

NOTICE OF MEETING



Snowdonia National Park Authority

Emyr Williams

Chief Executive

Snowdonia National Park Authority

Penrhyndeudraeth

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Meeting: Planning & Access Committee

Date: Wednesday 24th January 2024

Time: 10.00 a.m.

Location: The Oakeley Room, Plas Tan
y Bwlch, Maentwrog and Via
Zoom

Members are asked to join the meeting 15 minutes before the designated start time

Members appointed by Gwynedd Council

*Councillor: Elwyn Edwards, Annwen Hughes, Louise Hughes
June Jones, Vacancy, Edgar Wyn Owen, Elfed Powell Roberts,
John Pughe Roberts, Meryl Roberts;*

Members appointed by Conwy County Borough Council

Councillor: Ifor Glyn Lloyd, Jo Nuttall, Dilwyn Owain Roberts;

Members appointed by The Welsh Government

*Mr. Brian Angell, Ms. Tracey Evans, Mrs. Sarah Hattle,
Mr. Tim Jones, Ms. Naomi Luhde – Thompson, Ms. Delyth Lloyd.*

****This Agenda is also available in Welsh***

A G E N D A

Page No's

1. **Apologies for absence and Chairman's Announcements**
To receive any apologies for absence and Chairman's announcements.
2. **Declaration of Interest**
To receive any declaration of interest by any members or officers in respect of any item of business.
3. **Minutes** **3 - 10**
The Chairman shall propose that the minutes of the meeting of this Committee held on the 6th December 2023 be signed as a true record (copy herewith) and to receive matters arising, for information.
4. **Reports by the Director of Planning and Land Management** **11 - 69**
To submit the reports by the Director of Planning and Land Management on applications received. (Copy herewith)
5. **Update Reports** **70 - 77**
To submit update reports, for information. (Copies herewith)
6. **Delegated Decisions** **78 - 87**
To submit the list of applications which have been determined in accordance with delegated authority, for information. (Copy herewith)

**SNOWDONIA NATIONAL PARK PLANNING AND ACCESS COMMITTEE
WEDNESDAY 6th DECEMBER 2023**

Councillor Elwyn Edwards (Gwynedd) (Chair)

PRESENT:

Members appointed by Gwynedd Council

Councillors Annwen Hughes, June Jones, Louise Hughes, Edgar Wyn Owen, Elfed Powell Roberts, John Pughe Roberts, Meryl Roberts;

Members appointed by Conwy County Borough Council

Councillors Jo Nuttall, Dilwyn Owain Roberts;

Members appointed by the Welsh Government

Brian Angell, Tracey Evans, Tim Jones, Delyth Lloyd.

Officers

Iwan Jones, Jonathan Cawley, Iona Roberts, Aled Lloyd, Richard Thomas, Jane Jones, Alys Tatum, Gavin Roberts, Anwen Gaffey.

Apologies

Councillors Kim Jones, Ifor Glyn Lloyd; Sarah Hattle, Naomi Luhde-Thompson. Eiliw Owen, Head of Planning Policy.

The Director of Corporate Services stated that the meeting was being web-broadcast and would also be made available online at a later date.

1. Chairman's Announcements

- 1) The Chairman, on behalf of Members, conveyed best wishes to Councillor Kim Jones who had stepped down as a member of the Authority and the Chair thanked her for her work.
- 2) The Chairman expressed his commiserations with Councillor Ifor Glyn Lloyd following a recent fire at his premises.

2. Declaration of Interest

Councillor Jo Nuttall declared both a personal and prejudicial interest in item 4.1 on the Agenda, under paragraphs 10 (2) (c) (i) and 12 (1) of the Code of Conduct for Members and left the meeting whilst the matter was being discussed.

3. Minutes

The minutes of the Planning and Access Committee meeting held on 18th October 2023 were accepted and the Chair signed them as a true record.

4. Reports by the Director of Planning and Land Management

Submitted – Reports by the Director of Planning and Land Management on planning applications and compliance matters.

Please see the Schedule of Planning Decisions attached.

5. **An Update on Compliance**

Submitted – A report by the Principal Planning Officer (Compliance) to provide Members with an update.

Reported – The Principal Planning Officer (Compliance) presented the report which informed Members of the challenges faced by the compliance section over recent years and the current position going forward. Members were reassured that officers would be happy to assist them with individual cases.

The Principal Planning Officer (Compliance) took the opportunity to introduce Gavin Roberts to the Committee and confirmed that the service currently has 3 members of staff (representing 2.6 full-time equivalent) with funding from the remaining 0.4 being used to buy-in the service externally. Now that the service was adequately staffed, officers will be able to address the backlog and establish procedures to improve performance to meet Welsh Government targets.

RESOLVED to note the interim report and await the annual assessment of performance which will be presented in June 2024.

6. **Introduction of Article 4 Direction in relation to C3 (Dwellings, used as sole or main residences), C5 (Dwellings, used other than as sole or main residences) and C6 (Short-term lets)**

Submitted – A report by the Director of Planning and Land Management to consider whether to move forward with the work of introducing the Article 4 Direction in Eryri. Also, to consider a draft timetable and resource implications on the planning policy team's work programme.

Reported – The Director of Planning and Land Management presented the report which Members considered in detail. He presented the indicative timetable for the introduction of the Article 4 Directive and advised that in addition there was a risk that a general election could have an effect on the consultation timetable. With regard to the delay to the review of the Eryri Local Development Plan, the Director of Planning and Land Management advised that if the Policy Officers were able, they would continue with some of the ELDP review work whilst progressing the Article 4 Direction.

Arising thereon, a Member noted that work on the Article 4 Direction now will help the ELDP review in the future.

RESOLVED

- 1. to support 'in principle' the need to proceed with the preparatory work of introducing the Article 4 Directive in Eryri National Park.**
- 2. taking into consideration the staffing resources needed to undertake preparatory work to effectively introduce the Article 4 Directive, to agree to delay the process of reviewing the Eryri Local Development Plan for the time being.**
- 3. to continue the discussions with the Welsh Government and Gwynedd Council to seek additional planning resources in the long term in order to implement Article 4 effectively in Eryri.**

7. **Update Reports**

Submitted – Update reports by the Director of Planning and Land Management on planning applications and compliance matters.

Please see the Schedule of Planning Decisions attached.

8. **Delegated Decisions**
Submitted and Received – List of applications determined in accordance with delegated authority.
RESOLVED to note the report.
9. **Planning Appeal**
Submitted and Received – copy of the following appeal decision:-
Appeal by Mr. Iolo Povey against the Authority's decision to refuse planning permission for the conversion of existing outbuilding into holiday accommodation and utility for Tal y Mignedd Uchaf, Nantlle. LL54 6BT. (Appeal allowed)
RESOLVED to note the appeal decision and to ask the Director of Planning and Land management to write to the Inspector for clarification on the conclusion.

The meeting ended at 12.20

SCHEDULE OF PLANNING DECISIONS – 6th DECEMBER 2023

Item No.

4. Report by the Director of Planning and Land Management

(1) NP2/11/52L – Installation of 15m monopole telecoms mast with associated antennas, ground-based apparatus and ancillary infrastructure, Pen y Pass Car Park, Nant Gwynant. LL55 4NU

Reported – Case Officer presented the report and planning considerations and advised that the mast was for emergency service use only. He confirmed that as the equipment building had been reduced to one in number, he would amend condition 5 by removing the 1st two bullet points to create stand-alone conditions and would also amend the condition to a pre-operational condition rather than a pre-commencement condition. The Case Officer confirmed that he was awaiting a new plan which would also form part of the application.

Public Speaking

Mr. Norman Gillan, addressed the Planning and Access Committee on behalf of the applicant and asked Members to consider the following:-

- Mr. Gillan thanked the Committee for allowing him to speak today and stated that he was a member of the Royal Town Planning Institute and was EE's planning lead on the new emergency services communications network rollout across the UK.
- The planning application in front of the committee was at a very well-known location and an important asset for the Park, for Wales and for the UK. Furthermore, it was in a very sensitive area, especially in landscape terms. It was also a very busy area where emergency services need to communicate with each other.
- It takes the form of a simple pole and antennas and associated ground-based apparatus. It will provide a 4G radio signal for the emergency services - the police, the ambulance service, the fire service and will also be available to mountain rescue teams. Their current communications network was provided by Airwave, a simple voice-only network which was now outdated in the new technological landscape – and this network will be turned off soon. The Home Office needs the emergency services to move to a data-based network which would then allow a step-change in both communications and working practices, as every vehicle and device becomes, in-effect, a mobile office or control room.
- The case officer's report was comprehensive in its dealing with the application and so, in terms of planning policy assessment, there was nothing to add that was not already covered by the report.
- He would however like to stress that the design and appearance of the proposed apparatus has been taken forward in discussion with the Park (who also have an interest in the land) to make sure that the visual impacts are minimised and that the operation of the land, as a car park and Visitor Centre, is not prejudiced by the development. In effect the mast will look like a taller telegraph, or power pole. It is located either in, or adjacent to, existing development. Its specific location on the summit of Pen y Pass allows coverage on both side of the summit along the A4086 - other physical locations would not allow this extensive coverage.
- As Members will have also read background papers, studies on the landscape and visual impacts and also ecological studies - the landscape study demonstrated that the proposed development can be accommodated with only minor impacts - moderate at worst and these being only in localised views. As the site location lies outside the designated environmental sites, there will be no impacts on those designations.

- The ability of the emergency services to communicate with each other anywhere is of vital importance. In this case it is arguably more so due to the incidents which happen in and around the very easily accessible mountain environment of Yr Wyddfa. The public benefit of this was hopefully non-controversial and easily understood.
- It is therefore hoped that the Committee members agree that any impacts which have been identified are more than balanced by the benefits to the emergency services and, by extension, the communities they serve. This could hopefully allow the application to be approved today.

RESOLVED to authorise the Director of Planning and Land Management to approve the application subject to appropriate conditions as outlined, and subject to the receipt of an acceptable new plan.

- (2) NP4/19/62A – Retrospective application for the erection of a building for mixed use agricultural and keeping of horses, land near Tyrau Duon, Sychnant, Conwy. LL32 8BZ

Reported – Case Officer presented the report and background in detail.

Public Speaking

Tanya McCormack, the applicant, addressed the Planning and Access Committee and asked Members to consider the following:-

- Tanya McCormack was the applicant and was born and raised in Llanfihangel Glyn Myfyr. She bought this parcel of land in 2018 and was currently living in Ruthin but moving to Llysfaen in January.
- The application was for a mixed-use equestrian and agricultural barn, which replaces the existing barn on the land, which was destroyed in storm Arwen in November 2021.
- The barn was at the bottom of the hill close to the mature willow and hazel trees that grow there. It occupies the same site as the previous barn and was not on the skyline.
- It was bounded by a line of trees to the west which run the whole length of the property. To the south the land is bounded by a hedge that runs alongside Sychnant Pass road.
- The applicant will be adding some tree planting to the south to add height and to further screen the building. This will be mixed native species, predominantly birch with willow, alder and sweet chestnut.
- A raised mound with planting to the north will provide screening for 6 metres, for biodiversity and provide a windbreak. This will be of silver birch to echo the silver birch growing on Mynydd y Dref.
- Above the barn the applicant has planted a hedge to the east along the fence line of the orchard in 2019/20. This is on the slope above the barn and comprises of hazel, crab apple and elder.
- The access to the field is at the top of the hill. There is a pull in off Sychnant Pass road and space for a car and trailer to drive in safely off the road before opening the gate. The applicant will be keeping this historic access. This is a B road with a 40mph speed limit.
- The barn is a traditional timber framed structure, made with locally grown and milled larch with oak pegs and was for breeding use.

RESOLVED to **grant** permission in accordance with the recommendation.

- (3) NP5/54/585 – Installation of 50m high lattice tower supporting 6 antennas, 4 transmission dishes, and installation of 2 ground-based equipment cabinets, 1 meter cabinet, and ancillary development including the siting of a generator and associated fuel tank, formation of a hardstanding area, formation of new access track, and construction of a 1.1m high fenced compound, Land at Tŷ Newydd-y-Mynydd, Rhydymain.

Reported – Case Officer advised that the applicants have requested the application be deferred.

RESOLVED to **defer** consideration at the applicant's request until the next Planning and Access Committee on the 24th January 2024.

- (4) NP5/58/LB459A – Conversion, extension and change of use of outbuildings to create 4 new open market dwellings, together with formation of new access lane, new boundary walls and associated landscaping, Taltreuddyn Fawr, Dyffryn Ardudwy. LL44 2RQ

Reported – Case Officer presented the report and background and reported upon a correction to the report with regard to the number of bedrooms proposed. Dyffryn Ardudwy and Talybont Community Council objections were reported.

Public Speaking

Charles Mador, the architect, planning agent, developer and owner of the site, addressed the Planning and Access Committee and asked Members to consider the following:-

- The applicant stated that the Case Officer had provided a good report and there was not much he wanted to add to it.
- He advised that he was the architect and also the owner of the buildings. He first saw them about 4 years ago and thought they were beautiful and that he could rescue them from collapse as a last project before retiring. They were unused for decades and had been on the market for years. By way of background, he had carried out a very similar development in Arthog which was completed about 10 years ago. He purchased a range of listed agricultural buildings which were in a ruined condition determined to save them from collapse. He designed the scheme, obtained planning consent, funded the redevelopment and sold the units. There are seven homes there now and the beautiful agricultural buildings have a secure future which was greatly satisfying.
- Similar to Arthog he had approached the Authority with a detailed scheme including the key details through 2 formal pre-apps. He agreed the scheme in detail with the Conservation Architect and the Planning Officer and only when he had received confirmation, in writing, that the scheme was completely acceptable and that the number of key detail items were agreed, did he proceed to purchase the site.
- The applicant addressed the commuted sum payments as this was the main issue. One of the key points in the pre-app was the commuted sum payments because it was always very tight financially. The Conservation Architect had agreed, in writing, because of the community benefit in saving these buildings should the cost of restoring and converting be too high, the commuted sums would be waived. Eventually a full feasibility study was requested by the Authority. The applicant employed a firm of quantity surveyors to carry out this study, which was accepted, and the commuted sum payment was waived.
- The applicant acknowledged how important the commuted sums were to the community, but in this case the cost of carrying out the works was high with a substantial deficit which could not support these payments and the applicant was grateful for the decision to waive them.

- If planning permission had been granted when the applicant first completed at the pre-app stage, he expected the project would be finished by now but instead he was still seeking planning consent.
- Since that time the situation has got worse with Brexit and Covid resulting in increase in construction costs. In addition to inflation the project had suffered from the turnover of Conservation Architects within the department with each new officer imposing additional costs on the project and had largely ignored what was agreed at the pre-app stage. This was expensive for the applicant and detrimental to the project.
- Obtaining planning consent and waiving the commuted sum payments would be a significant step along the way to saving these buildings.

RESOLVED subject to amending condition 17 and to restrict approval to Use Class C3, to **grant** permission in accordance with the recommendation.

- (5) NP5/76/323R – Change of use of land for the creation of a temporary off-site living accommodation facility up until December 2025 and alterations to existing vehicular access off the A487, associated with the Eryri Visual Impact Provision project, creation of a temporary internal access road together with associated works, land at Blaen Cefn, Penrhyndeudraeth. LL48 6NA

Reported – Case Officer presented the report and background.

Public Speaking

Sioned Edwards, the Agent, addressed the Planning and Access Committee and asked Members to consider the following:-

- The Agent thanked the Committee for the opportunity to comment on this application on land near Blaen Cefn in Penrhyndeudraeth. The application had been submitted by Hochtief (UK) Construction Ltd who have been appointed as specialist contractors by the National Grid to design and build the tunnel under the Dwyryd estuary as part of the Eryri Visual Impact Provision (VIP) project. The intention of the project was to reduce the visual impact of grid lines that run across the Dwyryd estuary from Minffordd to Llandecwyn. It will be achieved by removing part of the overhead lines and burying electric cables in an underground tunnel.
- The application in front of Members related to the provision of temporary accommodation for up to 100 Hochtief employees for a temporary period until December 2025.
- In order to provide suitable and sufficient accommodation for the employees throughout the year without affecting the availability of accommodation for tourists, and to ensure accommodation for specialist employees at short notice, Hochtief intends to provide temporary accommodation with supporting facilities on the site near Blaen Cefn.
- Extensive research has been carried out before choosing this site including the Cookes sites in Penrhyndeudraeth and a site near Ffordd Penamser, Porthmadog but these were ruled out as a result of flood risk.
- The workers in the temporary accommodation will be specialists who will need to live away from home for a period of time to work on the tunnel. They will use the accommodation around their work shifts and will move on and off the site in a minibus running as a 'shuttle bus'.
- There will be changes to the existing vehicular access and access on foot will be provided to connect with the public path that connects the site to Penrhyndeudraeth. The site will be further landscaped, and trees protected to ensure the units will not be visible from the nearby lane.
- Once the use of the site ends, it would be restored and landscaped with all the infrastructure removed as a condition.
- Hochtief has engaged with the local community regarding the proposal and there have been detailed and extensive discussions with statutory consultees to

ensure that the proposal is acceptable in terms of technical considerations as highlighted in the officer's report.

- As part of Hochtief's commitment to the Welsh language, they promote and raise awareness of the Welsh language within their workforce as part of their Welsh Language policy. The development will offer support to local businesses and Hochtief has held a "meet the buyer" event in order to promote opportunities for local businesses.
- It was hoped that the committee could support the application and approve it today.

RESOLVED subject to including an additional condition for managing the Himalayan Balsam, to **grant** permission in accordance with the recommendation.

7. **Update Reports**

(1) Section 106 Agreements – **For Information**

RESOLVED to note the report.

(2) Outstanding Applications where more than 13 weeks have elapsed – **For Information**

RESOLVED to note the report.

