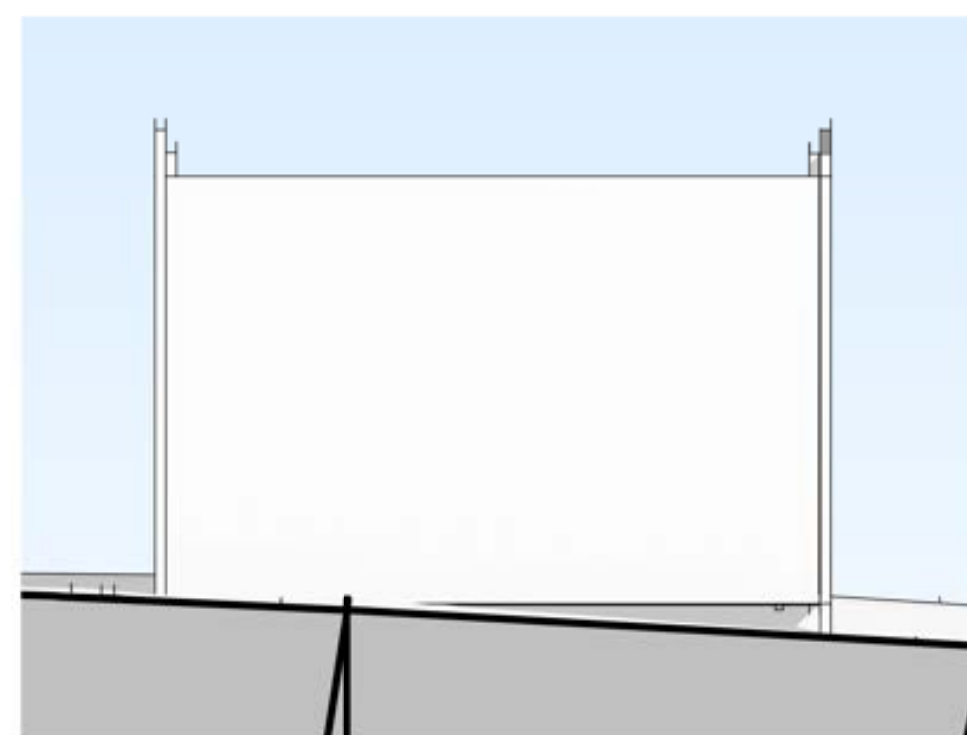
1 Proposed Floor Plan Sleeper Pods
1 : 50



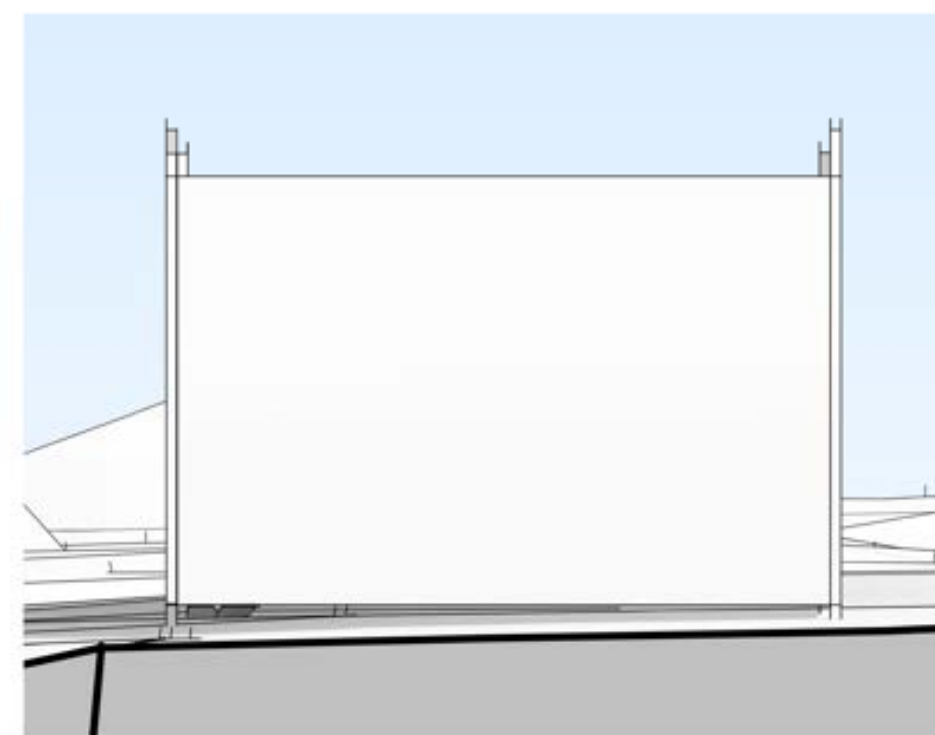
2 Proposed Front Elevation
1 : 50



3 Proposed Rear Elevation
1 : 50



4 Proposed Side Elevation
1 : 50



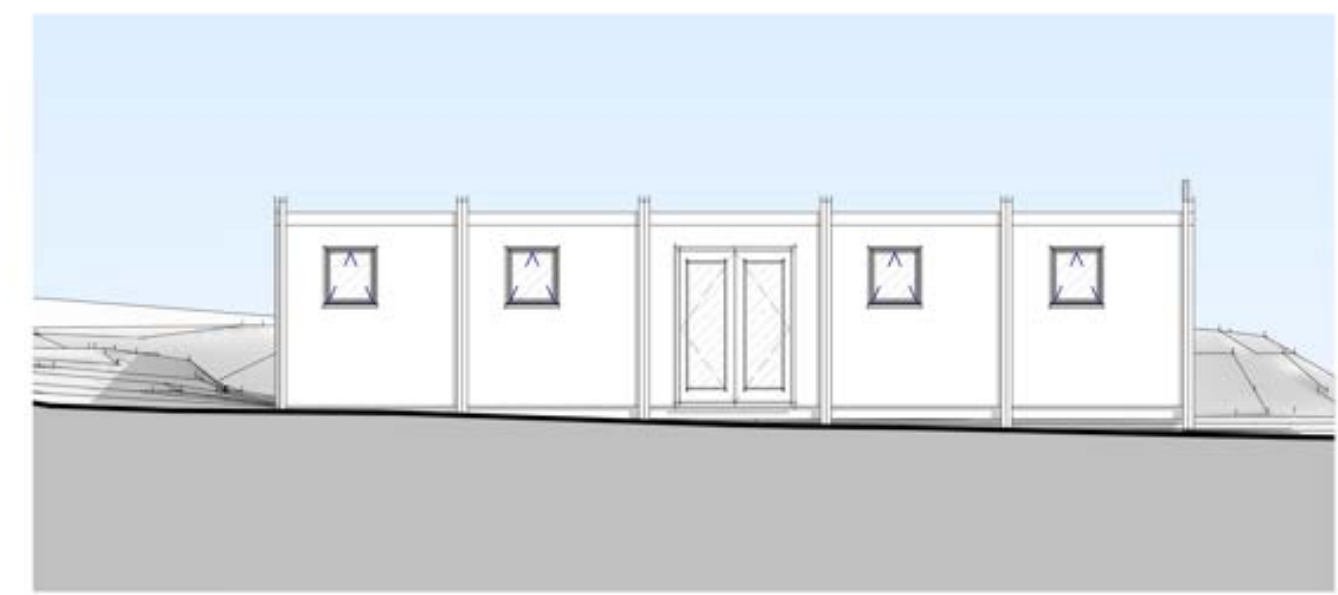
5 Proposed Side Elevation 2
1 : 50

A	P01	Date 1		
Rev	Description	Date	Issued by	
			Menai House Holyhead Road Llanfairpwll Anglesey LL61 5UJ 01248 715006 info@dewis.uk.com www.dewis.uk.com	
Syrfewyr Siartredig Adelladu Penseiri Siartredig Rheolwyr Prosiect Ymgynghorwyr Pensaernïol Ymgynghorwyr Adelladau Hanesyddol		Chartered Building Surveyors Chartered Architects Project Managers Architectural Consultants Chartered Architectural Technologists Historic Building Consultants		
Client				
HOCHTIEF (UK) CONSTRUCTION LTD.				
Project				
Temporary Accommodation Blaencfn				
Drawing				
PROPOSED FLOOR PLAN & ELEVATIONS Sleeper Pods				
File No.				
C0233 - DEW - PAR - CG - DR - A - 0004 - Blaen Cefn				
ORIGIN	DISC.	ZONE	LEVEL	TYPE
DEW	A	PAR	CG	DR
Drwg. No.	Rev.	Scale	Drawn by	
0004	A	1 : 50	RW	
Plot Date	Size	Issue Status	Approved by	
30.05.2023	A1	PLANNING	DW	

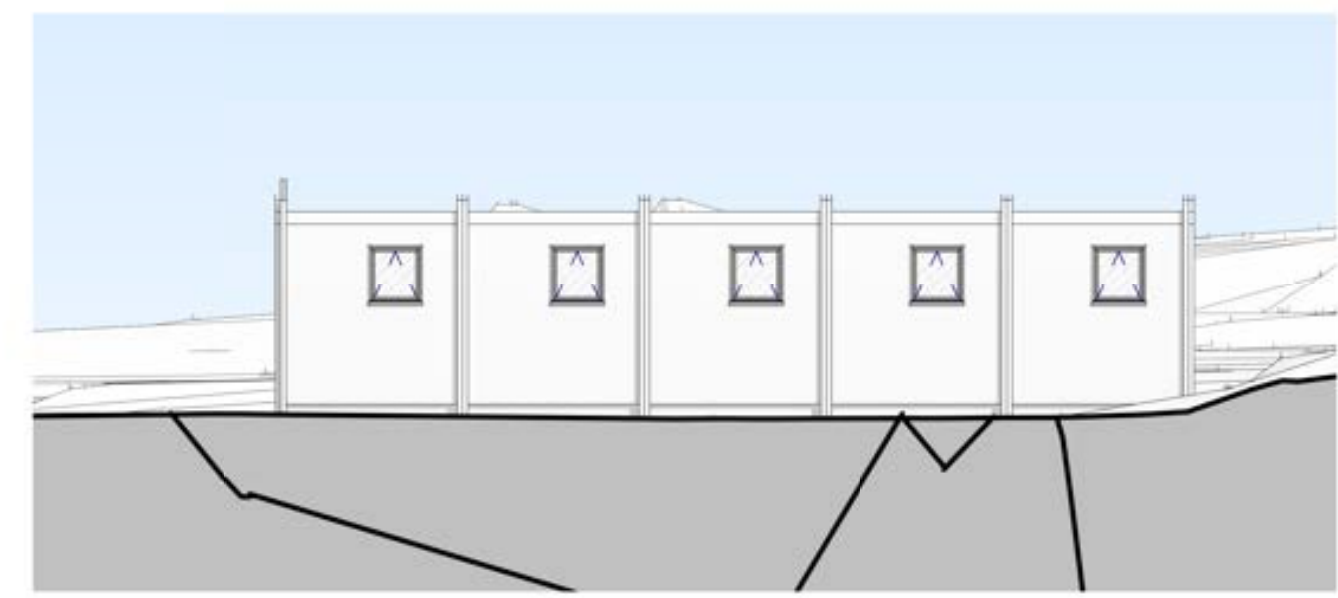
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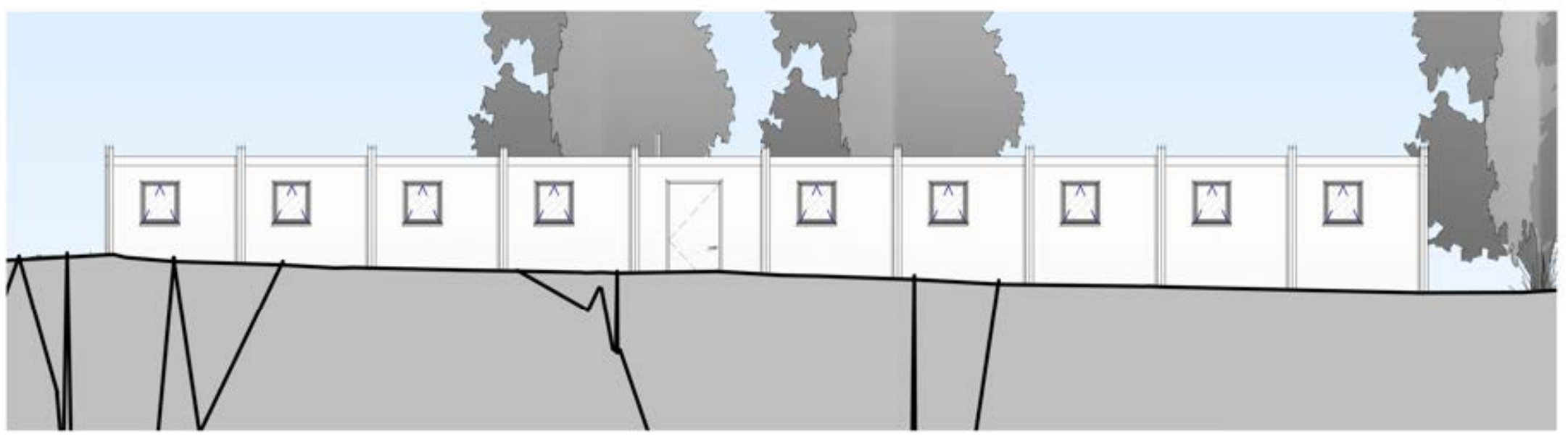
1 Proposed Floor Plan General Services Building
1 : 100



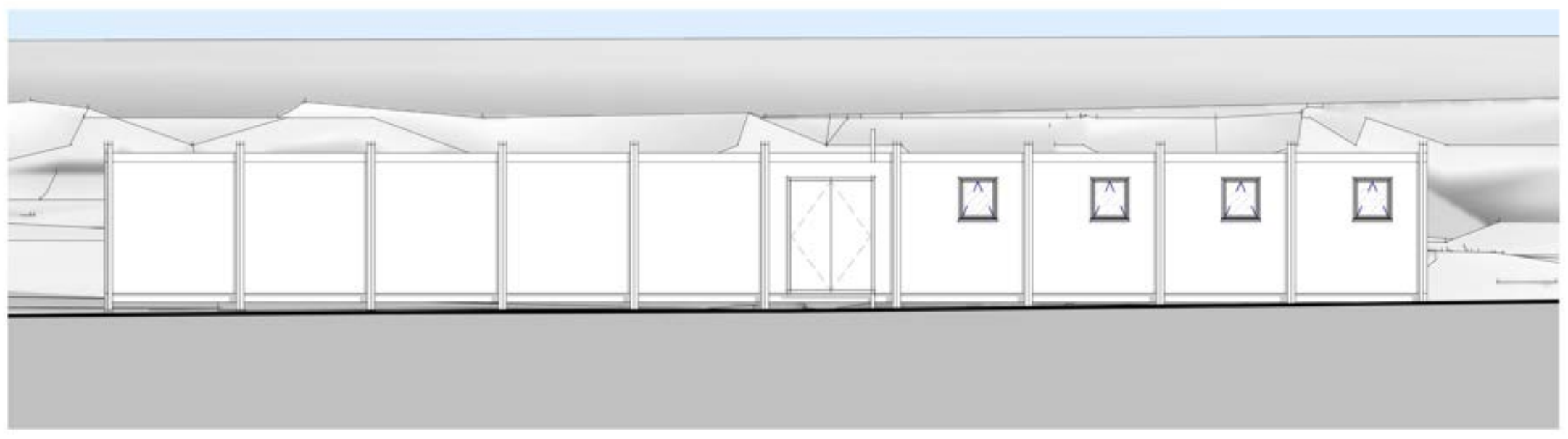
3 Proposed North East Elevation
1 : 100



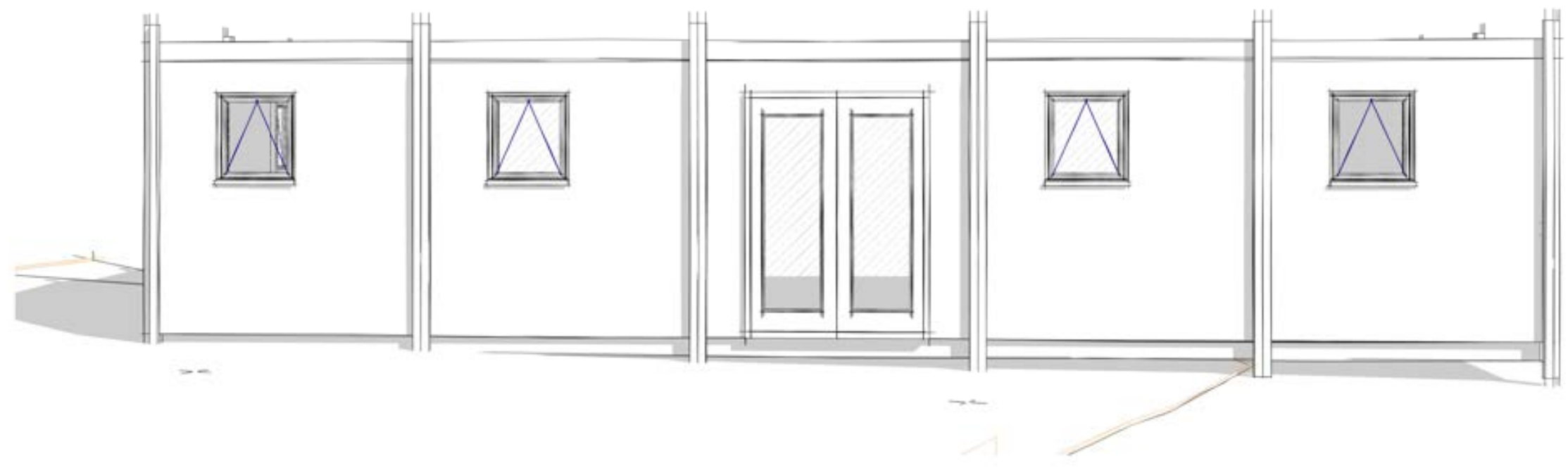
2 Proposed South West Elevation
1 : 100



4 Proposed South East Elevation
1 : 100



5 Proposed North West Elevation
1 : 100



6 3D View 2

EXTERNAL MATERIALS	
Roof:	Corrugated Steel Deck Finish
External Walls:	Tanalised softwood stud walls, filled with injected polyurethane foam insulation, finished either side with plastisol steel cladding in off-white, sat in between blue steel SHS columns sat on adjustable steel legs.
External Doors:	Polyurethane insulated door with plastisol steel cladding to both sides. Colour to be blue.
External Windows:	ISS Window with integrated shutter. Colour to be white.
Rainwater Goods:	white uPVC

Rev	Description	Date	Issued by
B	P02	Date 2	
A	P01	Date 1	

Menai House
Holyhead Road
Llanfairpwll
Anglesey
LL61 5UJ

01248 715006
info@dewis.uk.com
www.dewis.uk.com

Syrfewyr Siartredig Adelladu
Penseiri Siartredig
Rheolwyr Proiect
Ymgynghorwyr Pensaernïol
Ymgynghorwyr Adeiladau Hanesyddol

Chartered Building Surveyors
Chartered Architects
Project Managers
Architectural Consultants
Chartered Architectural Technologists
Historic Building Consultants

Client
HOCHTIEF (UK) CONSTRUCTION LTD.