<u>Rhif Eitem / Item No.</u>	<u>Cyfeirnod / Reference No.</u>	<u>Disgrifiad / Description.</u>	<u>Swyddog Achos / Case Officer</u>
1.	NP4/11/393B	Trosi ac ymestyn adeilad allanol i greu uned wyliau hunain arlwyo tymor byr, creu trac mynediad, newidiadau i fynedfa cerbydau a gwaith cysylltiedig (Ail gyflwyniad), Adeilad allanol yn Craig Glanconwy, Betws y Coed. / Conversion and extension of outbuilding to form short term self-catering holiday unit, creation of parking bay, alterations to vehicular access and associated works (Re-submission), Outbuilding at Craig Glanconwy, Betws y Coed.	Richard Thomas
2.	NP5/50/532F	Newid drysau allanol a ffenestri i flaen siopau am ddrysau agor awtomatig newydd, gosod hysbysfyrddau ar flaen yr adeilad, adnewyddu rampiau allanol a gosod paneli solar PV, Ganolfan Gwybodaeth Ymwelwyr, Y Cei, Aberdyfi. / Change external doors and glazing to shop fronts for new automatic opening doors, install notice boards on the front of the building, refurbish external ramps and installation of solar PV panels, Tourist Information Centre, The Wharf, Aberdyfi.	David Pryce Jones
3.	NP5/57/LB587H	Tynnu'r ffens derfyn bren bresennol a chodi wal derfyn garreg newydd 1 metr o uchder rhwgen Gwesty Plas Isa a Gwesty'r Golden Lion, ynghyd â gosod giât bren newydd rhwng y pileri carreg presennol yn fynedfa gefn i Gwesty Plas Isa o maes parcio Marian Mawr, Plas Isaf, Lion Street, Dolgellau. / Removal of the existing timber boundary fence and erection of new 1 metre high stone boundary wall between Plas Isa Guesthouse and the Golden Lion Hotel, together with the installation of a new wooden gate between the existing stone pillars at the rear entrance to Plas Isa Guesthouse from the Marian Mawr car park, Plas Isaf, Lion Street, Dolgellau.	David Pryce Jones

4.	NP5/57/LB587J	<p>Caniatâd Adeilad Rhestredig i dynnu'r ffens derfyn bren bresennol a chodi wal derfyn garreg newydd 1 metr o uchder rhwgen Gwesty Plas Isa a Gwesty'r Golden Lion, ynghyd â gosod giât bren newydd rhwng y pileri carreg presennol yn fynedfa gefn i Gwesty Plas Isa o maes parcio Marian Mawr, Plas Isaf, Lion Street, Dolgellau. / Listed Building Consent for the removal of the existing timber boundary fence and erection of new 1 metre high stone boundary wall between Plas Isa Guesthouse and the Golden Lion Hotel, together with the installation of a new wooden gate between the existing stone pillars at the rear entrance to Plas Isa Guesthouse from the Marian Mawr car park, Plas Isaf, Lion Street, Dolgellau.</p>	David Pryce Jones
5.	NP5/73/LB425D	<p><u>Caniatâd Adeilad Rhestredig am waith atgyweirio ar y strwythurau bwtres a pharapet presennol ar ddrychiad ochr y prif eiddo a chynnal atgyweiriadau ar yr allfeydd dŵr glaw, Plas Tan-y-Bwlch, Maentwrog / Listed Building Consent for repairs to the existing buttress and parapet structures on the side elevation of the main property and carrying out repairs to the rainwater outlets, Plas Tan-y-Bwlch, Maentwrog.</u></p>	Iona Roberts

Snowdonia National Park Authority **Date: 24-Jan-2024**
– Planning & Access Committee

Application Number: NP4/11/393B

Date Application Registered: 22/08/23

Community: Betws y Coed, Betws-y-Coed

Grid Reference: 279610 354846

Case Officer: Mr Richard Thomas

Location:

Outbuilding at Craig Glanconwy, Betws y Coed.

Applicant:

Mr. Sean Taylor,
 Zip World Ltd.
 Base Camp
 Denbigh Street
 Llanrwst
 Conwy
 LL26 0LL

Description:

Conversion and extension of outbuilding to form short term self-catering holiday unit, creation of parking bay, alterations to vehicular access and associated works (Re-submission)

Conversion and extension of outbuilding to form short term self-catering holiday unit, creation of access track, alterations to vehicular access and associated works (Re-Submission)

Summary of the Recommendation:

To **REFUSE** permission, for the following reason:

- Ruinous state of outbuilding.

Reason(s) Application Reported to Committee:

At the request of elected Member of this Committee.

Land Designations / Constraints:

Open Countryside
 Close proximity to C2 Flood Risk Zone
 Ancient Woodland

Site Description:

The site subject to this application is located off a minor county road 2km (1.2 miles) to the south of Betws y Coed. Set within a wooded area separated from the adjacent open grazing land by a small unnamed tributary of Afon Conwy.

The land immediately surrounding the remains of this building is characterised by a deciduous woodland with exposed rocks and boulder groundcover.

Proposed Development:

This application proposes the conversion, rehabilitation and extension of the ruinous building to provide for a one-bedroomed tourist accommodation short-term self-catering unit. In association with the conversion the application shows parking area off the minor road with pedestrian access only from the parking area to the proposed accommodation unit.

In addition, this application shows a large area of biodiversity enhancement through the planting of a block of deciduous trees.

Relevant Planning Policies:

Eryri Local Development Plan 2016-2031 (ELDP)

- SP C: Spatial Development Strategy
- DP1: General Development Principles
- SPD: Natural Environment
- SPFf: Historic Environment
- DP9: Conversion and Change of Use of Rural Buildings

Consultations:

Community Council	No objections
Cyfoeth Materiol Cymru	Conditions suggested
Dŵr Cymru	Advice provided
Conwy Highways Authority	Conditions suggested
Gwynedd Archaeological Planning Service	Comments received and condition suggested
APCE Ecologist	No objections, condition suggested
APCE Tree Officer	Advice provided

Response to Publicity:

The application has been publicised by way of a site notices and neighbour notification letters.

No objections were received as a result of this publicity.

Assessment:

1. Principle of Development

- 1.1 Initial consideration of a proposal of this nature will be with ELDP policy C which states at criterion xviii that the conversion of rural buildings can be supported if the proposal is to support an economic use or at criterion xix for affordable housing for local needs.
- 1.2 In this case the applicant is reliant on criteria xviii for this application to be viewed favourably.
- 1.3 ELDP policy DP9 elaborates on this by stating that the conversion of redundant rural buildings outside any housing development boundary can be considered favourably for tourist accommodation if it is a part of a rural enterprise scheme.
- 1.4 In this context a rural enterprise scheme is defined as being part of a farm diversification scheme or is in association with an existing or new tourist attraction. In this case the applicants are the operators of the ZipWorld Fforest tourist attraction approximately 3.2km (2 miles) to the north along the A470(T) and see this converted building unit as providing accommodation for their clients.
- 1.5 Under these broad policy terms, officers considered that the building is close enough to be directly associated with the Zip World Fforest site, and therefore the conversion and extension of this rural outbuilding can be considered favourably provided that all the criteria of ELDP policy 9 are satisfied.
- 1.6 Of importance in this case are ELDP policy 9 criteria i, ii, iii, and v. These criteria are reviewed below.
- 1.7 Two previous planning applications have been considered by this Authority for very similar applications for this building as that now being considered. Both of these applications were refused permission, firstly in November 2021 with the following primary reason:

By reason of this rural outbuilding being of a ruinous state without a roof structure or covering and requiring the establishing of a new vehicular access track this application is in conflict with Eryri Local Development Plan Policy 9.

1.8 And a second application in February 2023:

By reason of this rural outbuilding being of a ruinous state lacking any roof structure or covering and requiring the establishing of a new vehicular access track, car parking and turning area this application is in conflict with ELDP Policies DP1 and DP9.

1.9 This overriding and fundamental policy objection had been expressed by letter to the applicant on four different occasions during pre-application discussions and officer response letters dated 17/07/2019, 12/05/2020, 16/07/2020 and 30/09/2020 to the formal pre-application advice enquiry running through 2019 and 2020.

1.10 The applicant has failed to overcome the clear policy objections expressed on four different occasions at pre-application through 2019 and 2020 and through the refusal of two planning application in 2021 and 2023.

1.11 Whilst other reasons for refusal attached to the decision notices of 2021 and 2023 have been addressed by the applicant and have now been overcome the fundamental and overriding reason for refusal has not.

2. Planning Assessment

2.1 ELDP policy 9 at criterion i states that to be considered favourably:

'The building is of permanent and substantial construction, of traditional form and character and has an architectural value worthy of preservation.'

2.2 The remains of this very modest outbuilding are of stone construction revealing a ruinous building with the remains of two gables standing and one wall and lacking any roof structure or covering. Whilst of traditional form and character this building is not Listed, nor has it been identified as being of local architectural quality worthy of preservation by this Authority. In addition, the remains of this building are not considered to be of permanent or substantial construction.

2.3 Paragraph 4.29 of the ELDP provides additional guidance on this matter and defines 'permanent and substantial' as:

*'a building with structural walls which are demonstrably sound up to and including eaves level, **covered over by a substantially intact roof.**'*

2.4 Consequently and by reason of this building having no roof or roof structure this application **fails to satisfy criterion i.**

2.5 Criterion ii states that:

'The building is capable of conversion without the need for significant rebuilding or extension which would harm its existing character.'

2.6 With a requirement for remedial work required to the remaining standing walls and a completely new roof structure and covering along with an extension of the scale proposed it is considered that this proposal **fails to satisfy criteria ii.**

2.7 Criterion iii states that:

'All external works including finishes and property boundaries are sympathetic to the character of the building, local building style and materials and do not harm the character of any surrounding building group.'

2.8 The applicant has proposed a single storey extension to this building which would increase its footprint from 50sqm to 80sqm. The extension as shown will allow for a bedroom and shower room attached to an open plan living room and kitchen area in the existing structure. The proposed extension is shown to have a finish of timber clad walls under a natural mineral slate roof.

2.9 There is no particular objection to this approach and would not be in conflict with policy.

2.10 In support of this this proposal the applicants have submitted a brief structural report which concludes that

'...there were no trial excavations available for inspection at the time of the visit there are signs of rock outcropping the surface in the near vicinity of the building which would suggest that the building's walls are founded at or near the bedrock. This is also consistent with the good overall structural condition of the walls.

The walls of this building will have no difficulty in supporting roof loads or any other loadings arising from the proposed restoration and will not require underpinning.'

2.11 In order to verify the structural stability of the remains of this building this Authority engaged the services of a qualified Structural Engineer who undertook an independent structural report commenting that:

SOUTH ELEVATION.

This wall appears almost fully intact.

The ground between this elevation and the stream is saturated and water can be seen flowing on the surface.

There a number of large tree close to the building some of which appear dead.

WEST ELEVATION.

Most of this wall is intact but there is a central area which appears to have move down vertically and laterally.

There are two large Oak tree close to the building, The distances from the building were measured at approximately 4 and 5 meters from the face of the building.

There are also what appear to be surface roots extending near the building.

NORTH ELEVATION.

Basically this elevation consists of the ends of the gable walls and a central section of wall. The right hand end of this section of wall has move what appears to be both laterally and vertically. The upper 1.0 metre by 0.8 of metre of wall has been lost. This central section of wall also appears to be very slightly out of plumb.

The is a huge stone outcrop quite dose to this elevation. I assume that that the stone will extend quite close or below the building may present some problems for the new extension foundations.

EAST ELEVATION.

Quite large area of this elevation have been lost at high level, possibly caused by collapsing roof purlins.

It would also appear that there may have been a chimney stack created within the wall thickness on this elevation.

There is a very large Oak tree 2.9 metres from this gable wall.

There also appears that the roots of this tree have extended towards the building and may be in or below the walls of this building.

2.12 In concluding the independent structural engineer has stated that:

the intention is to extend the existing building with an extension on the north elevation which may involve removing quite large volumes of rock to achieve the require levels. These operations may cause problems resulting in unstable trees.

A number of trial pits should be excavated to confirm the depth of any rock/stone.

As stated there are also a number of large trees on the other tree elevations which were noted as Oak trees which had their roots extending on the surface close to the building.

Oak trees are classed as Broad Leaf with high water demand and a mature height assuming they are English Oak of 20 metres. Therefore the zone of influence is 1.25 times 20 which equals 25 metres. Therefore it is possible that the roots from these trees have penetrated below the existing building.

The stripping of any top soil excavation of trenches for foundations and drainage pipes, storing of materials could all have an effect on these trees resulting in possible instability.

I am also concerned with the movements noted to areas of the existing walls on the north and west elevations which may have been caused by rotting roots or the foundation being founded on mixed ground conditions.

It is suspected that the existing walls are founded at ground level and are therefore more prone to movement from the trees roots and any future excavation works. In conclusion I personally think it would be unwise to proceed with this project without obtaining more information such as:-

- 1. The actual level of the rock around the existing and proposed building.*
- 2. The spread of the roots from the existing trees.*
- 3. The possible instability of the trees within the trees mature height distance from the building.*
- 4. The possible instability of the trees caused by the proposed works.*
- 5. Are the trees protected by a TPO.*
- 6. How will the internal floors be built with undermining the existing dry-stone walls.*

2.13 Notwithstanding the complete reconstruction of the roof structure and covering the Structural Engineer has identified that there is a requirement to reconstruct sections of the north elevation, which is out of plumb and has lost up to 1m in height. The eastern elevation has lost a significant section at the top of the gable which will require reconstruction. There is also the potential effect that large oak trees have had on the foundations of the building, which have not been investigated by the applicant.

2.14 On the basis of this independent structural report officers of this Authority are of the opinion that the remnants of this building are not of permanent and substantial construction and is not capable of conversion without the need for significant reconstruction.

3. Other Matters

- 3.1 The adjacent open field across which the pedestrian only access track is proposed is currently utilised for grazing, it is improved grassland and was used as a construction compound for the improvements to the nearby A470 trunk road some years ago and for seasonal camping in 2022.
- 3.2 This Authority's arboricultural officer has identified that this area has Ancient Woodland Designation and that if this application is to be approved it will have a detrimental effect on the woodland beyond the footprint of the development site and that development should be discouraged within such a designated site.
- 3.3 The applicant's environmental specialist has recommended that Biodiversity Enhancement is proposed in the form of tree planting in an area of improved grassland adjacent to the existing woodland.
- 3.4 The Gwynedd Archaeological Planning Service (GAPS) has provided a consultation response and have commented that this building is of simple form, may have served as a dwelling in the past, the potential for subsurface remains is relatively low and the work will result in at least the partial loss of original fixtures and fittings.
- 3.5 In providing these comments GAPS has recommended that if permission is granted for the conversion a photographic record of the building is made and submitted to serve as a permanent archive record.
- 3.6 The Community Council have responded to consultation expressing that they have no observations to make on this application.
- 3.7 No objections have been received from other consultees from the local community following notification through site notices.
- 3.8 The conclusions on this application are that the concerns over the previous application have not been overcome and can only lead to one recommendation, that of refusal.

4. Conclusions

- 4.1 I am of the opinion that whilst the applicant has gone some way to overcome the failings of previous applications for the conversion and extension of this rural outbuilding there remains a fundamental and overriding conflict with ELDP policy in that the remains of this building are too ruinous to satisfy all the criteria of Policy 9. These matters of principle have been communicated to the applicant in several earlier letters as well as two planning refusals, neither of which have been appealed.

- 4.2 In addition the conversion work may have a damaging effect on the trees that surround the building leading to the trees becoming unstable and may be lost. Placing this proposal in conflict with ELDP policy 1.
- 4.2 Also, the applicant has failed to provide robust evidence that that any conversion will not have a detrimental effect on the nearby trees, designated as an ancient woodland.

Background Papers in Document Bundle No.1: No

RECOMMENDATION: To REFUSE for the following reason:

Reasons:

1. By reason of this rural outbuilding being of a ruinous state and not of permanent and substantial construction, lacking any roof structure or covering requiring significant rebuilding and extension and may have a harmful effect on trees, this application is in conflict with ELDP Policies DP1 and DP9.

Field of view and location of driveway with gate.

Field of view as per purple line.

Set back 2.4m from kerb edge

New Tree planting

Hedge planting (Native)

Field of view Set back 2.4m from kerb edge



To be planted with native broadleaf trees. Species of local provenance.

Grid ref: SH 796549

Woodland Cottage

Stream crossing

Parking Terram Covered with gravel

Gate to driveway set back 15m from kerb edge

Gravel pathway for pedestrian use.

Driveway to gate Laid with Tarmac incorporating a cross drain to road edge to contain any run off surface water.