Project
Temporary Accommodation Blaencfefn

Drawing
PROPOSED FLOOR PLAN & ELEVATIONS
General Services Building

File No.
C0233 - DEW - PAR - CG - DR - A - 0005
- Blaen Cefn

ORIGIN	DISC.	ZONE	LEVEL	TYPE
DEW	A	PAR	CG	DR

Drwg. No.	Rev.	Scale	Drawn by
0005	B	As indicated	RW

Plot Date	Size	Issue Status	Approved by
30.05.2023	A1	PLANNING	DW

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MEETING	Planning and Access Committee
DATE	December 6 th 2023
TITLE	AN UPDATE ON COMPLIANCE
REPORT BY	Principal Planning Officer (Compliance)
PURPOSE	To update Members in respect to Compliance

1.0 Background

- 1.1 In September 2023, Members noted a report from the Director of Planning & Land Management which concluded the removal of the regular compliance case load report from Planning & Access Committee papers and to replace this with an in-depth assessment of performance at the end of the fiscal year to be reported at a June Committee.
- 1.2 As no such report transpired in June 2023, it was proposed to take an interim paper on compliance performance to the December 2023 Committee.
- 1.3 This report will aim to brief Members on the challenges the compliance section has encountered over recent years and the current position going forward.

2.0 Pre-Covid

- 2.1 For over five years, compliance has struggled to maintain resources. This has occurred due to austerity and financial cuts, along with failures in the past to recruit for this role.
- 2.2 Originally there used to be three full time Officers. By 2019 this had reduced to only the Principal Planning Officer (Compliance) undertaking compliance work. In November 2019, this Officer was seconded to Acting Planning Manager for a two-year period, which resulted in no dedicated person to oversee compliance investigations.
- 2.3 Between November 2019 and August 2020, the Acting Planning Manager and Principal Planning/Planning Officers continued to progress compliance investigations, until a full time Planning Officer (Compliance), Alys Tatum, was appointed.

- 2.4 Although the intention was for the Acting Planning Manager to return to their Principal Planning Officer (Compliance) role after two years, further recruitment took place and a second Planning Officer (Compliance), Dafydd Thomas was recruited in September 2021.
- 2.5 During the period from 2020 through to July 2023 limited resources remained due to maternity leave and Dafydd Thomas being successfully recruited as Planning Officer, with this role commencing in November 2022.
- 2.6 In July 2023, Gavin Roberts was successfully appointed as a full time Planning Compliance Officer.

3.0 Situation from July 2023 Onwards

- 3.1 With Gavin Roberts joining and with Iona Roberts appointed as the Head of Development Management and Compliance, the compliance section is fully resourced and forms:
- Jane Jones – Principal Planning Officer (Compliance) – Full Time
 - Alys Tatum – Planning Officer (Compliance) – Three Days - Part Time
 - Gavin Roberts – Planning Officer (Compliance) – Full Time
- 3.2 Unfortunately due to sickness leave, the above team has only been operational since October 2023.
- 3.3 As one full time post is currently operating on a three-day part-time basis, the additional funds from the other two days are being used to employ planning consultants, Prospero to assist with the more complex, larger compliance cases.

4.0 Current Case Figures




- 4.1 From January 2020 to the 13th of November 2023 there are currently 115 outstanding cases. In addition, there are 17 outstanding cases which were registered prior to January 2020. These cases include Plas Nannau, Llanfachreth, Tyn y Ffridd, Llanuwchllyn and Hendre, Pentre Ddu.
- 4.2 Therefore, at the date of writing, there are a total of **132** outstanding cases. Although a sizeable back log, this has evolved from resourcing issues as mentioned earlier in the report.
- 4.3 To date, from April to the 9th of November 2023 we have received a total of **78** new cases to investigate.
- 4.4 From April to the 9th of November 2023 we have closed **44** cases.

- 4.5 In respect to retrospective planning applications, from April 2023 we have generated **7** applications, with 4 of these still under determination.
- 4.6 Finally in respect to formal action, from April 2023 we have served **3** Notices – **1** Enforcement Notice, **1** Listed Building Enforcement Notice and **1** Section 215 Notice as to land Adversely Affecting the Amenity of the Area.
- 4.7 For the purposes of this report I have refrained from providing any specific updates on current compliance investigations. Members are encouraged to contact me directly if they wish for an update on any specific case.




5.0 Welsh Government Performance Indicators

- 5.1 To measure Local Planning Authority performance in compliance, the Welsh Government have set two indicators collated on a quarterly basis.
- 5.2 The first indicator determines the number of days it takes to ‘investigate’ an alleged breach of planning control. The number of days are then averaged to provide an overall percentage figure. This indicator means the Authority has considered the alleged breach of planning control and advised the complainant of the outcome of the investigation. For example, the complainant is advised a retrospective planning application has been received or it is not expedient to pursue the breach found.
- 5.3 The second indicator determines the number of days to achieve a ‘positive outcome’. To achieve a ‘positive outcome,’ one of the following should have occurred:
- Informal negotiation removes the breach.
 - An Enforcement Notice or other Formal Notice is issued.
 - Planning permission is subsequently granted through an application or an enforcement appeal.
 - Prosecution is instigated or direct action removes the breach.

5.4 To benchmark the above indicators, the Welsh Government have provided a traffic light system. In respect to the ‘investigated’ indicator:

-  **IMPROVE – less than 70% of cases are investigated within 84 days.**
-  **FAIR – between 70% and 80% of cases are investigated within 84 days.**
-  **GOOD – 80% or more cases are investigated within 84 days.**

5.5 In respect to the ‘positive outcome’ indicator:

-  **IMPROVE – over 200 days.**
-  **FAIR – between 101 and 200 days**
-  **GOOD – under 100 days**

5.6 The following table provides Members with the outcome for quarters one and two in respect to the ‘investigated’ indicator:

Investigated	Quarter 1	Quarter 2
Number of Cases Investigated in 84 days or less	4	7
Number of cases Investigated in more than 84 days	5	6
Total number of Cases Investigated	9	13
Average time taken to Investigate Enforcement Cases	44% (120 days)	54% (121 days)

5.7 The following table provides Members with the outcome for quarters one and two in respect to the ‘positive outcomes’ indicator:

	Quarter 1	Quarter 2
Average time taken to take Positive enforcement Action	221 days	211 days

5.8 From the above, it is evident we are not meeting Welsh Government targets set and we need to improve performance.

6.0 Next Six Months and Onwards

6.1 With the Compliance Section fully resourced, it is evident from the Welsh Government performance indicators for Quarters 1 and 2 and the number of outstanding compliance cases registered on the system, improvements are required.

6.2 Work has already commenced to review our working processes. A recent change has been the allocation of specific areas of the National Park to Officers. By each Officer being responsible for compliance investigations in a specific area, they will become customised and familiarised to this area. Furthermore, on receipt of a compliance investigation, work colleagues will know where to direct this to in a timely manner. A plan denoting the allocated areas has been included with this report for Members information, so they know which Officer covers which area of the National Park.

6.3 A review of all outstanding compliance cases has commenced to ensure the correct approach is being adopted and to potentially close cases where it is not expedient to pursue it any further. Regular meetings with the Principal Officer take place to ensure there is continuity within the section. The Principal Planning Officer (Compliance) operates an 'open door' policy where colleagues can make contact at any time on Microsoft Teams and face to face at the office.

6.4 It is evident we need to start using more of the enforcement tools available to achieve positive outcomes in a timely manner. One such tool is the use of Enforcement Warning Notices. This Notice can be served by a Local Planning Authority where they consider an unauthorised development could be potentially made acceptable with control and the implementation of appropriate planning conditions. The serving of this Notice will provide an indication to the developer/offender that if an application is submitted, appropriate control could be applied to the development to make it acceptable. The use of this tool will become prevalent in the coming months.

- 6.5 The Authority's current planning computer database, APAS is due to be updated at the beginning of 2024. Due to current inadequacies within the compliance database, the system has never been heavily relied upon and its use is limited. In particular recent recruits to Development Management have not been provided with any comprehensive training on the system. This is possibly the reason our performance indicators are failing, due to insufficient information being inputted into the system.
- 6.6 With the imminent update to APAS, the Compliance section will aim to significantly improve on the use of the system. A meeting has already taken place with Flintshire County Council who already have an updated version of APAS to gain some insight and knowledge into how they utilise the system. A key factor from this meeting was the requirement for appropriate training and a request for this has been lodged with APAS.
- 6.7 In order to educate Members with the basics of planning enforcement and how the process works, it is proposed during 2024 to provide suitable training.

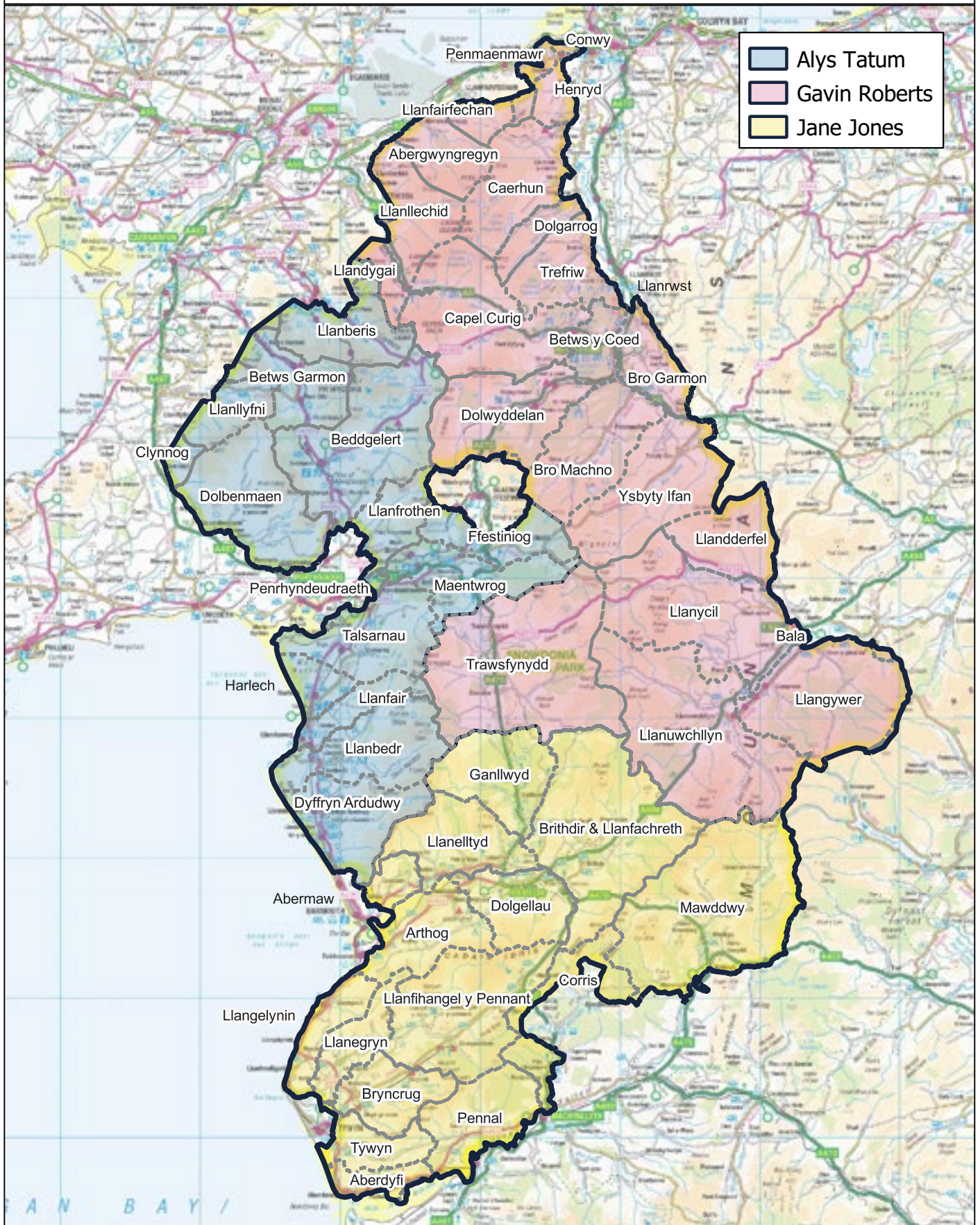
7.0 Conclusion

- 7.1 Evidently, the compliance function has suffered from insufficient resource for a significant length of time, whereby the service has continued to survive but performance has suffered as a result. Performance indicators and the outstanding number of cases still open show the need for improvement.
- 7.2 With a fully resourced compliance team, it is anticipated improvement will be made over the coming months. This will be achieved by progressing in the manner as set out above.

8.0 Recommendation

- 8.1 To note the contents of the report.

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Awdurdod Parc Cenedlaethol Eryri
Snowdonia National Park Authority

MEETING	Planning and Access Committee
DATE	December 6th 2023
TITLE	INTRODUCTION OF ARTICLE 4 DIRECTION IN RELATION TO C3 (DWELLINGS, USED AS SOLE OR MAIN RESIDENCES), C5 (DWELLINGS, USED OTHER THAN AS SOLE OR MAIN RESIDENCES) AND C6 (SHORT TERM LETS)
REPORT BY	Director of Planning and Land Management
PURPOSE	To consider whether to move forward with the work of introducing the Article Direction 4 in Eryri. Consider a draft timetable and resource implications on the planning policy team's work programme.

Introduction

1. Following the publication of planning by-laws during the Autumn 2022, there are now 3 Planning Use Classes that have been introduced, namely:
 - C3 (Dwellings, used as sole or main residences);
 - C5 (Dwellings, used besides use as sole or main residences); and
 - C6 (Short Term Lettings).
2. Before these regulatory changes, the above uses would normally have been considered under one Use Class (C3), therefore planning permission would not be required for a change from one to the other as it did not amount to 'development' as defined in planning legislation.
3. With the changes introduced by the Town and Country Planning (General Permitted Development) Order 1995 (the GPDO) in October 2022, changes between the different Use Classes are now synonymous with 'development' ('development' is what usually triggers the need for planning permission).

However, at the same time, the General Permitted Development Order was amended to allow permitted changes between the new use classes, C3, C5 and C6. This basically means that the default position in Wales is that changes between any of the 3 new Use Classes would be 'permitted development' and planning permission would still not be required.

4. These permitted development rights may be disqualified within a specific area by an Article 4 Direction made by a local planning authority on the basis of sound local evidence. The disapplication of the development rights permitted by the Article 4 Directive would then make it necessary to seek planning permission for changes between the 3 Use Classes (the disapplication could apply in one direction if deemed necessary e.g. from C3 to C6 but not the other way around - and vice versa).
5. Following the publication of the by-laws in the Autumn 2022 term, officers have set about carefully assessing the evidence together with other practical matters to ascertain whether an Article 4 Directive should and could be introduced in Eryri. The members had an extensive discussion in the Members Working Group on October 18th 2023 where these issues were discussed in great detail.

Initial research work for a paper justifying the introduction of Article 4 Directive in Eryri

6. The planning policy team has started the work of preparing an evidence paper which highlights the high and increasing level of second homes and holiday homes in Eryri which affects the accessibility of homes for local people. Staff will update the justification paper before presenting it to members of the Authority in the new year as a justification for presenting the Article 4 Directive in Eryri.

Resources

7. While it is very difficult to measure the exact implications on staffing and other resources, it would almost certainly place a significant and continuous demand on the Authority's Planning Service and other services within the Authority, particularly in the first 2-4 years. The process of introducing an Article 4 Directive requires significant staffing and financial resources, including:
 - Research work and the preparation of a solid evidence base in the form of a paper justifying the Article 4 Directive
 - Publishing a formal notice including extensive engagement.
 - A 'notice' period of 12 months, which will mean that Article 4 will not come into effect straight away.

- A significant communication and publicity campaign would be required - throughout the engagement exercise and during the early months of its implementation.
- Preparation of consultation report to consider any responses received before making the decision to confirm the Article 4 Directive or not.
- It is likely that there would be an increase in the number of planning applications and the number of applications for a Lawful Use Certificates.
- There would also be an increase in Planning Enforcement cases, with a likely increase in the number of residents, community councils and others reporting possible unauthorized use of property without the necessary permission.
- It is considered that Supplementary Planning Guidance would be needed to support officers as they make decisions on planning applications.

Implications on the policy department's work programme and the process of revising the Eryri Local Development Plan (LDP)

8. Considering current resources and the additional work stream, there are concerns regarding the staff capacity to complete the preparatory work for the introduction of Article 4 considering that the Authority has already started the process of reviewing and revising the LDP. Following the publication of the Local Development Plan Review Report back in June 2023, a timetable for revising the LDP had been drawn up with the intention of consulting on the Delivery Agreement and the Community Involvement Plan during Winter 2023. As you can see from the preparatory workload involved in submitting an Article 4 Directive it is very difficult to see any officer capacity being available in the policy team to complete the steps required for the preparation, consultation and submission of Article 4 without significantly affecting the work of reviewing the Eryri Local Development Plan. It is therefore recommended, in order to ensure that there are sufficient staffing resources for the preparatory work of introducing Article 4 Instruction in the planning area of Eryri National Park that it is necessary to delay the process of amending the Eryri Local Development Plan for the time being.
9. In the short term, it is anticipated that staffing resources will be used within the policy department for the preparatory work with input from communications officers and the administrative department and further consideration will need to be given to the implications of this. In the long term it is anticipated that dedicated planning and compliance staffing resources will be required. There will also be capital costs to finance the delivery requirements of the post, the engagement as well as other possible costs including legal costs. Gwynedd Council has secured Welsh Government funding through the Dwyfor Pilot Area - an area where different Welsh Government policies, programmes and funding are available to tackle housing issues. This funding from the Welsh Government has funded the implementation of the Article 4 Directive in the Gwynedd Local Planning Authority area only. Enquiries have been made to the Welsh Government regarding extending the funding to the National Park, but unfortunately it was confirmed that

no money was available. The Authority has also contacted Gwynedd Council for funds - and it was confirmed that funds would not be available for Eryri National Park's area at the moment. It is hoped that the discussions will continue to try to secure additional resources for the effective implementation of Article 4 in Eryri. Without this additional funding and support in the long term, it is considered that additional pressure placed on the planning service may be unsustainable, and very likely to have a knock-on effect on other parts of the service. Again, it is likely that this type of scenario would be felt by any Local Planning Authority, and it is not just an issue for Eryri.

Next steps relating to the introduction of the Article 4 Directive

10. The tables below indicate the next steps in the work of introducing the Article 4 Directive in Eryri:

Next Steps	Draft timetable
Update research for a paper justifying the introduction of the Article 4 Directive	Report to Planning Committee January or March 2024
Prepare an Equality assessment - an impact assessment on Equality Features, the Welsh language and Economic Disadvantage	
Preparation of Article 4 Public Notice	
Preparation of the Article 4 Directive	

Indicative timetable - if the Authority decides to engage on the Introduction of the Article 4 Directive:

Next Steps	Draft timetable
Public engagement	Spring 2024 for a period of 6 weeks
Prepare consultation report: Report to consider any responses received (following the engagement period) in order to make the decision to confirm the Article 4 Directive or not.	Report on the responses following the engagement. Members Working Group September 2024 Planning Committee October 2024
Implement Article 4 if the Authority decides to confirm the aforesaid.	12 / 13 months – later on in the Spring 2025

Implications on the Eryri Local Development Plan review timetable

As has already been discussed in order to ensure that there are sufficient staffing resources for the preparatory work of introducing the Article 4 Directive in the planning area of Eryri National Park it will be necessary to delay the process of reviewing / amending the Eryri Local Development Plan for the time being. See below a revised draft timetable for the preparation of the Eryri LDP.

It is anticipated that the Delivery Agreement will be reported to the Planning Committee in March 2025 before consultation on the content during Spring 2025.