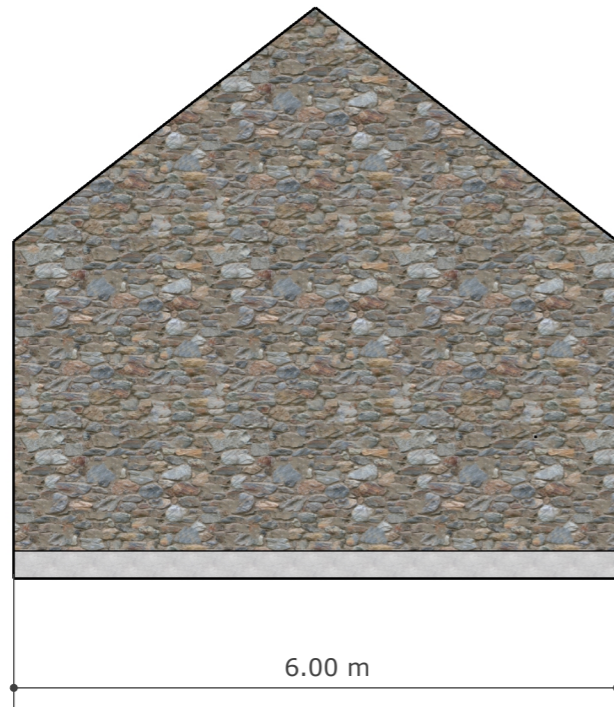
0.9m Stone wall, topped with Post and wire for Maximum visibility

Post and wire Fence on top of a 0.9m stone wall to field edge. Clear view with no shrubs or trees

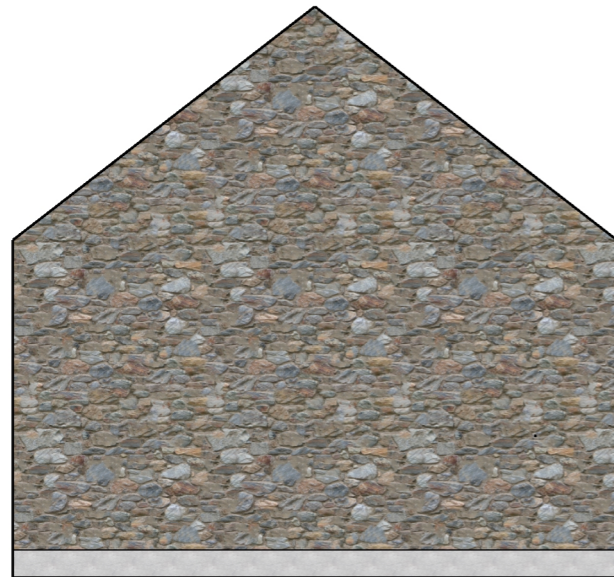
Total area outlined in red 8,365m²

scale = 1:1000 @ A3

Existing Elevations

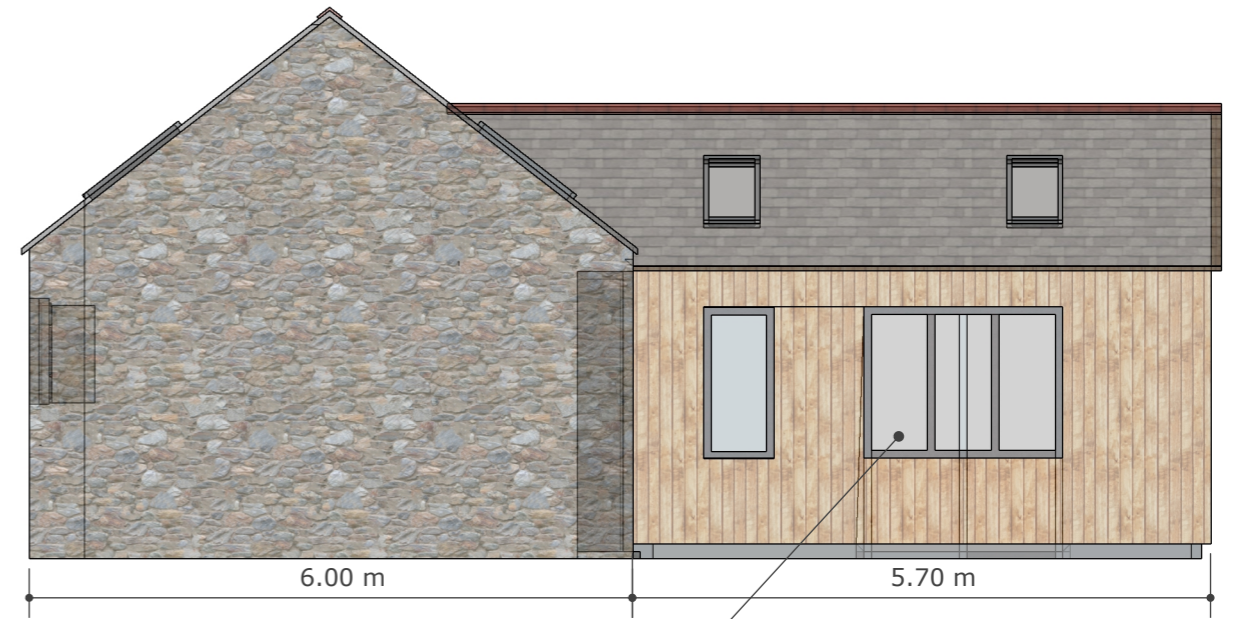


West

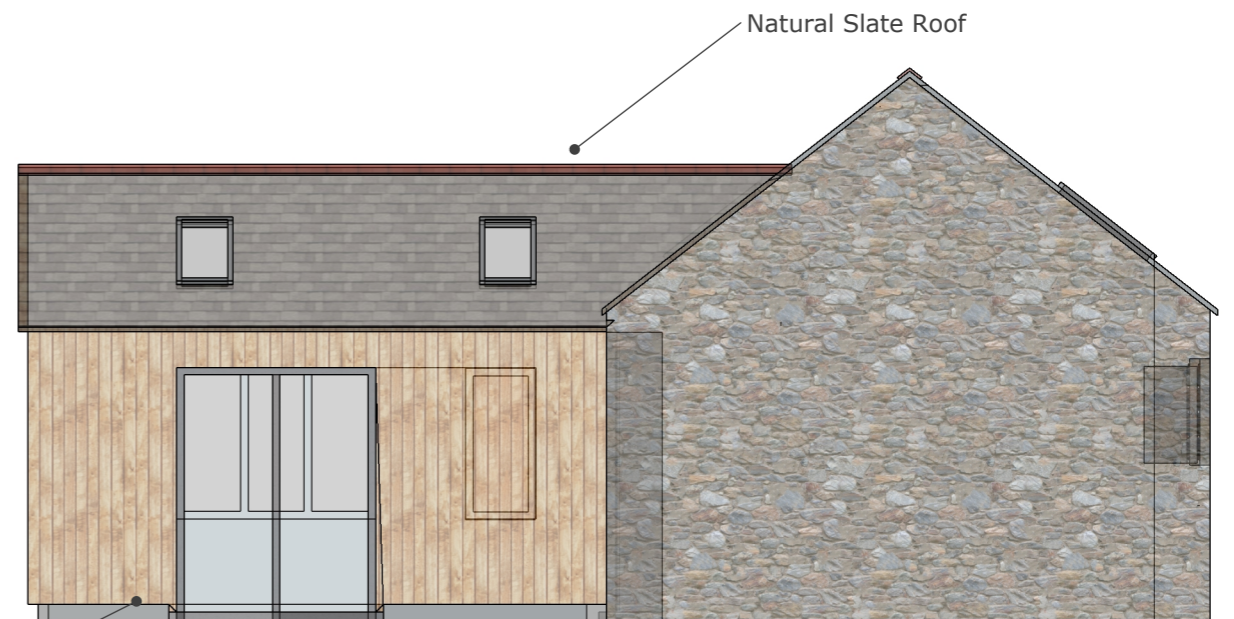


East

Proposed Elevations



Matt gray aluminium windows and door frames



Natural Slate Roof

125mm X 20mm Larch cladding

Craig Glan Conwy

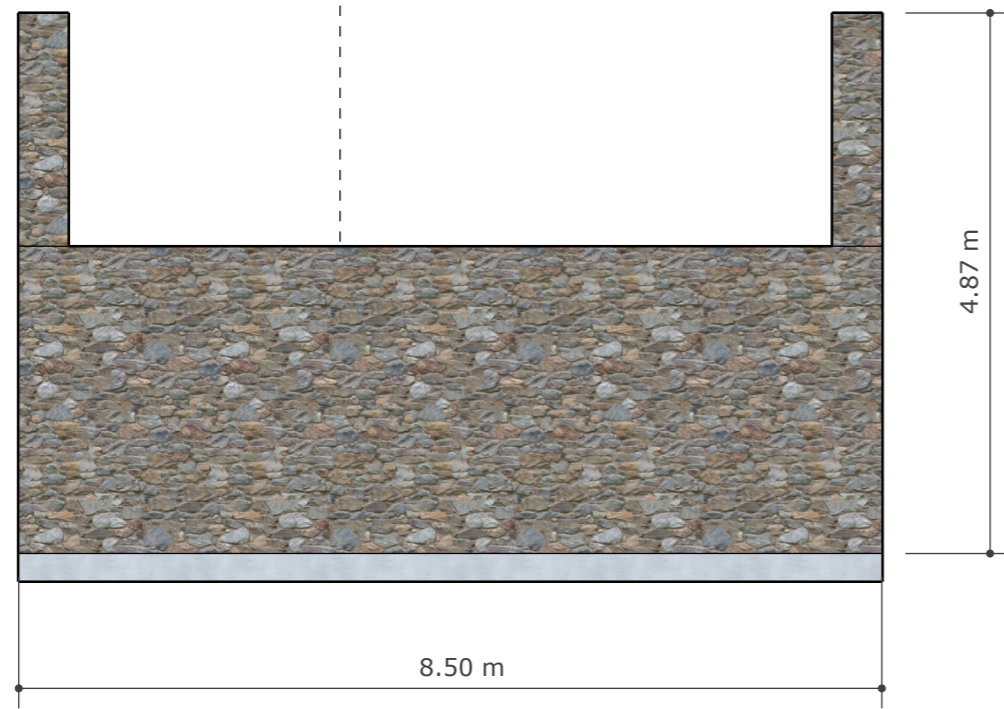
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July 30, 2020

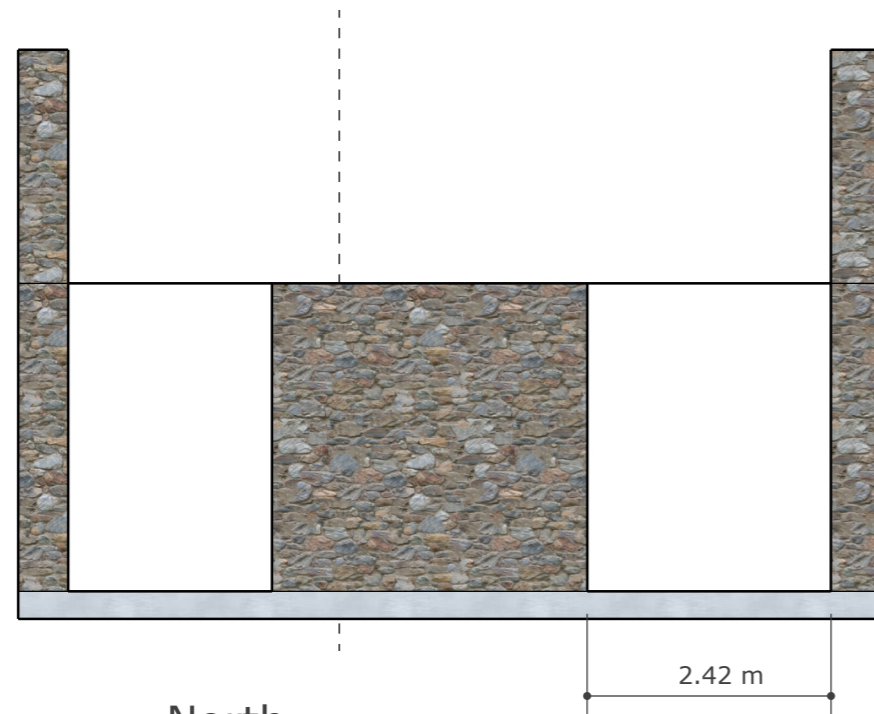
Graig Glan Conwy Betws Y Coed Conwy

Woodland Cottage

Existing Elevations

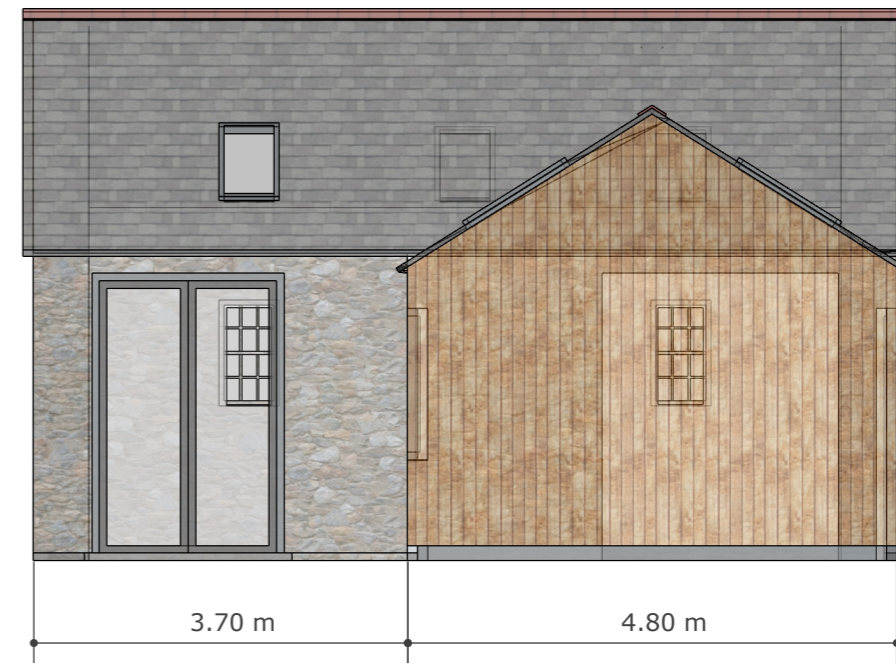
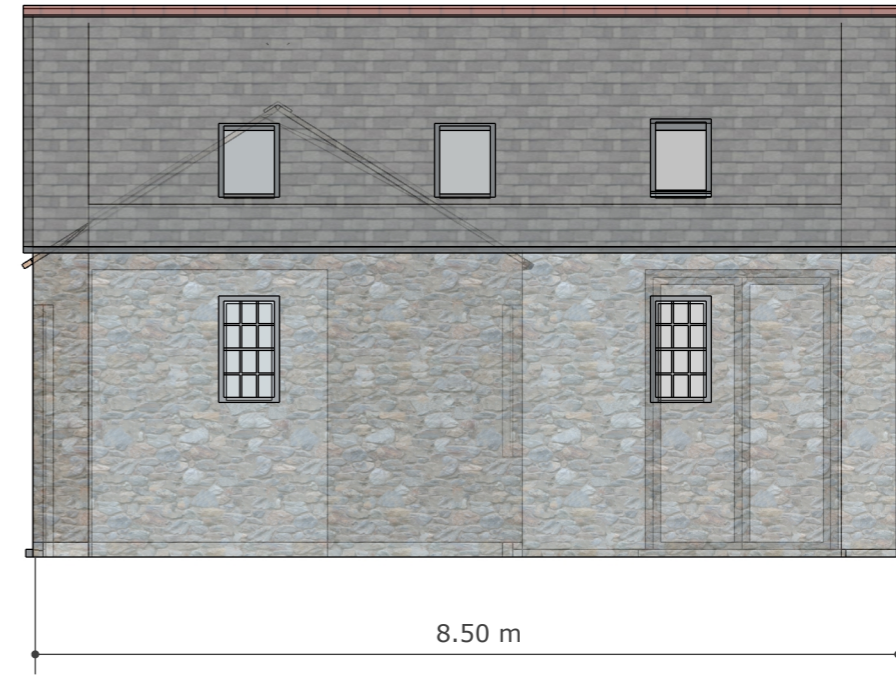