Definitive Steps ¹

			Consultation Period
1	Delivery Agreement	Draft to Committee: March 2025 Authority approval June 2025 Submit to Welsh Government for approval July 2025 Delivery Agreement agreed and published by the end of July 2025 Work on the revised plan formally begins August 2025	Consultation on the draft Delivery Agreement and the Community Involvement Plan (CIP) April 2025 – May 2025
2	Participation pre-deposit	August 2025 – January 2027	Public Call for Candidate Sites: this will be held for at least six weeks during October 2025
3	Pre-Deposit Consultation		Public consultation on the Pre-Deposit Plan (Preferred Strategy) October 2026 – November 2026
4	Deposit Consultation	February 2027 – January 2028	July – August 2027 (perhaps June – July to avoid summer holidays)

Indicative Steps ²

5	Submission	February 2028	
6	Examination	11 months after the submission process	
7	Inspector's Report	January 2029	
8	Adoption	Within 8 weeks of receipt Report February 2029	
9	Monitoring and Review	Continuous	Annual Monitoring Reports to be submitted in October each year and the Plan Review no later than 4 years from the date of adoption

Recommendation:

1. Support 'in principle' the need to proceed with the preparatory work of introducing the Article 4 Directive in Eryri National Park.

2. Considering the staffing resources needed to undertake preparatory work to effectively introduce the Article 4 Directive, agree to delay the process of reviewing the Eryri Local Development Plan for the time being.

3. Continue the discussions with the Welsh Government and Gwynedd Council to seek additional planning resources in the long term in order to implement Article 4 effectively in Eryri.



PLANNING AND ACCESS COMMITTEE
06 DECEMBER 2023

SECTION 106 AGREEMENTS

**SNOWDONIA NATIONAL PARK AUTHORITY
PLANNING AND ACCESS COMMITTEE, 18 OCTOBER 2023**

SECTION 106 AGREEMENTS

Rhif	Application No.	Date application was received	Location	Development	Present Position
1.	NP4/11/337D	23/07/2022	Hendre Farm, Betws y Coed, LL24 0BN	Construction of new affordable dwelling and installation of associated foul water disposal	All relevant information received from the applicant. S106 draft sent to applicant.
2.	NP4/31/112B	17/03/2023	Gwern Hywel Uchaf, Ysbyty Ifan. LL24 0PD	Demolition of outbuilding and erection of rural enterprise dwelling, creation of new access and associated works	With applicant for consideration.
3.	NP5/55/L140E	03/06/2021	Capel Bethlehem, Brynchrug. LL36 9PW	Change of use of chapel to form one 1 bedroomed and one 5 bedroomed dwelling	Draft sent to applicant.
4.	NP5/57/1174	27/10/2021	Land adjoining Penmaen Ucha, Penmaenpool. LL40 1YD	Construction of rural enterprise dwelling, garage, new driveway and vehicle access.	Instructions sent to legal department 26/10/2023
5.	NP5/58/636B	05/06/2023	Cae Wat (Land adjacent to Swn-y-Mor), Ffordd Glan Mor, Talybont. LL43 2AR	Erection of two detached affordable dwellings for local need (1 bungalow and 1 two storey dwelling)	Instructions sent to legal department 18/08/2023.
6.	NP5/59/511M	03/03/2023	Land to rear of Penrhiw, Llan Ffestiniog. LL41 4PS	Variation of Condition No.2 of Planning Consent NP5/59/511F dated 11/06/2019 for amended site layout and to remove garage on Plot 15, garage space to be substituted on Plots 5 & 16 to be domestic floor area to create forth bedroom, and internal alterations to alter units from being all 3 bedrooms to a mix of 2, 3 and 4 bed units	Legal preparing a draft agreement.

7.	NP5/61/654	22/03/2023	Land adjoining Pen yr Hwylfa, Harlech.	Erection of 20 (twenty) affordable dwellings, formation of new access on to the A496, and associated development	Legal preparing a draft agreement
8.	NP5/65/L302D	25/08/2020	Wern y Pistyll, Bontddu. LL40 2UP	Conversion and extension of barn to dwelling including installation of septic tank, retrospective consent for access track to building and engineering works to create hardstanding / parking area around the building, temporary siting of static caravan and construction of compensatory bat roost.	Awaiting solicitor details from the applicant. Reminder sent 11.01.2023
9.	NP5/75/68B	15/09/2021	Land opposite Maesteg, Pennal. SY20 9DL	Erection of five affordable dwellings together with associated access, parking and landscaping	With Legal drafting agreement

Number of applications on committee list 18 October 2023 = 10

**APPLICATIONS SUBJECT TO A SECTION 106 AGREEMENT AND WHICH HAVE BEEN COMPLETED SINCE
PLANNING & ACCESS COMMITTEE
18 OCTOBER 2023**

Application No.	Location	Development
NP5/72/25H	Gwern-y-Genau, Arenig, Bala.	Conversion of outdoor pursuits centre into dwelling

**APPLICATIONS SUBJECT TO A SECTION 106 AGREEMENT WHICH HAVE BEEN REFUSED, WITHDRAWN, OR
DISPOSED, OR WHERE AN AGREEMENT IS NO LONGER NECESSARY SINCE PLANNING & ACCESS
COMMITTEE 18 OCTOBER 2023**

Application No.	Location	Development
NP4/11/10T	Plots 4 & 5, Parc Trawsafon, Betws y Coed.	Removal of Section 52 Agreement dated 25/03/1982 in relation to planning application NP4/11/10B



PLANNING AND ACCESS COMMITTEE

06 DECEMBER 2023

**OUTSTANDING APPLICATIONS
WHERE MORE THAN 13 WEEKS HAVE
ELAPSED**

SNOWDONIA NATIONAL PARK AUTHORITY

PLANNING AND ACCESS COMMITTEE 06 DECEMBER 2023 OUTSTANDING APPLICATIONS WHERE MORE THAN 13 WEEKS HAVE ELAPSED

In Discussion with Agent / Applicant

NP5/54/459A	03/05/23	Cefn Ceunant Isaf Forest, Brithdir.	Hydro-electric scheme (34kw) including construction of power house, intake weir and 3 girder bridges.
NP5/55/46G	12/07/23	Geufron Farm, Brynchrug, LL36 9RW	Conversion of barn and stable to short-term holiday let accommodation.
NP5/69/56M	20/06/23	Sunbeach Holiday Park, Llwyngwrl, LL37 2QQ	Redevelopment of the site comprising of improvements to the south eastern element of Sunbeach Holiday Park to provide (a) a new main site entrance with internal access road; (b) 24 static holiday caravans/lodges with landscaping; (c) 12 static holiday caravans/lodges in lieu of a residential dwellinghouse; and (d) 3 static holiday caravans in lieu of the old site shop.
NP5/74/478B	14/07/23	Land at Coed Cae Farm, Llanymawddwy. SY20 9AQ	Installation of a 7.5m tower extension to the existing installation and relocation of 2 no. antennas and 2 no. dishes to the top of the extension (approved under application NP5/74/478A). Installation of 4 no. new antennas and 4 no. ground-based equipment cabinets. Installation of remote radio units, mast head amplifiers, GPS nodes and associated ancillary works.
NP5/78/91B	04/01/22	Wern Gron, Trawsfynydd. LL41 4UN	Conversion and change of use of barn to form an affordable dwelling and a short term holiday letting unit including installation of septic tank and associated works.

Awaiting Amended Plans

NP5/69/L113P	07/11/22	Llanfendigaid, Rhoslefain. LL36 9LS	Conversion of laundry and workshop to form 2 holiday units and installation of rooflights on front and rear roof.
NP5/73/424A	28/09/20	Cilderi, Tan y Bwlch. Maentwrog. LL41 3YU	Erection of double garage, retrospective application for extension to curtilage, retention of stone terracing and engineering works.

Awaiting Ecology Information

NP5/62/402B	10/07/23	Shell Island, Llanbedr. LL45 2PJ	Erection of a implement shed and installation of a 7,500 litre underground rainwater storage tank.
NP5/68/235	03/11/22	Land adjoining Garreg Frech, Llanfrothen. LL48 6BZ	Erection of 8 dwellings and formation of new vehicular and pedestrian access
NP5/77/347	18/01/23	Land near Ty Mawr, Talsarnau. LL47 6UF	Construction of affordable dwelling, formation of curtilage, extend access track, and alterations to existing vehicular access

Awaiting Details from Agent / Applicant

NP5/54/464	26/07/23	Land at Moel Hafodwen, Coed y Brenin Forest, Llanfachreth.	Installation of a new 40m high lattice telecommunication tower incorporating 9 no. new antennas and 3 no. new dishes, the installation of ground based equipment cabinets including a foul weather enclosure and associated ancillary apparatus including remote radio heads, mast head amplifiers and GPS nodes, the installation of an 8m x 12m compound enclosed by 1.8m high mesh fencing, and the installation of a bird box and bug box to be installed on the compound fence
NP5/57/205J	06/06/23	Former Fron Olau Hotel, Tabor, Dolgellau. LL40 2PS	Conversion of former hotel into six residential units (C3) consisting of 3 open market dwellings and 3 affordable dwellings together with retention of alterations to the external appearance of the building.
NP5/58/629	29/01/20	Land between Plas Meini & Swyn y Mor, Dyffryn Ardudwy. LL42 2BH	Outline permission for the erection of 2 open market and 2 affordable dwellings. integral garages and formation of new vehicular access on to the A496.
NP5/58/363H	04/10/22	Nant Eos, Dyffryn Ardudwy. LL44 2HX	Conversion to Open Market Dwelling unit and installation of sewage treatment plant (Repeat application),
NP5/59/511M	03/03/23	Land to rear of Penrhiw, Llan Ffestiniog. LL41 4PS	Variation of Condition No.2 of Planning Consent NP5/59/511G dated 24/01/2019 for amended site layout and to remove garage on Plot 15, garage space to be substituted on Plots 5 & 16 to be domestic floor area to create forth bedroom, and internal alterations to alter units from being all 3 bedrooms to a mix of 2, 3 and 4 bed units.
NP5/61/T558D	19/04/21	Former Tabernacl Chapel, High Street, Harlech. LL46 2YB	Conversion of former car showroom & basement car parts shop to convenience store on ground and basement, creation of 2 flats on first floor (Open market) together with the removal of existing unauthorised UPVC windows and replace with timber slimline double-glazed windows.
NP5/61/580M	10/11/22	Land to rear of Nant-y-Mynydd, Hwylfa'r Nant, Harlech.	Erection of an affordable detached dormer bungalow
NP5/62/T143B	05/10/22	Tanws Wern Gron, Llanbedr. LL45 2PH	Restore, extend and convert old mill into dwelling, formation of curtilage, and installation of underground septic tank
NP5/70/171	16/01/23	Land at Maes Afallen, Rhosygwaliau, LL23 7EY	Siting of 2 holiday pods and installation of package treatment plant,
NP5/73/287P	06/02/23	Decommissioning Site, Trawsfynydd. LL41 4DT	Part retention / part completion of replacement sewage treatment plant, together with associated works,

Re-Consultation

NP4/13/258	20/06/23	Land at Coed Bryn Engan, Capel Curig. LL24 0EL	Installation of a 35m communications mast with EAS and SRN antennas, ground-based apparatus and ancillary development.
NP4/31/116B	24/07/23	Pant Glas, Ysbyty Ifan, LL24 0PG	Erection of cattle a shed and slurry pit and installation of underground 5000ltr water tank
NP5/53/490B	14/08/23	1 Trem y Ffridd, Bala. LL23 7DG	Construction of two storey rear extension and 1.8m high boundary fence
NP5/70/166	25/02/22	Ysgubor Esgeiriau, Rhosygwaliau. LL23 7ET	Conversion and change of use of redundant farm building, access track and installation of package treatment plant for use as short term holiday accommodation as part of farm diversification project,
NP5/71/21L	01/08/23	Land at Dolhendre Isa, Llanuwchllyn. LL23 7TD	Construction of a agricultural worker's dwelling and installation of a septic tank

Awaiting Ecological Comments

NP5/54/468A	04/08/23	Coed y Wenallt Forest, Rhydymain.	Construction of a new highway access for forestry operations from the A494(T) comprising a 60m long, up to 4.6m wide, lay-by parallel to the A494 with a lockable vehicle access gate at each end and a separation island between the A494(T) and the new lay-by. Construction of a temporary 80m long vehicle access (diverge) taper extending South West from the lay-by adjacent the A494(T), and a temporary 30m long vehicle exit (merge) taper extending North East from the lay-by adjacent the A494(T). Construction of 120m length of forest road, between 4.0m and 13.0m wide, extending to the South West and North East from the west side of the layby to connect with forest tracks and to provide access to timber stacking areas. Construction of a 240m loop of 3.4m wide forest access track connecting to each end of the forest road. Installation of a total of 325m length of up to 3m high temporary rockfall protection barrier (catch fencing) parallel to the A494.
NP5/70/83E	23/12/22	Ffynnon Gower, Llangower. LL23 7DA	Construction of a agricultural shed,

Awaiting HRA Appropriate Assessment

NP3/12/126C	20/09/22	Bron Fedw Uchaf, Rhyd Ddu. LL54 7YS	Conversion and change of use of rural outbuildings to 3 holiday letting units, erection of bat barn, alterations to existing vehicular access and associated works.
NP4/12/214C	20/02/23	Llyn Dulyn Reservoir, Tal-y-Bont.	Works in association with proposed pipe replacement including new culvert head and scour discharge area, reinforced concrete wall, siting of 10ft shipping container and temporary construction compound, rock mesh and laydown area,
NP4/12/235	20/02/23	Land near Rowlyn Uchaf, Tal-y-Bont. LL32 8SH	Temporary construction and laydown area in association with engineering works at Llyn Cwm Dulyn,
NP4/26/80J	11/08/23	Plas-yn-Rhos, Rhydlanfair, Betws-y-Coed. LL24 0SS	Amended design to Planning Consent NP4/26/80A in relation to conversion of farm buildings to holiday accommodation granted on appeal under reference A/1/91 dated 27/09/2021.
NP5/53/598C	16/05/23	Land near Ffynnon Beuno, Bala.	Outline application with all details reserved for construction of a single dwelling (Re-submission following refusal of planning application NP5/53/598B)
NP5/57/205J	06/06/23	Former Fron Olau Hotel, Tabor, Dolgellau. LL40 2PS	Conversion of former hotel into six residential units (C3) consisting of 3 open market dwellings and 3 affordable dwellings together with retention of alterations to the external appearance of the building.
NP5/65/367A	22/03/22	Dolfawr, Llanelltyd. LL40 2HD	Construction of single storey building for use as commercial cattery.
NP5/69/113N	07/11/22	Llanfendigaid, Rhoslefain. LL36 9LS	Change of use of old mill into office and storage space
NP5/70/71E	12/04/23	Felindre, Llanuwchllyn. LL23 7DD	Engineering works for construction of new manège, and extension to existing agricultural building to accommodate associated items.
NP5/71/L296A	25/05/23	1 Coed y Lon, Llanuwchllyn, LL23 7ST	Construction of two storey side extension.
NP5/71/4954	14/02/23	Land near Cefn Yr Odyn, Llanuwchllyn.	Construction of a detached two storey dwelling

NP5/72/218F	22/03/23	Ty'n Cornel Holiday Park, Fronoch. LL23 7NU	Part change of use for the restructured layout of 23 existing touring caravan and camping pitches.
NP5/78/578	08/08/23	Land near B4391, Trawsfynydd.	Installation of a new 35m high lattice telecommunications mast supporting 9 no. new antennas, 3 no. new dishes, ground based equipment cabinets including a foul weather enclosure and associated ancillary apparatus including remote radio heads, mast head amplifiers and GPS nodes within a compound enclosed by 1.8m high mesh fencing.

Considering Additional Information from Applicant

NP4/29/524	31/07/23	Land at Iwerddon, Penmachno. LL24 0PS	Installation of a 30m high lattice communications mast, antennas, ground based apparatus and ancillary development
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S106 being considered by applicant

NP4/31/112B	17/03/23	Gwern Hywel Uchaf, Ysbyty Ifan. LL24 0PD	Demolition of outbuilding and erection of rural enterprise dwelling, creation of new access and associated works
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Total applications on list = 42

Total applications on list Committee 18 October 2023 = 46



PLANNING AND ACCESS COMMITTEE
06 DECEMBER 2023

DELEGATED DECISIONS

SNOWDONIA NATIONAL PARK AUTHORITY

PLANNING AND ACCESS COMMITTEE 06 DECEMBER 2023

DELEGATED DECISIONS

Applications Approved

	Application No.	Proposed	Location	Decision Date	Case Officer
1.	NP3/21/T78	Use of semi-derelict outbuilding to house biomass store and boiler.	Old Barn, Ty'n-y-Maes, Nant Ffrancon, Bethesda. LL57 3LX	12/10/23	Mr Richard Thomas
2.	NP4/11/39Z	Erection of single storey rear extensions and alterations including installation of two kitchen extractor chimneys, retaining walls, metal stairs and gantry and installation of new window	Royal Oak Hotel, Holyhead Road, Betws-y-Coed. LL24 0AY	19/10/23	Mr Richard Thomas
3.	NP4/11/T339D	Installation of roof mounted solar panels	Y Felin, Betws-y-Coed. LL24 0BB	19/10/23	Mr Richard Thomas
4.	NP4/13/260	Construction of replacement porch to front of dwelling and installation of rooflight on rear roof elevation	1 Tanrallt, Capel Curig. LL24 0EB	05/10/23	Mr Richard Thomas
5.	NP4/23/46F	Construction of a agricultural building	Cae Haidd, Gwylt Road, Llanfairfechan, LL33 0EE	12/10/23	Mr Richard Thomas
6.	NP4/23/51B	Siting of three additional pods for short term holiday accommodation	Ty'n Rhedyn Isaf, Valley Road, Llanfairfechan. LL33 0ER	13/10/23	Mr Richard Thomas
7.	NP4/29/500D	Non-material amendment to Planning Consent NP4/29/500 dated 21/10/2020 to amend finished colour from RAL 6013 (Reed Green) to RAL 6009 (Fir Green)	Land at Moel Llechwedd Hafod, Cwm Penmachno.	05/10/23	Mr Richard Thomas
8.	NP4/30/70E	Erection of single storey rear extension, erection of two storey detached garage and home office, and widening of vehicular access bridge	Clovelly, Glan y Coed Park, Dwygfyfychi. LL34 6TL	19/10/23	Mr Richard Thomas