South



North

Proposed Elevations



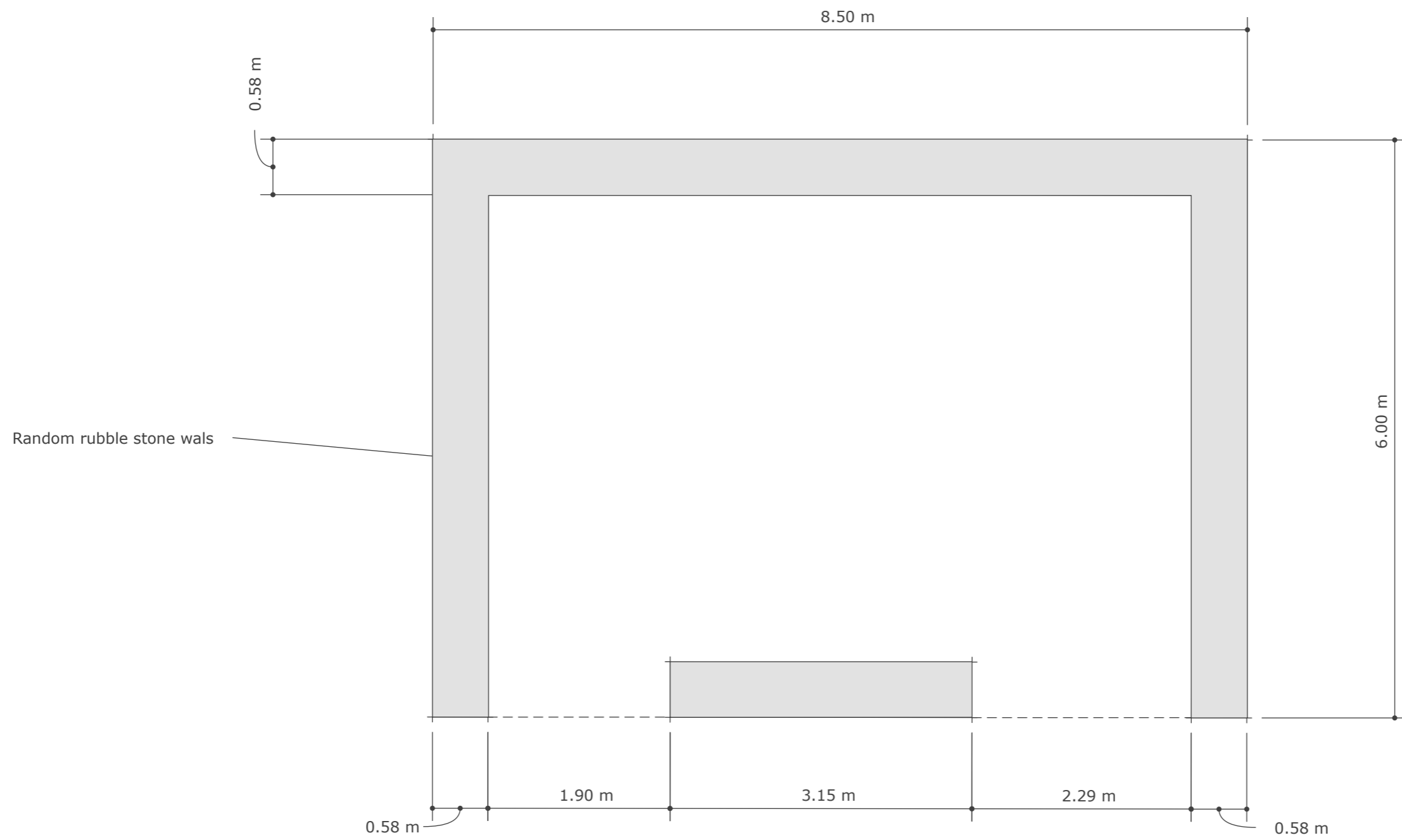
Craig Glan Conwy

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July 30, 2020

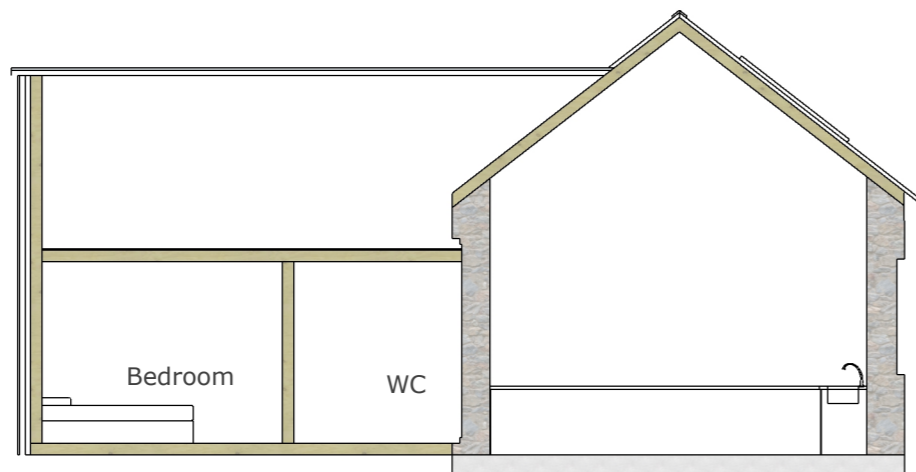
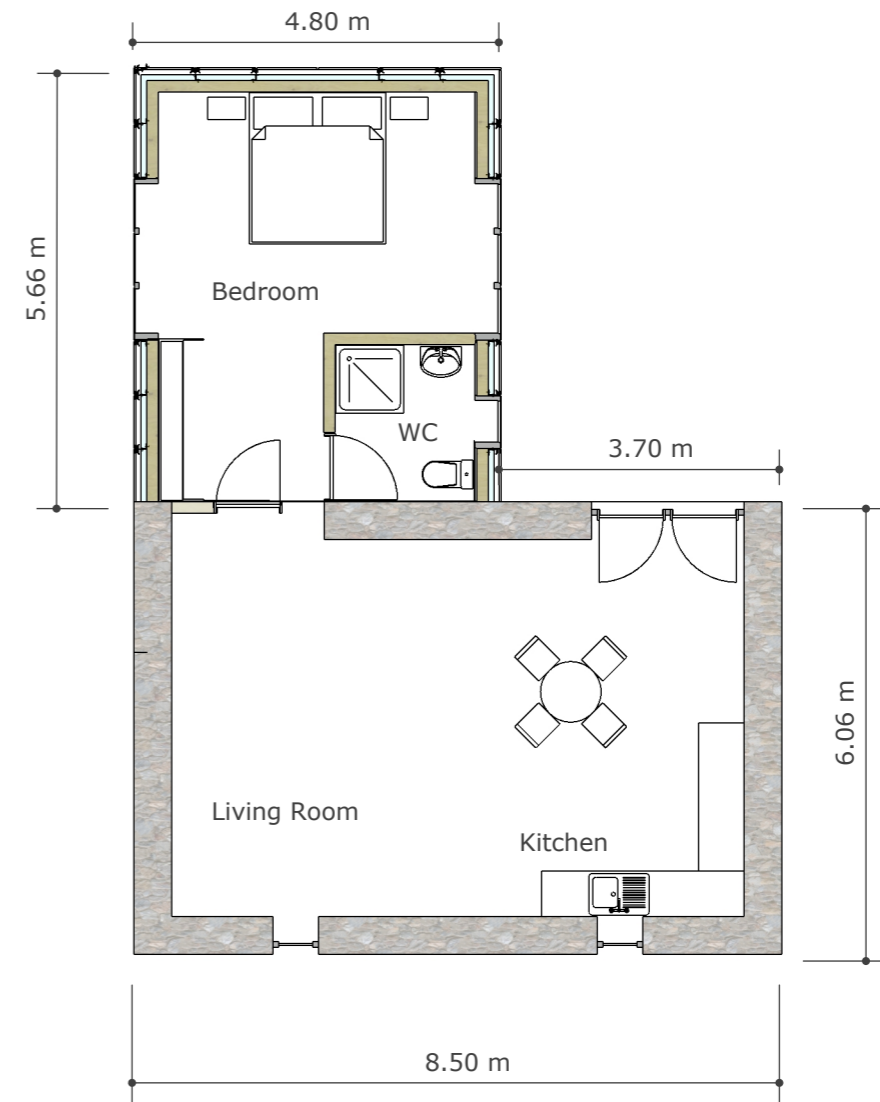
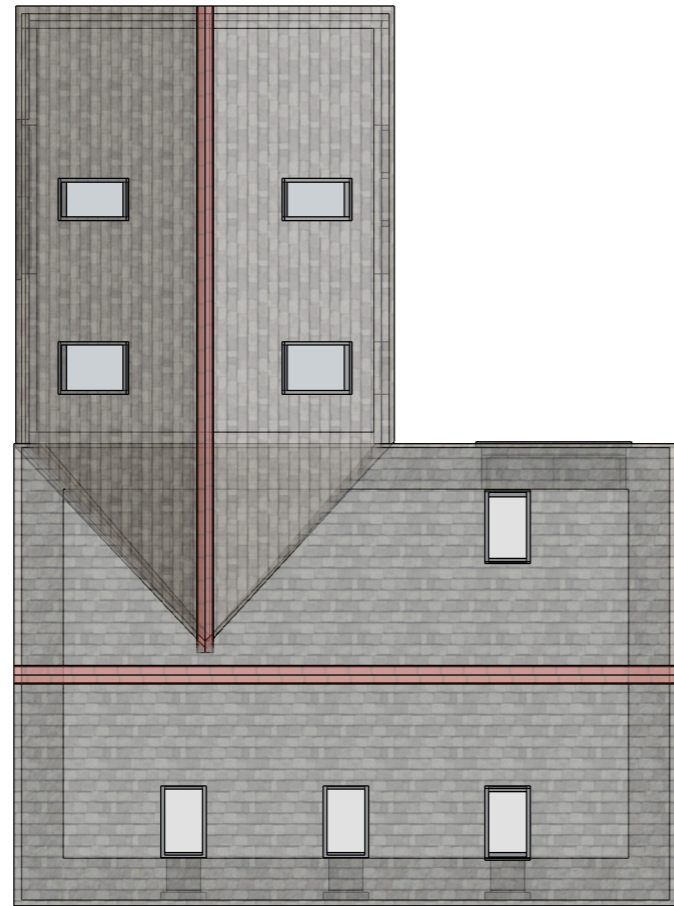
Graig Glan Conwy Betws Y Coed Conwy

Woodland Cottage



Existing floorplan

Scale 1:50 @ A3



Craig Glan Conwy

Scale = 1:100 @ A3

July 30, 2020

Graig Glan Conwy Betws Y Coed Conwy

Woodland Cottage

A 03



Drive way for parking out of sight behind the treeline.

Proposed extension

Craig Glan Conwy

Snowdonia National Park Authority Date: 24-Jan-2024
– Planning & Access Committee

Application Number: NP5/50/532F

Date Application Registered: 27/10/23

Community: Aberdyfi

Grid Reference: 261431 295932

Case Officer: Mr David Jones

Location:

Tourist Information Centre, The Wharf,
Aberdyfi. LL35 0EE

Applicant:

Mr. Edward Tudor Jones,
Parc Cenedlaethol Eryri
Swyddfa'r Parc Cenedlaethol
Penrhyndeudraeth
Gwynedd
LL48 6LF

Description:

Change external doors and glazing to shop fronts for new automatic opening doors, install notice boards on the front of the building, refurbish external ramps and installation of solar PV panels

Summary of the Recommendation:

To GRANT permission subject to conditions relating to:

- Start work within 5 years.
- Accordance with approved plans.

**Reason(s) Application Reported to Committee:
Scheme of Delegation**

The planning application is submitted by the Snowdonia National Park Authority and the building subject to the application is also within the ownership of the authority.

Land Designations / Constraints:

Within settlement boundary.
Within Conservation Area

Site Description:

The proposal relates to the Tourist Information Centre which is within the ownership of and operated by the Snowdonia National Park Authority. The Tourist Information Centre is located centrally in the settlement and in the quay area to the south of the A493. Land uses present here are primarily municipal and commercial in nature. The site is also within the designated conservation area.

This is a predominantly single storey modern building, having a natural mineral slate roof at varying heights. The building has dual glazed entrances affording access from the Glandovey Terrace and the harbour side of the quay. Snowdonia National Park corporate signage is present above both of the public entrances to the building; there is also commercial signage present on that part of the building which is being used as a café.

Proposed Development:

The proposal entails several relatively minor alterations and additions as follows:

The existing painted timber doors and windows on the northern and the southern entrance of the Tourist Information Centre will be replaced with aluminium framed doors and windows. These will be Disability Discrimination Act compliant being level threshold automatic doors. Two options are proposed on the plans -one for a 1100 mm and the other for an 1800 mm wide door. Permission is being sought to use either option on the doorways. The ground area immediately in front of the doorways would be tarmacked with drainage channels installed as part of the accessibility improvements.

A large external notice board and a Snowdonia National Park Interactive Notice Board would be fixed to the external wall of the building facing Glandovey Terrace.

The existing UPVC rainwater goods would be replaced with aluminium rainwater goods of a black colour.

As part of the proposal 12 solar panels will be installed on the southern plane of the existing slate roof which will provide 6.5kw of renewable energy power.

The application is accompanied by a Preliminary Ecological Appraisal which states that the building has no potential to support roosting bats. Reasonable avoidance measures are recommended to prevent any impact from the development on any nesting birds. Biodiversity enhancements are also proposed through the installation of four bird nesting boxes.

Development Plan Policies:

Future Wales 2040

It appears there are no relevant policies in relation to this application.

Eryri Local Development Plan 2016-2031

- SP A National Park Purpose and Sustainable Development
- DP1 General Development Principles
- SP Ff Historic Environment
- DP6 Sustainable Design and Materials
- DP10 Advertisements and Signs

- SP I Tourism
- DP 21 Tourism and Recreation

Supplementary Planning Guidance

- SPG 1 Sustainable Design in National Parks
- SPG 2 General Development Considerations

National Policy/Guidance:

- Planning Policy Wales (PPW), Edition 11 February 2021
- TAN 5 Nature Conservation and Planning
- TAN 24 The Historic Environment

Consultations:

Community/Town Council:	No observations received at the time of writing.
National Park Ecology	No observations received at the time of writing.
Gwynedd Council Environmental Health	No observations received at the time of writing.
NRW	No comment.

Response to Publicity:

The application has been publicised by way of a site notice.

At the time of writing this report no letters of objection/support have been received.

Assessment:

1. Principle of Development

- 1.1. Based on Strategic Policy A, I and DP 21 the improvement of the facilities at the Tourism Information Centre would align with the policy aim of promoting opportunities to understand and enjoy the “Special Qualities” through development proposals. The introduction of a renewable energy source on the building and the facilitation of accessibility for all would also accord with aims in these policies.

2. Planning Assessment

2.1. Design and External Appearance

2.2. Policy DP 1 and DP 6 are material here and amongst their provisions are requirements that proposals conserve and enhance the Special Qualities and purpose of the National Park by ensuring that the form of development is compatible with the character of the locality, reflects good design and attains national sustainable building requirements.

2.3. The proposal relates to one of the Tourist Information Centres operated by the Snowdonia National Park Authority. The building is in a prominent location on the quay, close to the commercial centre of Aberdyfi. Being within a conservation area there are policy and statutory requirement that development proposals conserve and enhance the character and appearance of the area.

2.4. The proposal entails several relatively minor alterations and additions to the building which include the installation of high-quality aluminium doors and rainwater goods. It is material that the installation solar panels will improve the sustainability credentials of the building. It is considered that appropriately coloured and designed solar panels would be appropriate additions on the slate roof of this relatively modern building.

2.5. As part of the proposals two Snowdonia National Park interactive notice board are proposed on the external wall of the building. These interactive signs would be seen in the context of existing corporate and commercial signage already present on the building and the local area generally. It maybe that a separate advertisement consent is also required for this part of the proposal and an informative to this effect is recommended to be attached to the planning permission.

2.6. Having regard to all these material considerations it is considered that the proposals meet the requirements of policies DP1 and DP 6. It is also considered that the proposal would serve to both conserve and enhance the conservation area.

2.7. Other Matters

2.8. The planning application is accompanied by a PEA which indicates that no protected species are present and includes mitigation measure to prevent any impact on nesting birds. Biodiversity enhancements will be achieved through the installation of four bird nesting boxes. Whilst formal comments are awaited from National Park Ecology it is anticipated that the biodiversity enhancement would accord with Planning Policy Wales (Edition 11) in providing a net biodiversity gain.

3. Conclusion

- 3.1 The principle of the development is acceptable in all respects. The proposals also attain the standard of design and external appearance required by policy and statute on this prominent public building within a conservation area.

Background Papers in Document Bundle No.1: No

RECOMMENDATION: To GRANT permission subject to the following conditions:

1. The development hereby permitted shall be commenced before the expiration of FIVE years from the date of this decision.
2. The development hereby permitted shall be carried out in accordance with the following approved plans:

Location SB1+02 00
Existing P1+01 00
Proposed B1+02 04
Preliminary Ecological Assessment (26/09/2023) Cambrian Ecology Ltd
3. Prior to the installation of the solar panels hereby approved full specifications, which shall include the colour of the solar panels shall be submitted to an approved in writing by the Local planning Authority. The installation of the solar panels shall be undertaken strictly in accordance with the details as approved in writing under the provisions of this planning condition.
4. The applicant/developer shall ensure that the mitigation recommended in section 8 of the Preliminary Ecological Assessment by Cambrian Ecology Ltd, dated 26/09/2023, and shown on drawing no. B1+02 04 are followed and implemented in full. The nesting boxes shall be installed within one month following the completion of the works and shall thereafter be maintained and retained for the lifetime of the development hereby approved.
5. The biodiversity enhancement measures contained in section 9 of the Preliminary Ecological Assessment by Cambrian Ecology Ltd, dated 26/09/2023, and shown on drawing no. B1+02 04 shall take place within 3 months of the substantial completion of the development hereby permitted.

Reasons:

1. To Comply with Section 91 (as amended) of the Town and Country Planning Act 1990
2. To define the permission and for the avoidance of doubt.
3. To ensure a satisfactory standard of appearance of the development and the use of appropriate local building materials, in accordance with Eryri Local Development Plan Policies and in particular policies 1, 6 and A.
- 4) To ensure a satisfactory standard of development and to minimise the risk of unacceptable harm or disturbance to protected species in accordance with Eryri Local Development Plan Policies and in particular Policy D.
- 5) To secure biodiversity enhancement in accordance with Strategic Policy D of the adopted Eryri Local Development Plan and paragraph 6.4.5 of Planning Policy Wales.



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 T : (0) 1758 614181 • F : (0) 1758 614388
 e : post@dobsonowen.com

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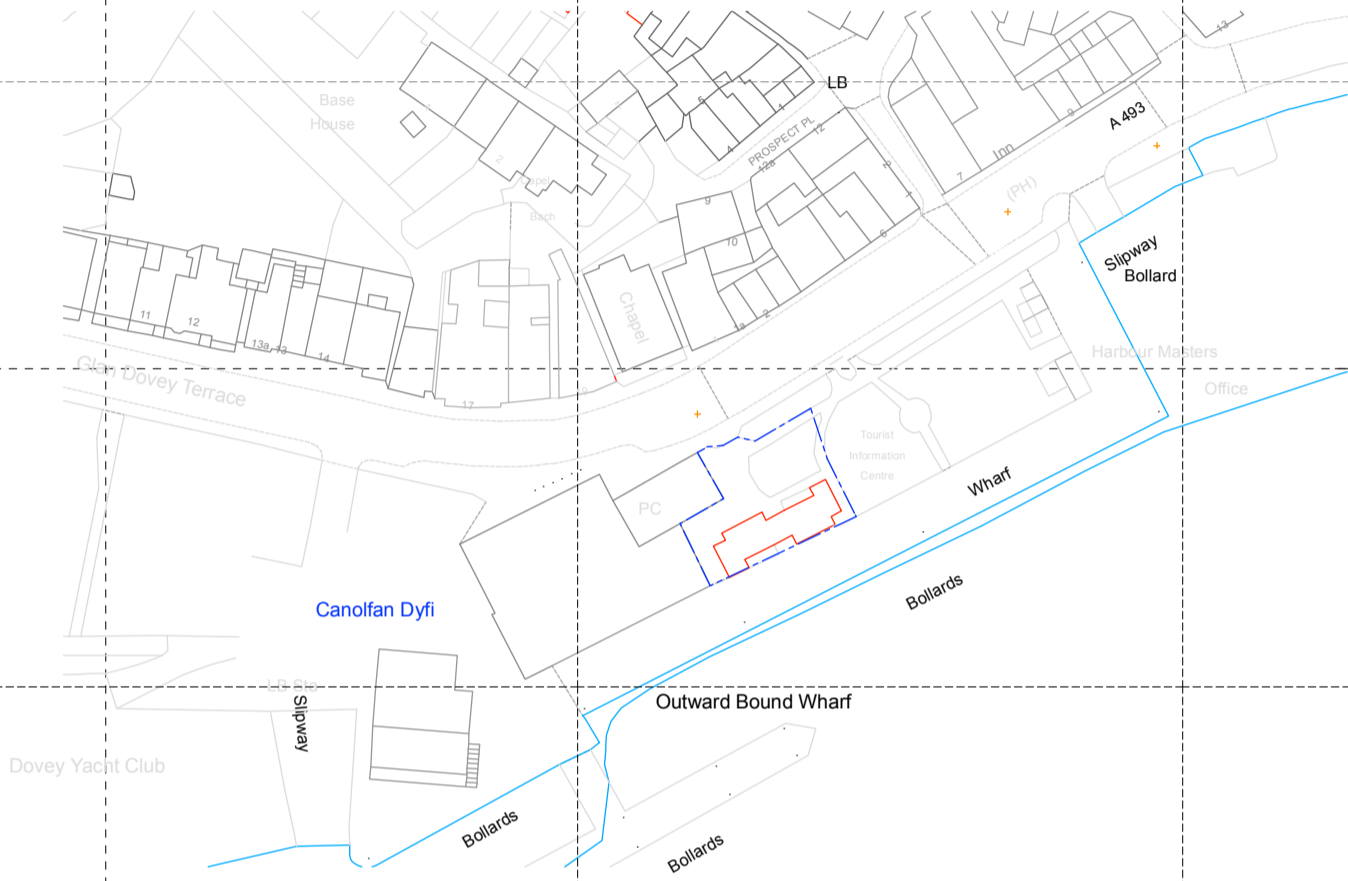
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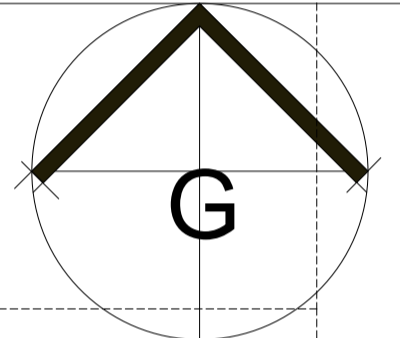
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 CANOLFAN GROESO • ABERDYFI • VISITOR CENTRE

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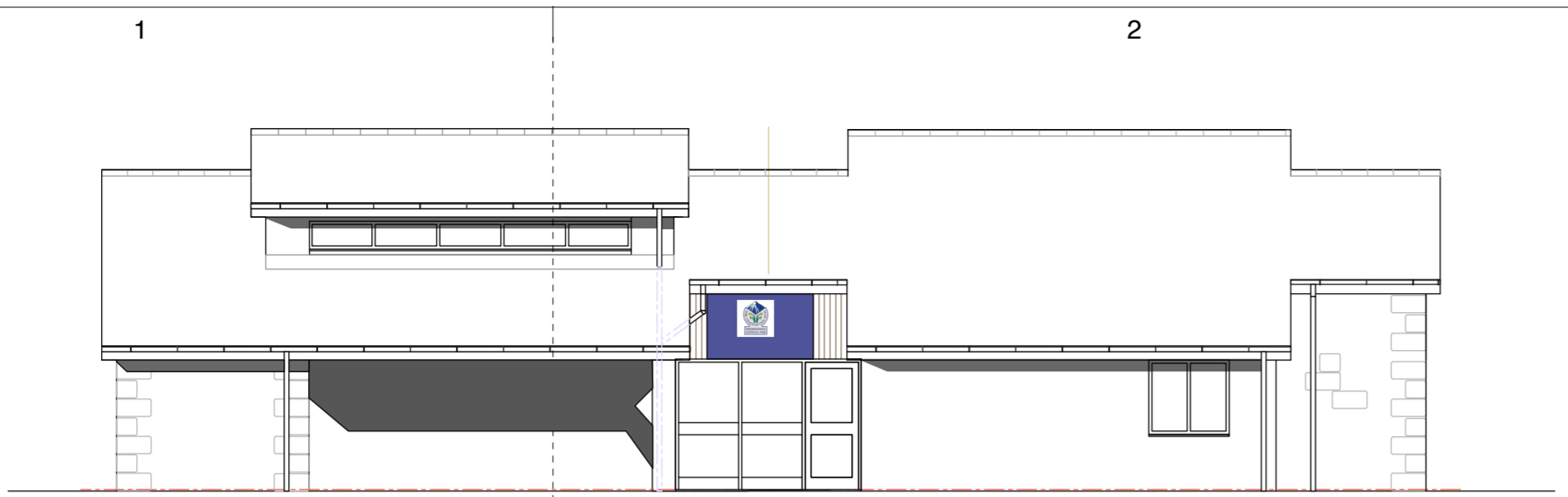
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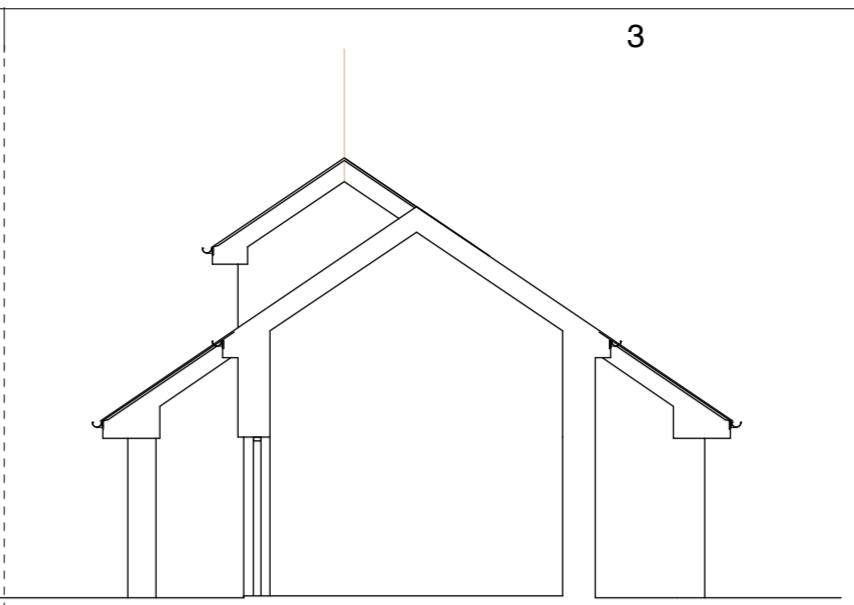
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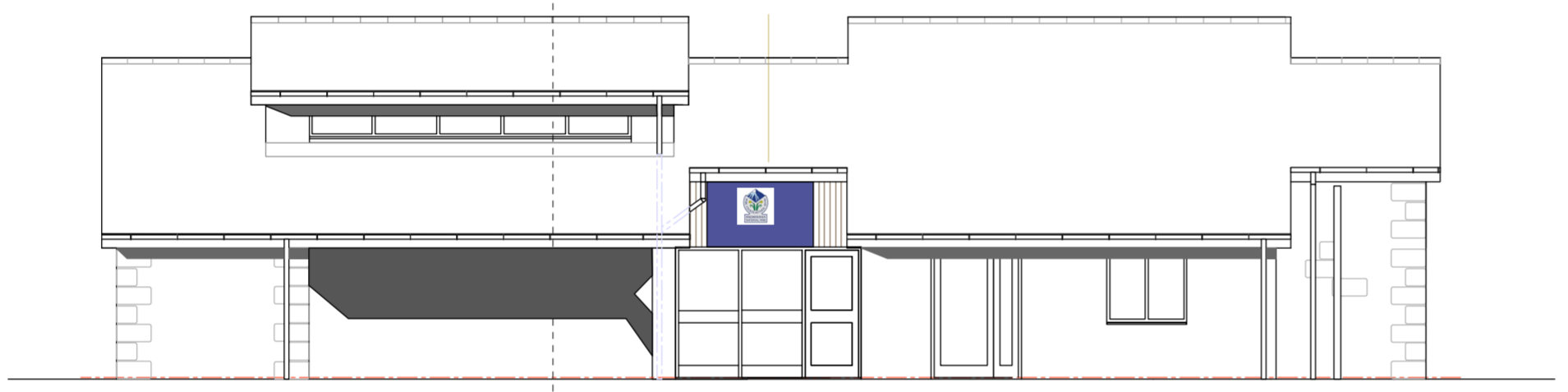
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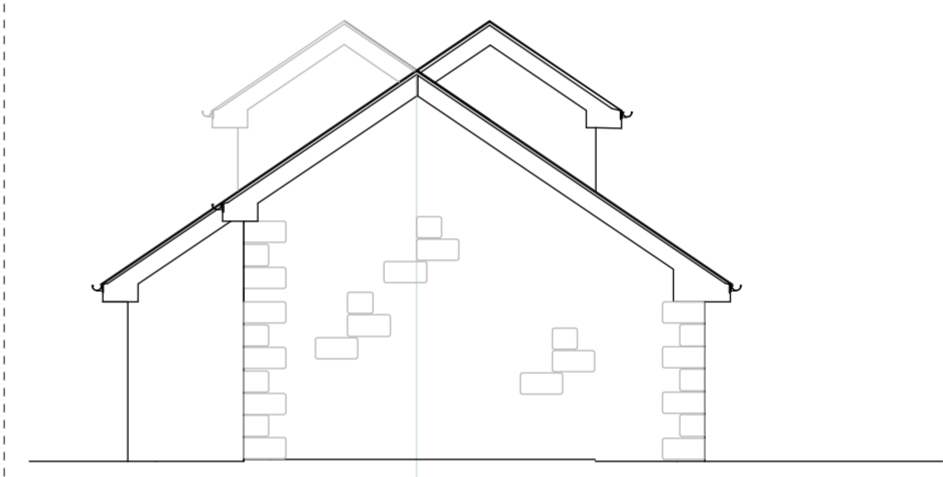
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T1 01 EDRYCHIAD DE [YR HARBWR]
 SOUTH ELEVATION [HARBOUR]



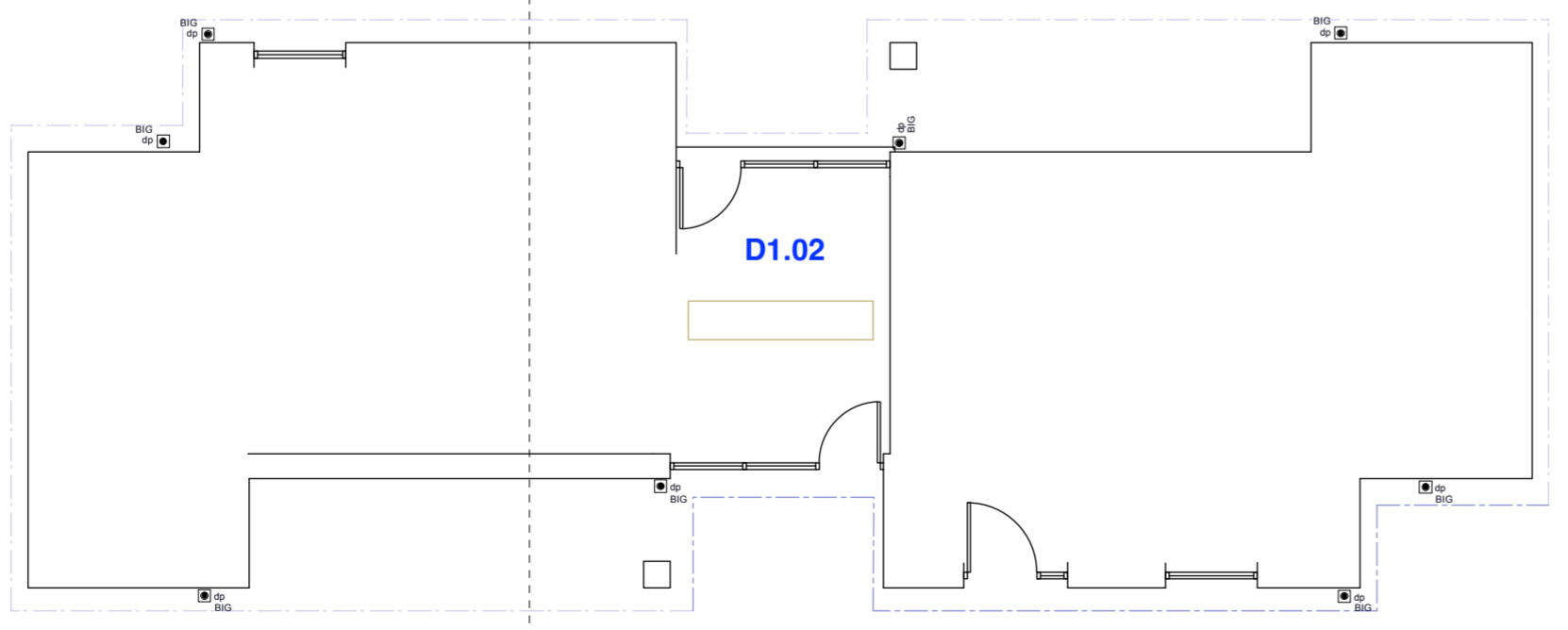
D1.01



T1 02 EDRYCHIAD GOGLEDD [O'R STRYD]
 NORTH ELEVATION [FROM STREET]

T1 03 EDRYCHIAD TALCEN
 GABLE END ELEVATIONS

T1 02



D1.02

D1.01

T1 03

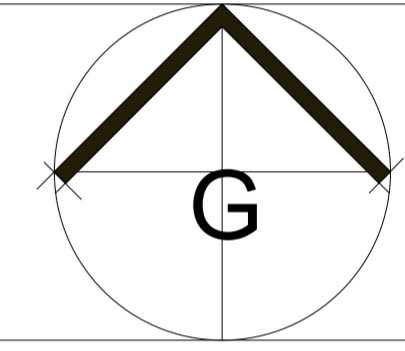
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2023-04

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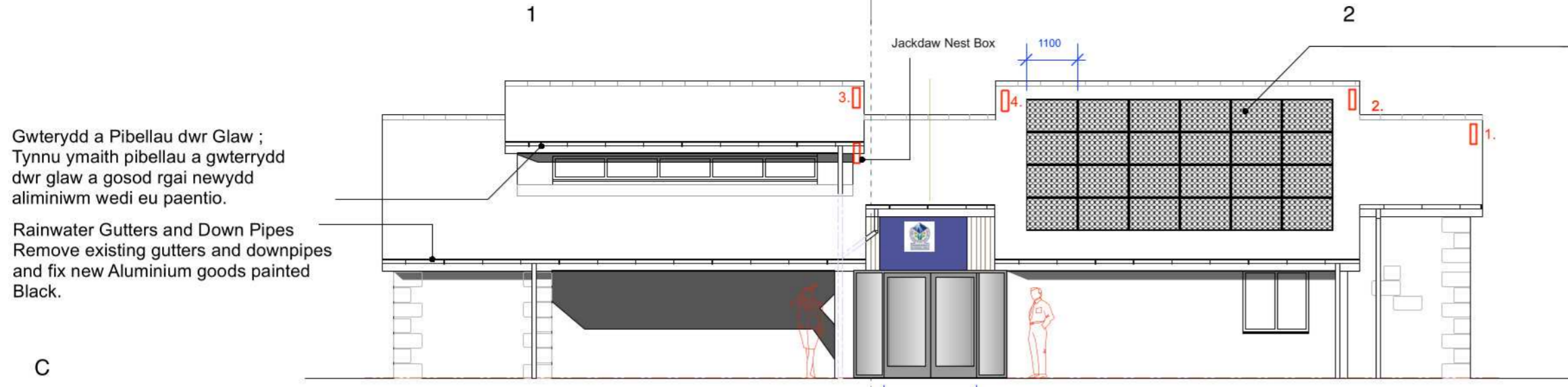
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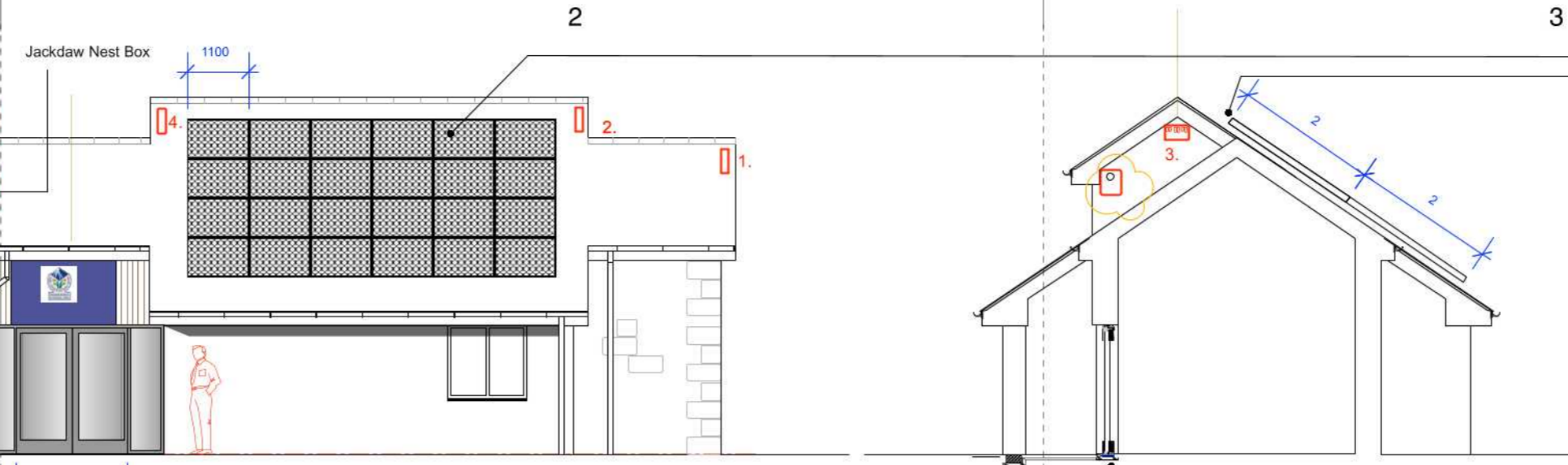


Gwterrydd a Pibellau dwr Glaw ;
Tynnu ymaith pibellau a gwterrydd
dwr glaw a gosod rgai newydd
aluminium wedi eu paentio.