9.	NP4/32/95D	Non-material amendment to plans previously approved under Planning Consent NP4/32/95C dated 29/08/2018 to include pitched roof open porch to front elevation, insertion of flue to rear roof pitch and change window frame colours from green to pale grey	Gelli Lydan, Gelli Studio, Crafnant Road, Trefriw, LL27 0JZ	05/10/23	Mr Richard Thomas
10.	NP5/52/276A	Installation of 8 ground mounted PV solar panels (5.28 kWp)	Ty Coch, Arthog. LL39 1AX	06/10/23	Mrs. Iona Roberts
11.	NP5/54/T370A	Side and rear extension	Rhyd Onnen, Rhydmain. LL40 2BL	29/09/23	Mr. Dafydd Thomas
12.	NP5/55/11N	Extension to existing barn conversion and extension of domestic curtilage (Revised design)	Cynfal Farm, Brynchrug. LL36 9RB	07/11/23	Mr David Jones
13.	NP5/55/46H	Installation of flue to rear roof slope of holiday cottage known as "The Cowshed"	Geufron Farm, Brynchrug, LL36 9RW	02/11/23	Mr David Jones
14.	NP5/55/8E	Change of use of holiday let to form part of dwelling and retrospective application to retain dormers windows to south west elevation and retain render to north west elevation	Pen-y-Sarn, Brynchrug. LL36 9LF	26/10/23	Mr David Jones
15.	NP5/57/1182	Construction of a two storey extension	43 Maesbrith, Dolgellau. LL40 1LF	26/10/23	Mr David Jones
16.	NP5/57/129B	Demolish existing conservatory and erection of extension	Gardden, Maes Caled, Dolgellau, LL40 1UE	19/10/23	Mr David Jones
17.	NP5/57/LB389D	Listed Building Consent to overlay a new engineered solid timber floor in existing kitchen and dining area	Lion Cottage, Lion Street, Dolgellau. LL40 1DG	12/10/23	Mr. Mathew Crook
18.	NP5/58/T247C	Change of use from a vacant retail area within part of the ground floor (A3) to residential use.	Llwyn, Dyffryn Ardudwy, LL44 2EL	27/10/23	Mr Aled Lloyd
19.	NP5/59/177S	Erection of extension to security hut and erection of post enclosure building	Ffestiniog Power Station, Tanygrisiau. LL41 3TP	31/10/23	Mr Aled Lloyd
20.	NP5/61/335E	Change of use of part of ground floor from retail (A3) to retail and domestic use	Gwalia, High Street, Harlech. LL46 2YB	23/10/23	Mr Aled Lloyd
21.	NP5/61/505C	Discharge Condition Nos. 2 (roofing slate) and 3 (light transmittance) attached to Reserved Matters Consent NP5/61/PIAW505B(I) dated 25/05/2023	Land at Morfa Newydd, Ffordd Glan Mor, Harlech. LL46 2UG	27/10/23	Mr Aled Lloyd

22.	NP5/61/657B	Vary Condition No.2 (Approved plans) attached to Planning Consent NP5/61/657A dated 01/08/2023 for changes to parking bay and installation of solar panels on south facing roof of approved two storey extension	Aelfor, Ffordd Isaf, Harlech. LL46 2PR	09/11/23	Mr Aled Lloyd
23.	NP5/61/663	Replace existing window on front elevation with bi-folding door	Sibrwd Y Mor, Beach Road, Harlech. LL46 2UG	18/10/23	Mr Aled Lloyd
24.	NP5/61/664	Erection of 2 single storey extensions (1 to front and 1 to side)	22 Ty Canol, Harlech. LL46 2NZ	26/10/23	Mr Aled Lloyd
25.	NP5/61/665	Installation of 1 new dormer window to front roof elevation, installation of 1 new rooflight to front roof elevation and 1 new rooflight to rear roof elevation, enlarge existing rooflight on rear roof elevation, and insertion of a new gable window to north elevation	Bryn Siriol, Old Llanfair Road, Harlech. LL46 2SS	26/10/23	Mr Aled Lloyd
26.	NP5/61/ADT2J	Advertisement Consent for the retention of externally illuminated signs	Llew Glas, 1-4 Plas Y Goits, High Street, Harlech. LL46 2YA	12/10/23	Mr Aled Lloyd
27.	NP5/66/101G	Removal of Section 106 dated 04/12/2007 which restricts the use and occupation of the dwelling to a person employed or who was last employed in a regular trade, business or profession at a location within a radius of thirty miles	Abendruhe The Garden Flat, Pensarn Hall, Llanbedr. LL45 2HS	10/10/23	Mr Aled Lloyd
28.	NP5/67/16G	Construction of agricultural shed over existing manure storage	Ty'n y Bryn, Llanfihangel Y Pennant. LL36 9TN	02/11/23	Mr David Jones
29.	NP5/69/16L	Discharge Condition No.5 (materials to be used in the construction of the external walls of the dwelling and garage) attached to Planning Permission NP5/69/16G dated 08/02/2023.	Dysynni Eggs, Llanegryn. LL36 9NH	06/10/23	Mrs. Iona Roberts
30.	NP5/69/50M	Replacement decking, glass balustrade and steps	Yr Olaf, Llwyngwriol. LL37 2QJ	26/10/23	Mr David Jones
31.	NP5/69/LUL243C	Use of the building and the curtilage for two short term holiday units falling within use class C6 'short-term lets'	Galeri Llwyngwriol, Llwyngwriol. LL37 2JQ	30/10/23	Mrs. Iona Roberts

32.	NP5/70/LB16F	Listed Building Consent for the construction of an extension to provide a ground floor bedroom with en-suite, removal of the existing internal 20th Century staircase and the installation of one conservation rooflight	Old Ty'n-y-Wern, Rhosygwaliau. LL23 7ER	06/11/23	Mr. Mathew Crook
33.	NP5/72/24A	Demolition of an existing substandard dwelling and the construction of a replacement dwelling	Garth Nodol, Llidiardau, LL23 7SG	31/10/23	Mr. Dafydd Thomas
34.	NP5/72/25H	Conversion of outdoor pursuits centre into dwelling	Gwern-y-Genau, Arenig, Bala. LL23 7PB	10/10/23	Mr. Dafydd Thomas
35.	NP5/73/287S	Repair, improvement and extension of laydown area	Decommissioning Site, Trawsfynydd. LL41 4DT	09/10/23	Mr Aled Lloyd
36.	NP5/74/181A	Conversion of barn to residential (use class C3) and installation of septic tank	Barn at Bryn Cleifion Hall, Mallwyd, SY20 9HW	25/10/23	Mrs. Iona Roberts
37.	NP5/74/474B	Non material amendment to Planning Consent NP5/74/474A dated 31/05/2003 for the installation of 3 no. new antennas and 3 no. new equipment cabinets instead of the 6 no. antennas and 5 no. equipment cabinets previously approved.	Land at Pen-Rhiwgul, adjacent to the A458, Mallwyd.	26/10/23	Mr. Dafydd Thomas
38.	NP5/74/505	Construction of agricultural building along with roof over manure store and extension to manure store	Bryn Uchaf, Llanymawddwy. SY20 9AH	26/10/23	Mrs. Alys Tatum
39.	NP5/77/115J	Construction of single storey kitchen/dining room extension to side/rear of cottage	Cynefin, Llandecwyn, LL47 6YR	31/10/23	Mr. Dafydd Thomas
40.	NP5/77/LB230C	Discharge Condition Nos. 7 (Method statement for re-roofing works), 8 (Sample of new roof slates or ridge tiles) & 11 (Details of rainwater goods) attached to Listed Building Consent NP5/77/LB230B dated 05/06/2023	Glyn Cywarch, Talsarnau, LL47 6TE	12/10/23	Mr. Mathew Crook
41.	NP5/77/LB65C	Discharge Condition Nos. 3 (Photographic survey), 4 (Samples/specifications of rainwater goods), 7 (Number and location of roofing felt lap vents), 9 (Details of the proposed log shed) & 10 (Japanese Knotweed eradication scheme) attached to Listed Building Consent NP5/77/LB65B dated 19/07/2023	Capel Soar, Soar. LL47 6UT	13/10/23	Mr. Mathew Crook
42.	NP5/78/482B	Erection of steel framed shed for agricultural storage purposes	Y Goppa, Trawsfynydd. LL41 4TN	30/10/23	Mr. Dafydd Thomas

43.	NP5/78/568A	Construction of new timber decking to rear and side of property	Cabin 351, Trawsfynydd Holiday Village, Bronaber. LL41 4YB	17/10/23	Mr. Dafydd Thomas
44.	NP5/78/572	Installation of 30m high lattice tower supporting 9 no. antennas, 6 no. transmission dishes, 6 no. equipment cabinets, 1 no. meter cabinet, together the siting of a generator and associated fuel tank, formation of a hardstanding area, construction of a gabion wall, and formation of a fenced compound	Land at Mynydd Bach, Trawsfynydd. LL41 4TR	05/10/23	Mr Richard Thomas

Applications Refused

	App No.	Proposed	Location	Reason for Refusal	Case Officer
1.	NP2/16/451B	Construction of a single two storey affordable, local occupancy dwelling, formation of new vehicular access and associated landscaping	Land adjacent to Pen-y-Bryn, Penmorfa. LL49 9SB	05/10/23 By reason of the applicant showing no ability or are unwilling to enter into a Section 106 Agreement of the Town and Country Planning Act (1990) this application is in conflict with the Eryri Local Development Plan (2016 – 2031) policies SP C, SP G and DP 30 and with Supplementary Planning Guidance 4 and 5.	Mr Richard Thomas
2.	NP2/16/464A	Prior notification under Schedule 2, Part 24 of The Town & Country Planning (General Permitted Development) Order 1995 for the installation of a 15m lattice tower supporting 6 no. antennas, 2 no. transmission dishes, 2 no. equipment cabinets, 1 no. meter cabinet and ancillary development thereto including a generator and associated fuel tank, a hardstanding area within a compound formed with gabion walls	Land at Isallt Fawr, Golan, Garndolbenmaen . LL51 9AQ	10/11/23 Prior Approval is in conflict with Eryri Local Development Plan policies SPA, SPD, SPFf, DP1, DP2, DP6, DP8 and DP26, Supplementary Planning Guidance 7, 13 and 15 and Technical Advice Note 19.	Mr Richard Thomas
3.	NP5/53/580G	Non material amendments to Planning Consent NP5/53/580 dated 25/05/2021	Llyn Tegid, Bala.	26/10/23In the opinion of the Snowdonia National Park Authority the amendments proposed are considered to be 'material' amendments in nature as they will result in a material form of change to the original planning permission. As such the changes proposed cannot be deemed a 'non-material' change and will require the benefit of a new planning permission.	Mr. Dafydd Thomas



Appeal Decision

by I Stevens BA (Hons) MCD MBA MRTPI

an Inspector appointed by the Welsh Ministers

Decision date: 14/11/2023

Appeal reference: CAS-02636-G8F7M7

Site address: Tal y Mignedd Uchaf, B4418 from Nantlle to PROW Llanllyfni No. 127, Nantlle, LL54 6BT

- The appeal is made under section 78 of the Town and Country Planning Act 1990 against a refusal to grant planning permission.
 - The appeal is made by Mr Iolo Povey against the decision of Snowdonia National Park Authority.
 - The application Ref NP3/22/14D, dated 9 November 2021, was refused by notice dated 4 January 2023.
 - The development proposed is conversion of existing outbuilding into holiday accommodation & utility for Tal y Mignedd Uchaf.
 - A site visit was made on 4 October 2023.
-

Decision

1. The appeal is allowed and planning permission is granted for conversion of existing outbuilding into holiday accommodation & utility for Tal y Mignedd Uchaf at Tal y Mignedd Uchaf, B4418 from Nantlle to PROW Llanllyfni No. 127, Nantlle, LL54 6BT, in accordance with the terms of the application, Ref NP3/22/14D, dated 9 November 2021, subject to the conditions set out in the schedule to this decision letter.