Rainwater Gutters and Down Pipes
Remove existing gutters and downpipes
and fix new Aluminium goods painted
Black.

C

T1 01 EDRYCHIAD DE [YR HARBWR] SOUTH ELEVATION [HARBOUR]



Paneli Solar PV wedi eu gosod ar ben y
to presennol.
Uned yn 1.1medr. x 2.3medr
Cyfanswm o 12 Uned wedi eu cysylltu
550W y panel - Cyfanswm 6.5kW

Solar PV Panels fixed over existing slated
roof.
Single unit 1.1m x 2.3metres
Total of 12 units interconnected.

550Watts per panel - Total 6.5kW

C

Opisiwn 1:
Drysau dwbwl Alwminiwm 1800mm o led
gyda system agor awtomatig.
Trothwy isel ar gyfer mynediad.

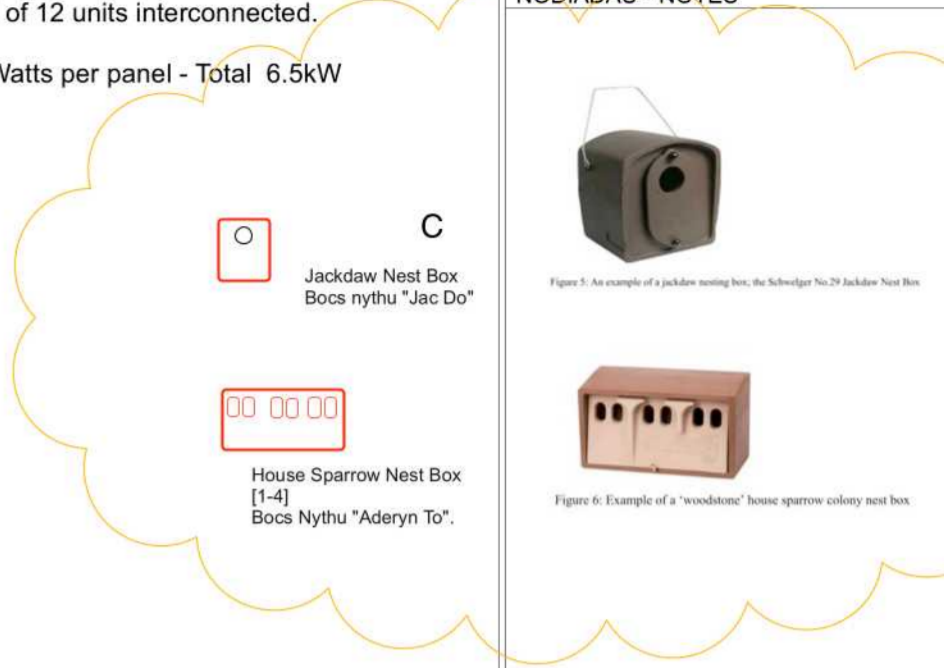
Option 1 :
Double doors 1800mm wide with
automatic opening and level threshold
compliant with DDA.

Gosod sianel dysgl concret
ar draws ac rhwng y golofn a'r
Gwli Presennol.
Gorffeniad Ashphalt ar gyfer
llwybrau, rhwng y drws newydd
a'r sianel dysgl.

Install new dish channel drainage
across entrance way into Centre.
Finish to new entrance area in asphalt
between entrance doors and new
channel drainage.

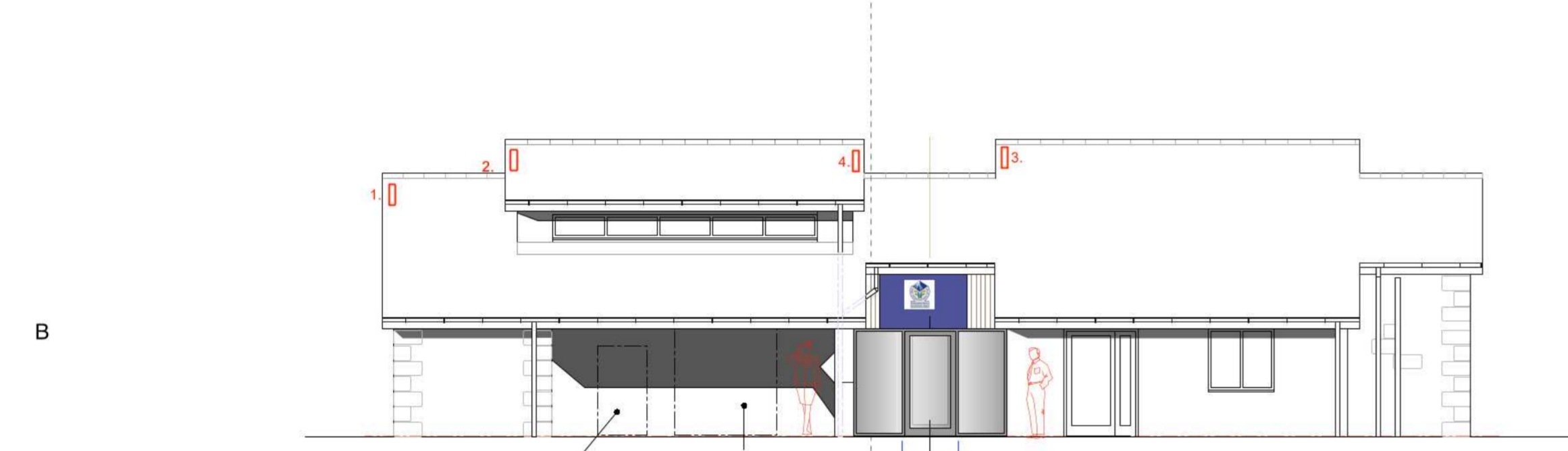
Trothwy isel ar gyfer mynediad i gadair Olwyn
Gyda sil lechen i gau'r bwloch at ochr allan y wal
allanol.

Level threshold to main entrance doors for
access, with slate sill externally to close gap
between new door and external wall.



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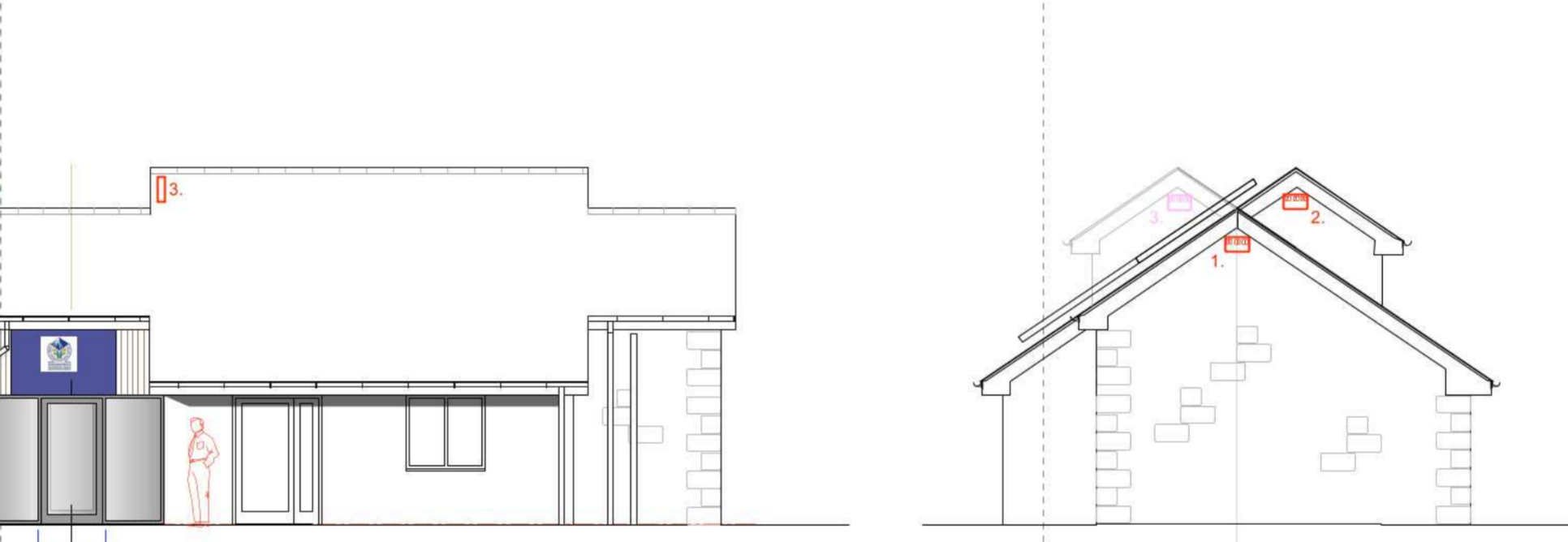
B

T1 02 EDRYCHIAD GOGLEDD [O'R STRYD] NORTH ELEVATION [FROM STREET]

Hysbysfwrdd Interactive
Standard SNP Interactive
Notice board

Hysbysfwrdd mawr
New Large External
Notice Board.

Gorffeniad Ashphalt ar gyfer
llwybrau, rhwng y drws newydd
a'r sianel dysgl.



B

Opisiwn 2:
Drws sengl Alwminiwm 1100mm o led
gyda system agor awtomatig.
Trothwy isel ar gyfer mynediad.

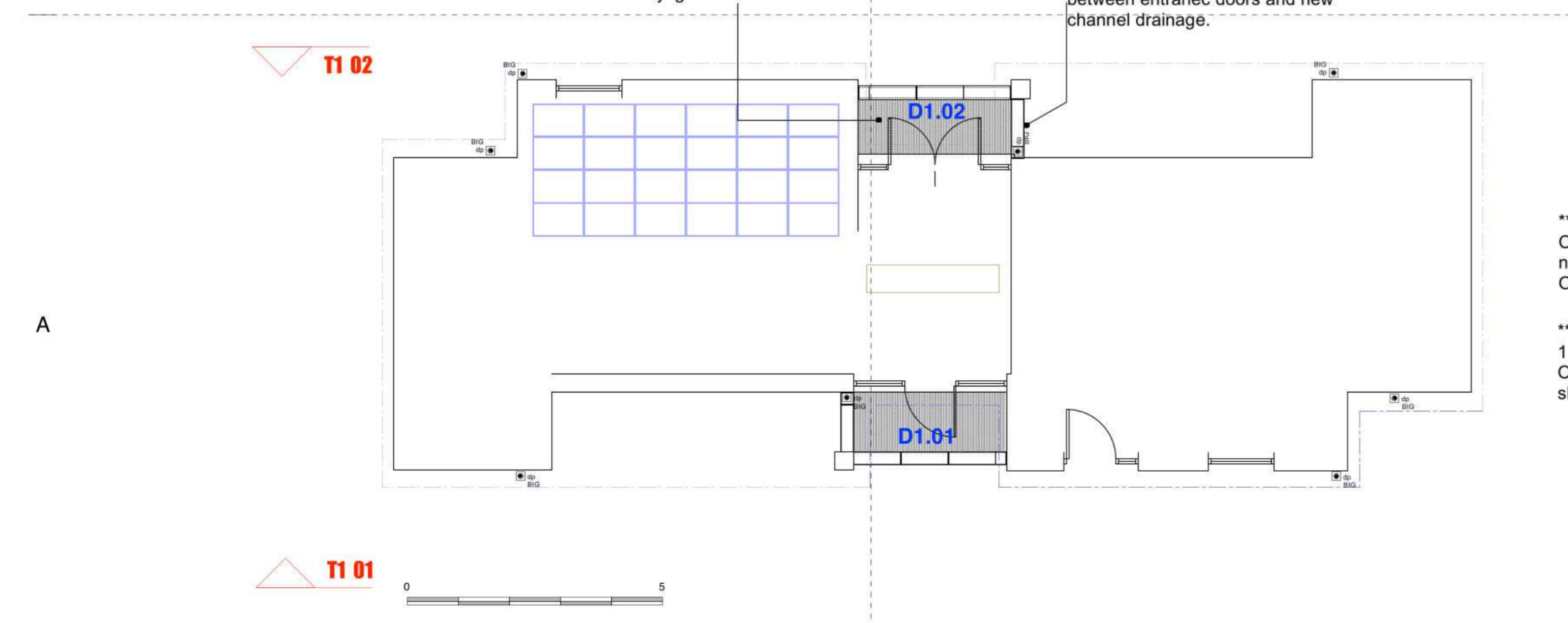
Option 2 :
Single doors 1100mm wide with
automatic opening and level threshold
compliant with DDA.

Gosod sianel 'dysgl' concret
ar draws ac rhwng y golofn a'r
Gwli Presennol

Install new dish channel drainage
across entrance way into Centre.
Finish to new entrance area in asphalt
between entrance doors and new
channel drainage.

Trothwy isel ar gyfer mynediad.

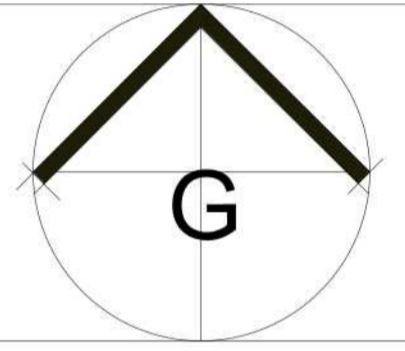
T1 03 EDRYCHIAD TALCEN 'DWYRAIN GABLE END ELEVATIONS



A

**Bwriedir ystyried Opisiwn 1 neu
Opisiwn 2 ar gyfer Blaen a Cefn,
neu efallai rhannu'r ddwy
Opisiwn fel y dangosir.

**Proposed to consider Option
1 or Option 2 for rear and front
Or install both Options as
shown.



PROSIECT • PROJECT
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2023-04

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03	230620	Nodyn paneli Solar / Notes PV
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Date	Description
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Revision i'r prosiect	2022-27
Project ID	2022-27
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1 OF

Snowdonia National Park Authority Date: 24-Jan-2024
– Planning & Access Committee

Application Number: NP5/57/LB587H

Date Application Registered: 24/03/23

Community: Dolgellau

Grid Reference: 272785 317908

Case Officer: Mr David Jones

Location:

Plas Isaf, Lion Street, Dolgellau. LL40 1DG

Applicant:

Ian Strain & Hanneke Heeres
 Plas Isaf
 Lion Street
 Dolgellau
 Gwynedd
 LL40 1DG

Description:

Removal of the existing timber boundary fence and erection of new 1 metre high stone boundary wall between Plas Isa Guesthouse and the Golden Lion Hotel, together with the installation of a new wooden gate between the existing stone pillars at the rear entrance to Plas Isa Guesthouse from the Marian Mawr car park

Summary of the Recommendation:

To REFUSE due to the harm to the special architectural and historic interest of the listed building.

Reason(s) Application Reported to Committee:

Dolgellau Town Council have expressed support for the application and under the scheme of delegation the application therefore needs to be referred to the planning committee.

Land Designations / Constraints:

Within development boundary of Dolgellau
 Listed Building
 Setting Listed Buildings
 Conservation Area
 Zone C1 Development Advice Map

Site Description:

This planning application relates to the rear of the Plas Isa Guest House which faces the public car park to the north. The property is a mid C18 House which is grade II listed as it is included under the grade II listing of the Golden Lion Royal Hotel. The planning history also indicates that Plas Isaf was historically part of the Golden Lion Hotel.

There is a Gwynedd Council car park to the north and there are a number of car parking spaces demarcated along the rear boundary of the site.

Proposed Development:

The proposed development entails two elements as follows:

- Removal of an existing ranch style fence along the boundary with the Golden Lion Royal Hotel and its replacement with 1-metre-high stone wall.
- Installation of a wooden gate. It appears that the proposal also includes the retention of a stone wall pillar on the eastern side of the gate.

Development Plan Policies:

Future Wales 2040

It appears there are no relevant policies in relation to this application.

Eryri Local Development Plan 2016-2031

- SP A National Park Purpose and Sustainable Development
- DP 1 General Development Principles
- SP Ff Historic Environment
- DP 6 Sustainable Design and Materials
- DP 7 Listed and Traditional Buildings

Supplementary Planning Guidance

- Supplementary-Planning-Guidance-1---Sustainable-Design-in-the-National-Parks-of-Wales
- Supplementary-Planning-Guidance-2---General-Development-Considerations

National Policy/Guidance:

- Planning Policy Wales (PPW), Edition 11 February 2021
- Technical Advice Note (TAN) 24: The Historic Environment

Consultations:

Consultees	Responses:
Dolgellau Town Council	Support the application on condition that the wooden gate opens inwards.

Senior Conservation Officer	<p>Does not support the construction of a new stone wall to replace the timber fencing. In the view of the Senior Conservation Officer the ensemble of properties associated with the adjacent Golden Lion Royal Hotel should remain unified, without any barriers in heavy masonry.</p> <p>It has been suggested to the applicant that they replace the existing timber post and rail fence with new timber of exactly the same height, section etc. maybe in a more durable hardwood with other resilience measures also suggested as well as planting trellis/hedge plants.</p> <p>In relation to the vehicular access, it is suggested that the gate should be constructed of metal as opposed wood, to match that present on the adjacent property. Indicates that there is also the potential to use a metal fence instead of a wooden fence along the boundary.</p> <p>Revised proposal reflecting the above were requested.</p>
Gwynedd Archaeological Planning Service (GAPS)	No comments.
Gwynedd Council Highways	No objection to this proposal; however, I would advise the applicant that if they intend to provide vehicular access to the site, they need to come to an agreement with the parking manager regarding the matter.

Response to Publicity:

The application has been publicised by way of a neighbour notification letters.

At the time of writing this report no observations have been received but the notification period has not expired.

Assessment:

1. Background

- 1.1. There is a separate report on this committee agenda in respect of a listed building consent for the same development.

2. Principle of Development

- 2.1. Strategic policy I supports the accommodation industry by encouraging the improvement, sustainability, and quality of visitor accommodation. In principle the development proposed is acceptable under the provisions of this policy.
- 2.2. Strategic policies A, Ff and policy DP 7 are also material and seek to ensure that development respects and enhances the historic environment including Listed Buildings which form an integral part of the character and the Special Qualities of the national park. A detailed assessment of this aspect is undertaken in the next section of this report.

3. Planning Assessment

3.1. Heritage Asset

- 3.2. There is a general presumption in favour of the preservation of a listed building and its setting, further for development proposals affecting a listed building or its setting, the primary material consideration is the statutory requirement to have special regard to the desirability of preserving the building and its setting.
- 3.3. The Plas Isaf building is a grade II listed building which was historically part of the Golden Lion Royal Hotel. This is reflected and explained in the listed building schedule which encompasses a group of buildings including Plas Isaf which are centred on the Golden Lion Royal Hotel. It is therefore considered that the courtyard area at the rear of these buildings, facing the public car park and then Afon Wnion should remain unified and open reflecting the historical associations.
- 3.4. The fence present along the boundary between Plas Isaf and the Golden Lion Royal Hotel is currently a lightweight low-level structure. The authority's Senior Conservation Officer considers that it's replacement with the masonry wall proposed would introduce a weighty and permanent division which would unacceptably erode the open appearance of the courtyard area associated with the listed buildings. It has been suggested to the applicant, that a more durable wooden fence including appropriate shrub planting would be an acceptable replacement.
- 3.5. In addition, the authority's Senior Conservation Officer does not consider the braced timber gate is appropriate in terms of its design and materials for a mid-18 century listed building in this location. It has been suggested that any new gate should metal and reflect the design and appearance of the railings present along the rear boundary of the Golden Lion Royal Hotel.

3.6. Other Matters

- 3.7. There is a Gwynedd Council car park to the north and there are a number of car parking spaces demarcated along the rear boundary of the site. Any vehicles accessing the rear of the Plas Isaf Guest House would need to enter/exit through these designated car parking spaces.
- 3.8. Gwynedd Council Highways have stated that the agreement of the Gwynedd Council Parking Manger will be required for any vehicular access onto the public car park to the rear of the Plas Isa Guest House. Dolgellau Town Council have expressed their support for the proposal but have requested that the gate with the public car park opens inwards only. At face value these are considered to comprise a civil issue between the respective parties.

4. Conclusion

- 4.1 The statutory and policy requirement is that regard is given to the effect of development on the desirability of preserving the listed building or its setting or any features of special architectural or historic interest. In this instance it is considered that the proposals would harm the special architectural and historic interest of the listed building.

Background Papers in Document Bundle No.1: No

RECOMMENDATION: To REFUSE for the following reason:

1. It is considered that the proposal would harm the special architectural and historic interest of the listed building and would contravene the provisions of policies A, Ff, 1, 6 and 7 of the Eryri Local Development Plan 2016-2031 and Planning Policy Wales (Edition 11).



Image 1



Image 2



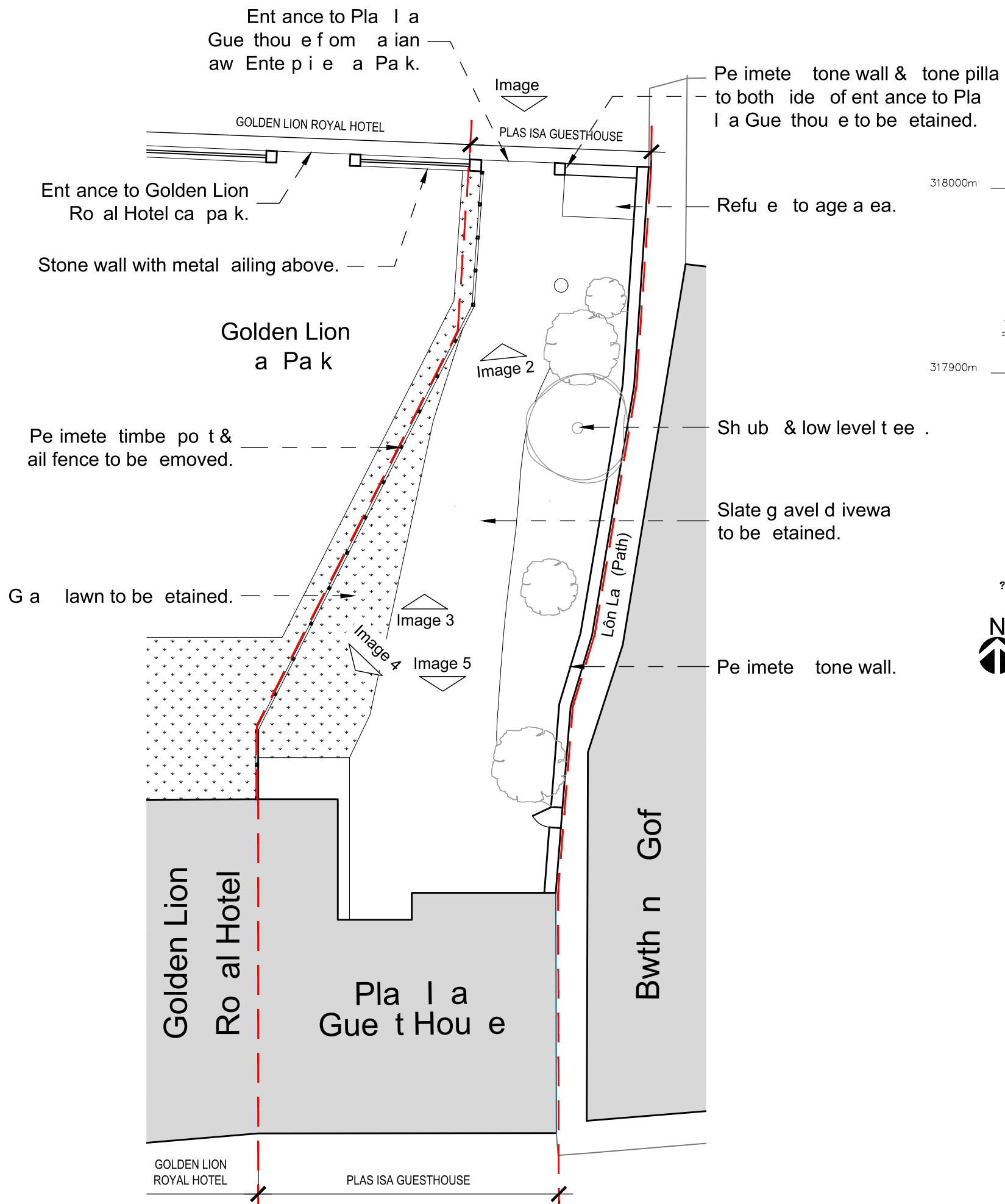
Image 3



Image 4



Image 5



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Location Plan
:2500

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Revi ion

Rev	Date	De c iption

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CATALINA

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e edigion, SY23 NP
Tel: 0 9 0 623480
email: enqui e @catalina.c m u

PROJECT
NEW STONE BOUNDARY WALL
AT PLAS ISA GUESTHOUSE
CLIENT
IAN STRAIN & HANNEKE HEERES

DRAWING TITLE
EXISTING PLANS & PHOTOS

JOB NUMBER	DRAWING NUMBER	REVISION
230	RE 0	
DRAWN D	CHECKED GW	
SCALE A hown @ A3	DATE FEB 2023	

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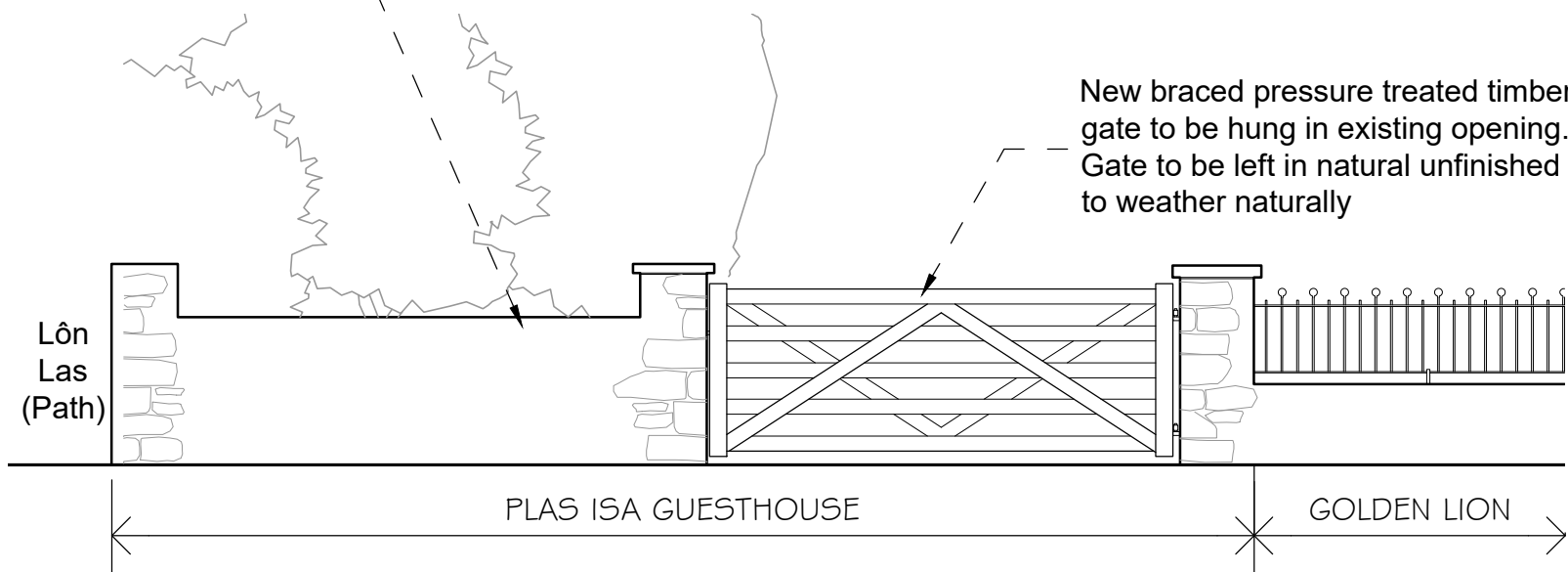
Existing Site Plan

:200



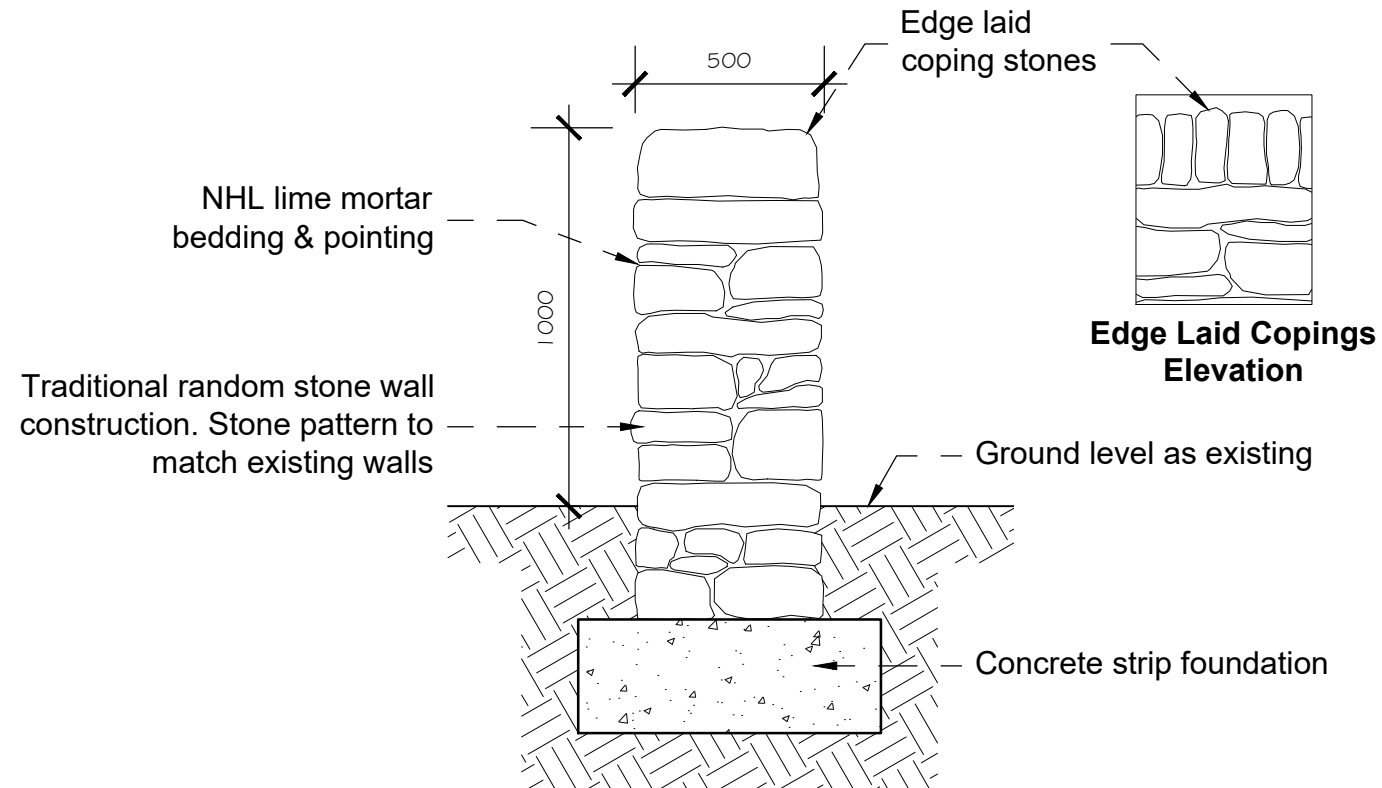
Rear Boundary Wall

Existing stone walls to be retained.



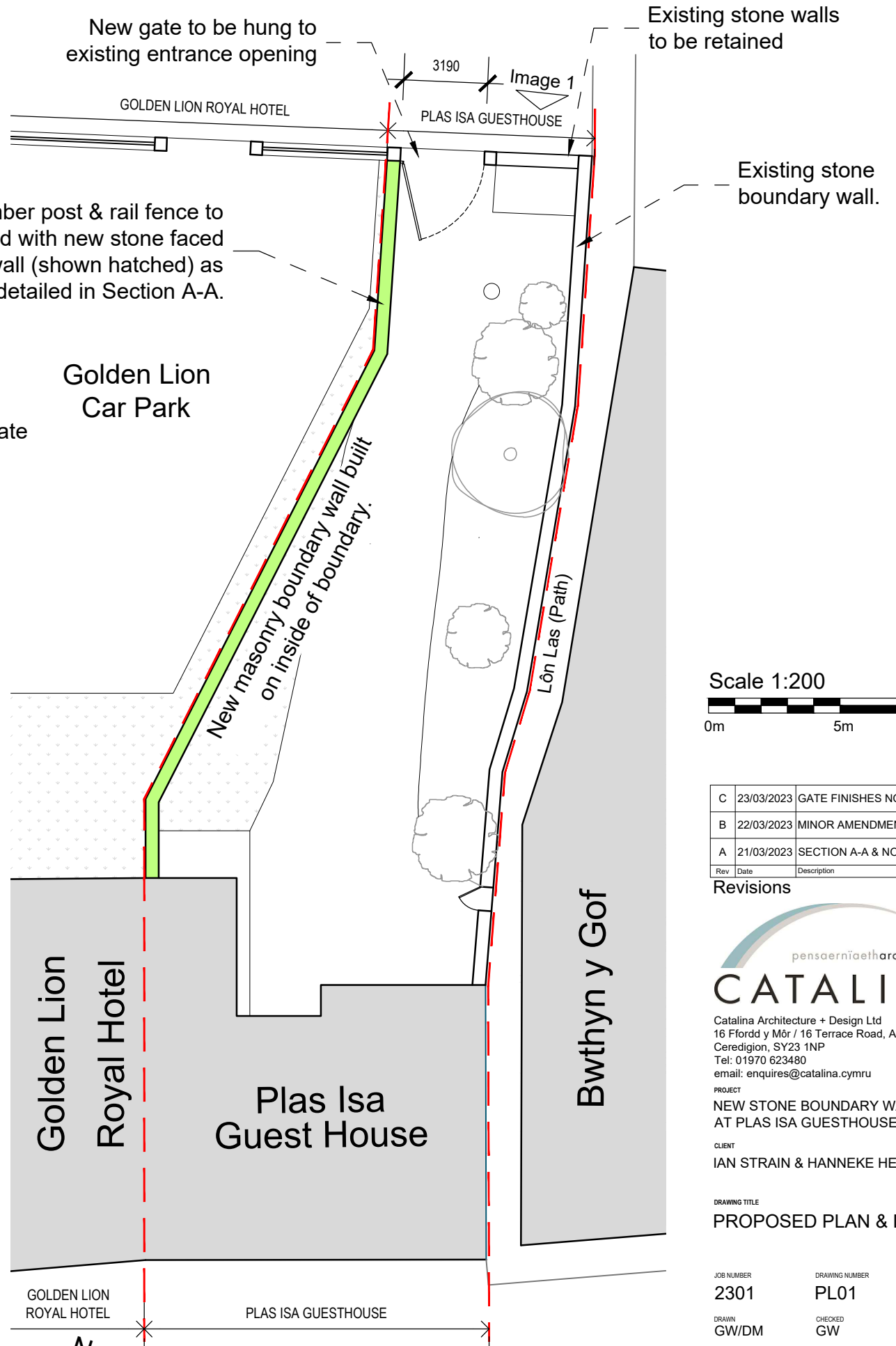
North Elevation - Plas Isa Rear Entrance

1:50



Section A-A - New masonry wall

1:20



Proposed Site Plan

1:200

Existing stone walls to be retained

Existing stone boundary wall.