Procedural Matters

2. Part of the outbuilding that is the subject of this appeal would be converted into a utility room for occupants of Tal y Mignedd Uchaf. The Authority has not objected to this element of the proposal. I shall therefore confine my decision to the proposed holiday accommodation unit, which would occupy most of the building's floorspace.
3. On 18 October 2023, the Welsh Government published an update to Chapter 6 of Planning Policy Wales (PPW), which covers green infrastructure, net benefit for biodiversity, the protection afforded to Sites of Special Scientific Interest and trees and woodlands. The changes to PPW have been taken into account but in this case, they do not raise any new matters that have any significant bearing on the decision.

Main Issues

4. The main issues are:

- The effect of the proposal on the character and appearance of the surrounding area, having particular regard to its location in the National Park; and
- Whether the proposed conversion of the building is appropriate having regard to the local rural restraint strategy.

Reasons

Character and appearance

5. The appeal site comprises an outbuilding and adjoining garage. The structure is adjacent to Tal y Mignedd Uchaf, a detached dwelling, and agricultural buildings. These buildings are in an isolated location at the end of a driveway which climbs up the hillside, some distance from the nearest highway. A public right of way crosses through the yard area in front of the appeal site. The surrounding sloping landscape, largely devoid of built form, provides a pleasant backdrop to the appeal site and contributes positively to the special qualities of the National Park. The landscape and scenic beauty of the National Park are afforded the highest status of protection from inappropriate developments in PPW.
6. As part of the proposed conversion to self-catering holiday accommodation, roof lights would be installed on the rear elevation, with a new high-level window on one side and an additional window on the front elevation. The Authority takes no issue with these elements and having visited the site, I see no reason to disagree with them.
7. It is also proposed to replace the three upper-level windows on the front elevation with three dormer windows, and the addition of a balcony to one side of the outbuilding, to be accessed from a first-floor bedroom. Although the dormers would alter the eaves line, they would be set in from both sides of the building, spaced apart and well below the ridge line. The dormers would also be flush with the external wall, with the pitched roof features forming small and subservient additions within the roof slope. The proposed balcony would use an existing first-floor door opening. The basic box-like addition would not be overly long or deep in its protrusion. It would be a contemporary addition, but modest in scale and complementing the reuse of a redundant building.
8. Views of the proposal would be localised. In close-range views from the public right of way, the proposed dormers and balcony addition would not result in significant alterations that harmfully domesticate the building. These alterations would retain the simple form and appearance of the outbuilding in the rural landscape, where the immediate context is set by the traditional appearance of the host dwelling and nearby agricultural buildings.
9. I conclude that the sensitive reuse of the outbuilding would conserve and enhance the special qualities and purposes of the National Park. The proposal would not harm the character or appearance of the surrounding area, thereby satisfying Development Policies 1 and 6 of the Eryri Local Development Plan (LDP), adopted in February 2019. The proposal would also satisfy the design-related criteria of Development Policy 9 in the LDP.

Local rural restraint strategy

10. In planning policy terms, the appeal site lies outside of the housing development boundaries of any settlement and is in the open countryside, based on the Eryri LDP spatial development strategy. In such locations, the LDP recognises that the re-use of rural buildings can offer a means of successfully preserving those buildings. Development Policy 9 sets out that the conversion or change of use of redundant rural buildings outside any housing development boundary will be permitted for several uses, including short term self-catering accommodation as part of a rural enterprise scheme. Any qualifying proposal would then be subject to several criteria listed within the policy.

Regarding these criteria, the Authority raises no concerns with the suitability of the building for conversion. I have seen no evidence or suggestion that it is not of permanent or substantial construction, and no extensions or significant rebuilding works are proposed. The proposal would utilise existing access arrangements. I have already concluded that the proposal would satisfy the design criteria within this policy.

11. The supporting text justification for Development Policy 9 advises that conversions for holiday accommodation on farms can contribute to the local rural economy and may reduce pressure on other houses in the area for holiday use, based on guidance in Technical Advice Note (TAN) 6: Planning for Sustainable Rural Communities (July 2010). However, TAN 6 does not limit holiday conversions to buildings associated with farms only. There are separate sections in the guidance providing advice on farm diversification projects. In any case, it is not a prerequisite for rural conversions to holiday accommodation to be on farms only. Furthermore, PPW recognises that in rural areas, tourism-related development is an essential element in providing for a healthy and diverse economy, and that planning authorities should adopt a positive approach to the conversion of rural buildings for business re-use, as echoed in LDP Strategic Policy C.
12. The appellant has confirmed that Tal y Mignedd Uchaf is private property and not a working farm. I have not seen any evidence that that the appeal site forms part of an existing or proposed rural enterprise scheme as defined in TAN 6. Neither is the proposal part of a farm diversification scheme. I recognise this results in conflict with one criterion of Development Policy 9. Nevertheless, the Authority have provided no explanation as to the policy approach, or of any harm arising from this technical shortcoming.
13. For reasons already explained, I have identified no other harm when the proposal is assessed against policies in the LDP, and there is no conflict with guidance in TAN 6. Thus, despite the minor technical breach, I consider that the scheme complies with the development plan as a whole. In reaching this conclusion, I am mindful that the supporting policy text to Development Policy 9 recognises the reuse of rural buildings should be for the benefit of the residents and local economy of the National Park. Indeed, the proposal would provide some benefit, albeit small, through its contribution to the demand for holiday accommodation in the area and support for local businesses. The proposal would also satisfy the spatial development strategy as set out in Strategic Policy C of the LDP. As such, when taken as a whole, the proposal would comply with the local rural restraint strategy.

Other Matter

14. The appellant refers to the time taken to determine the planning application and alleges unreasonable behaviour from the Authority in dealing with the application. However, such matters fall outside the scope of this appeal decision, and I have confined my consideration to the planning merits of the proposal.

Conditions

15. I have considered the conditions recommended by the Authority in the light of advice in Welsh Government Circular 016/2014 'The Use of Planning Conditions for Development Management' ('the Circular'). I have included the Authority's suggested conditions, with some alterations, and omitted the surface water run-off condition as the issue is dealt with under separate legislation. I have included the Circular drainage condition, having considered comments from the Environmental Health Officer. Finally, given that few details of proposed external finishes and colours have been provided, a condition is included to agree such details with the Authority.

Conclusion

16. For the reasons given above, and having regard to all other matters raised, I conclude that the appeal should be allowed.
17. In reaching my decision, I have taken into account the requirements of sections 3 and 5 of the Well-Being of Future Generations (Wales) Act 2015. I consider that this decision is in accordance with the Act's sustainable development principle through its contribution towards one or more of the Welsh Ministers' well-being objectives.

I Stevens

INSPECTOR

SCHEDULE OF CONDITIONS

- 1) The development shall begin not later than five years from the date of this decision.
Reason: To Comply with Section 91 of the Town and Country Planning Act 1990.
- 2) The development shall be carried out in accordance with the following approved plans:
RG.006: Location Plan
RG.006: Proposed Elevations
RG.006: Proposed Plans
Reason: To ensure the development is carried out in accordance with the approved plans and drawings submitted with the application.
- 3) Other than the room annotated 'Utility for Tal y Mignedd Uchaf' on the Proposed Plans drawing which shall be used ancillary to the dwelling known as Tal y Mignedd Uchaf, the remained of the holiday accommodation unit hereby approved shall not be occupied other than in strict accordance with the Town and Country Planning (Use Classes) (Amendment) (Wales) Order 2022, Use Class C6: Short Term Lets, i.e., short-term commercial letting of no longer than 31 days for each period of occupation, and for no other purpose within Use Class C. An up-to-date register of the names of all occupiers, including their main home addresses shall be maintained and the information made available upon request for inspection by the local planning authority.
Reason: To ensure that the dwellinghouse is only used for short term commercial letting of no longer than 31 days for each period of occupation, in accordance with Strategic Policies A, C and G and Development Policy 9 of the Eryri Local Development Plan 2016-2031.
- 4) The applicant/developer shall ensure that the mitigation measures and recommendations (including biodiversity enhancement measures) as contained in the Proposed Building Conservation Bat Survey report (Cambrian Ecology Ltd, dated 15 August 2022) are followed and implemented in full.
Reason: To ensure a satisfactory standard of development, minimise the risk of unacceptable harm or disturbance to protected species and secure biodiversity enhancement measures, in accordance with Future Wales Policy 9, Planning Policy Wales (Edition 11, 2021 and Chapter 6 update, October 2023) and Strategic Policy D of the Eryri Local Development Plan 2016-2031.
- 5) No development shall commence until details of a scheme for the disposal of foul water has been submitted to and agreed in writing by the local planning authority. The scheme shall be implemented in accordance with the approved details prior to the use of the development and retained in perpetuity.
Reason: In the interests of environmental and public health, in accordance with Development Policy 1 of the Eryri Local Development Plan 2016-2031.
- 6) Prior to commencement of the development hereby approved details of the colour and finishes to be used in the external surfaces of the building shall be submitted to and approved in writing by the local planning authority. Development shall be carried out in accordance with the approved details.
Reason: To ensure the development is in keeping with its surroundings, in accordance with Development Policies 1, 6 and 9 of the Eryri Local Development Plan 2016-2031.