Scale 1:200



Rev	Date	Description
C	23/03/2023	GATE FINISHES NOTE ADDED
B	22/03/2023	MINOR AMENDMENTS
A	21/03/2023	SECTION A-A & NOTES ALTERED.

Revisions



Catalina Architecture + Design Ltd
 16 Ffordd y Môr / 16 Terrace Road, Aberystwyth,
 Ceredigion, SY23 1NP
 Tel: 01970 623480
 email: enquires@catalina.cymru

PROJECT
NEW STONE BOUNDARY WALL AT PLAS ISA GUESTHOUSE

CLIENT
IAN STRAIN & HANNEKE HEERES

DRAWING TITLE
PROPOSED PLAN & DETAILS

JOB NUMBER	DRAWING NUMBER	REVISION
2301	PL01	C
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Snowdonia National Park Authority **Date: 24-Jan-2024**
– Planning & Access Committee

Application Number: NP5/57/LB587J

Date Application Registered: 24/03/23

Community: Dolgellau

Grid Reference: 272785 317908

Case Officer: Mr David Jones

Location:

Plas Isaf, Lion Street, Dolgellau. LL40 1DG

Applicant:

Ian Strain & Hanneke Heeres
 Plas Isaf
 Lion Street
 Dolgellau
 Gwynedd
 LL40 1DG

Description:

Listed Building Consent for the removal of the existing timber boundary fence and erection of new 1 metre high stone boundary wall between Plas Isa Guesthouse and the Golden Lion Hotel, together with the installation of a new wooden gate between the existing stone pillars at the rear entrance to Plas Isa Guesthouse from the Marian Mawr car park

Summary of the Recommendation:

To REFUSE due to the harm to the special architectural and historic interest of the listed building.

Reason(s) Application Reported to Committee:

Dolgellau Town Council have expressed support for the application and under the scheme of delegation the application therefore needs to be referred to the planning committee.

Land Designations / Constraints:

Within development boundary of Dolgellau
 Listed Building
 Setting Listed Buildings
 Conservation Area
 Zone C1 Development Advice Map

Site Description:

This application for Listed Building Consent relates to the rear of the Plas Isa Guest House which faces the public car park to the north. The property is a mid C18 House which is grade II listed as it is included under the grade II listing of the Golden Lion Royal Hotel. The planning history also indicates that Plas Isaf was historically part of the Golden Lion Hotel.

Proposed Development:

The works entail two elements as follows:

- Removal of an existing ranch style fence along the boundary with the Golden Lion Royal Hotel and its replacement with 1-metre-high stone wall.
- Installation of a wooden gate. It appears that the proposal also includes the retention of a stone wall pillar on the eastern side of the gate.

Development Plan Policies:

Future Wales 2040

It appears there are no relevant policies in relation to this application.

Eryri Local Development Plan 2016-2031

- SP A National Park Purpose and Sustainable Development
- DP 1 General Development Principles
- SP Ff Historic Environment
- DP6 Sustainable Design and Materials
- DP 7 Listed and Traditional Buildings

Supplementary Planning Guidance

- Supplementary-Planning-Guidance-1---Sustainable-Design-in-the-National-Parks-of-Wales
- Supplementary-Planning-Guidance-2---General-Development-Considerations

National Policy/Guidance:

- Planning Policy Wales (PPW), Edition 11 February 2021
- Technical Advice Note (TAN) 24: The Historic Environment

Consultations:

Consultees	Responses:
Dolgellau Town Council	Support the application on condition that the wooden gate opens inwards.

Senior Conservation Officer	<p>Does not support the construction of a new stone wall to replace the timber fencing. In the view of the Senior Conservation Officer the ensemble of properties associated with the adjacent Golden Lion Royal Hotel should remain unified, without any barriers in heavy masonry.</p> <p>It has been suggested to the applicant that they replace the existing timber post and rail fence with new timber of exactly the same height, section etc. maybe in a more durable hardwood with other resilience measures also suggested as well as planting trellis/hedge plants.</p> <p>In relation to the vehicular access, it is suggested that the gate should be constructed of metal as opposed wood, to match that present on the adjacent property. Indicates that there is also the potential to use a metal fence instead of a wooden fence along the boundary.</p> <p>Revised proposal reflecting the above were requested.</p>
Gwynedd Archaeological Planning Service (GAPS)	No comments.

Response to Publicity:

The application has been publicised by way of a neighbour notification letters. No observations have been received.

Assessment:

1. *Background*

- 1.1. There is a separate report on this committee agenda in respect of the planning application for the same development.

2. Principle of Development

- 2.1. Strategic policies A, Ff and policy DP 7 are material and seek to ensure that works respects and enhances the historic environment including Listed Buildings which form an integral part of the character and the Special Qualities of the national park. Development. A detailed assessment of this aspect is undertaken in the next section of this report.

3. Planning Assessment

3.1. Heritage Asset

- 3.2. There is a general presumption in favour of the preservation of a listed building and its setting, further for development proposals affecting a listed building or its setting, the primary material consideration is the statutory requirement to have special regard to the desirability of preserving the building and its setting.
- 3.3. The Plas Isaf building is a grade II listed building which was historically part of the Golden Lion Royal Hotel. This is reflected and explained in the listed building schedule which encompasses a group of buildings including Plas Isaf which are centred on the Golden Lion Royal Hotel. It is therefore considered that the courtyard area at the rear of these buildings, facing the public car park and then Afon Wnion should remain unified and open reflecting the historical associations.
- 3.4. The fence present along the boundary between Plas Isaf and the Golden Lion Royal Hotel is currently a light weight low-level structure. The authority's Senior Conservation Officer considers that it's replacement with the masonry wall proposed would introduce a weighty and permanent division which would unacceptably erode the open appearance of the courtyard area associated with the listed buildings. It has been suggested to the applicant, that a more durable wooden fence including appropriate shrub planting would be an acceptable replacement.
- 3.5. In addition, the authority's Senior Conservation Officer does not consider the braced timber gate is appropriate in terms of its design and materials for a mid-18 century listed building in this location. It has been suggested that any new gate should metal and reflect the design and appearance of the railings present along the rear boundary of the Golden Lion Royal Hotel.

4. Conclusion

- 4.1 The statutory and policy requirement is that regard is given to the effect of works on the desirability of preserving the listed building or its setting or any features of special architectural or historic interest. It is considered that the works would harm the special architectural and historic interest of the listed building.

Background Papers in Document Bundle No.1: No

RECOMMENDATION: To REFUSE for the following reason:

1. It is considered that the works would harm the special architectural and historic interest of the listed building and would contravene the provisions of policies A, Ff, 1, 6 and 7 of the Eryri Local Development Plan 2016-2031 and Planning Policy Wales (Edition 11).



Image 1



Image 2



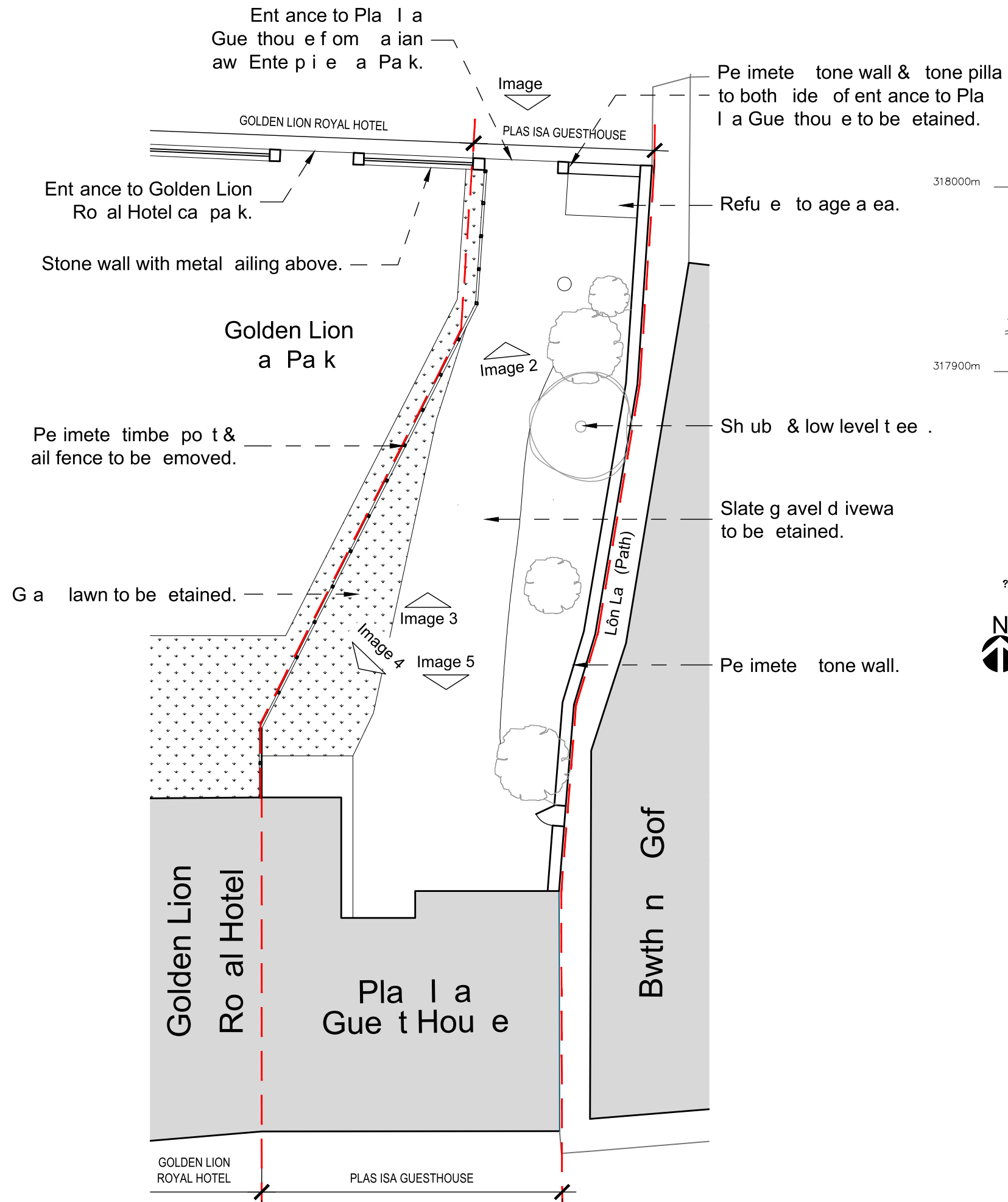
Image 3



Image 4



Image 5



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Location Plan pensaerniaetharchitecture
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Rev	Date	De c iption



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email: enqui e @catalina.c m u

PROJECT
NEW STONE BOUNDARY WALL
AT PLAS ISA GUESTHOUSE
CLIENT
IAN STRAIN & HANNEKE HEERES

DRAWING TITLE
EXISTING PLANS & PHOTOS

JOB NUMBER	DRAWING NUMBER	REVISION
230	RE 0	
DRAWN D	CHECKED GW	
SCALE A hown @ A3	DATE FEB 2023	

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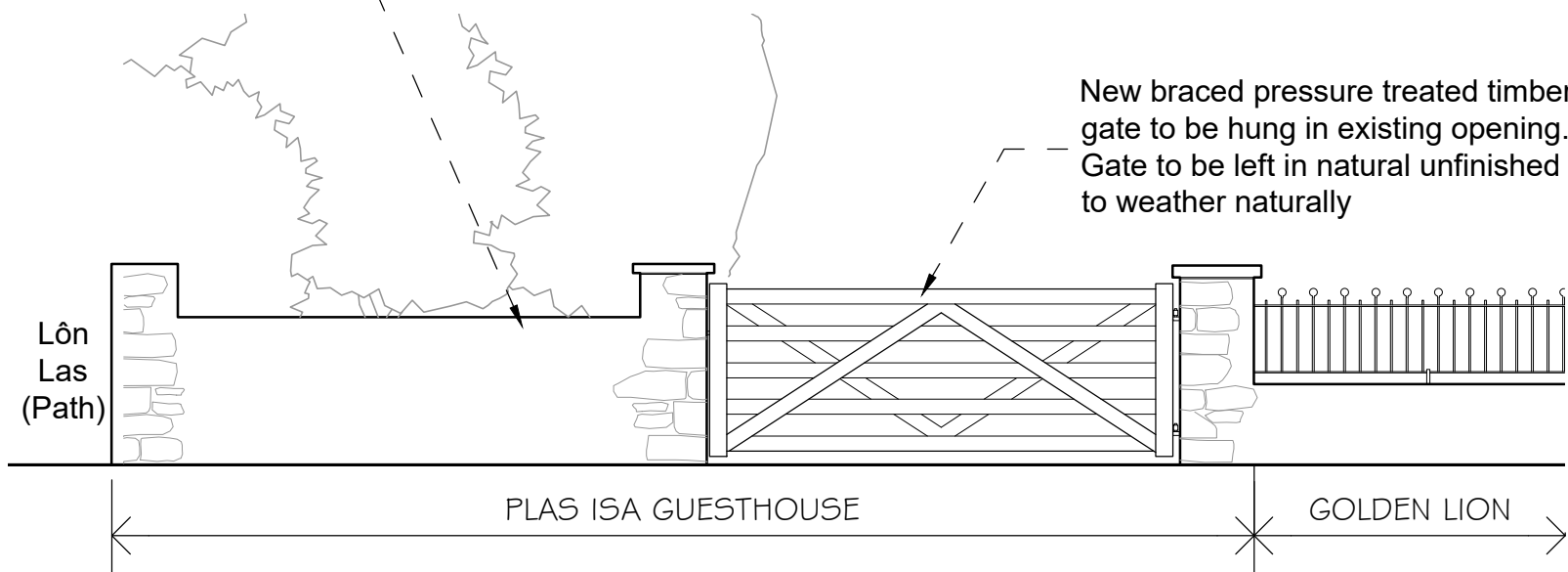
Existing Site Plan
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Filename: 2301 PLAS ISA 20FEB2023.DWG Printed: 03/02/23



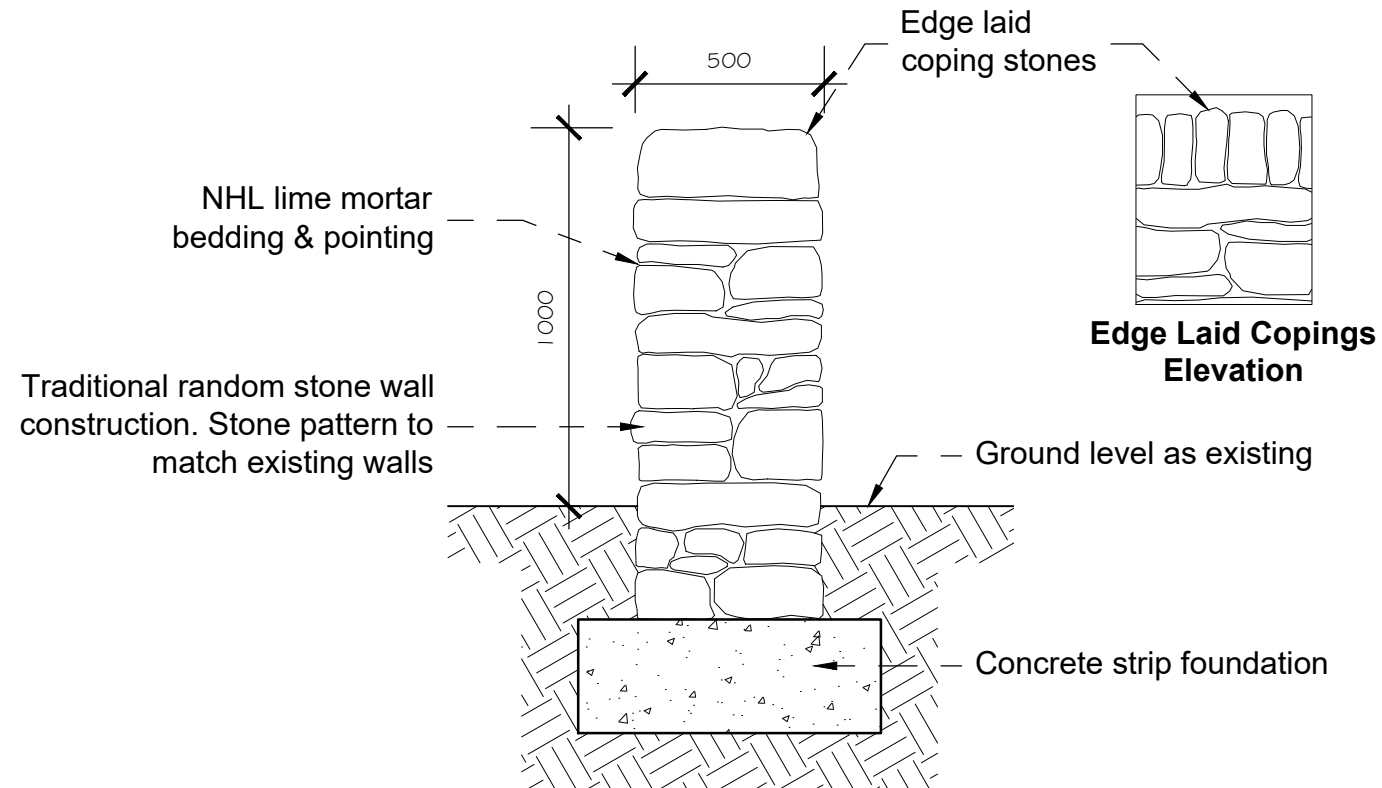
Rear Boundary Wall

Existing stone walls to be retained.



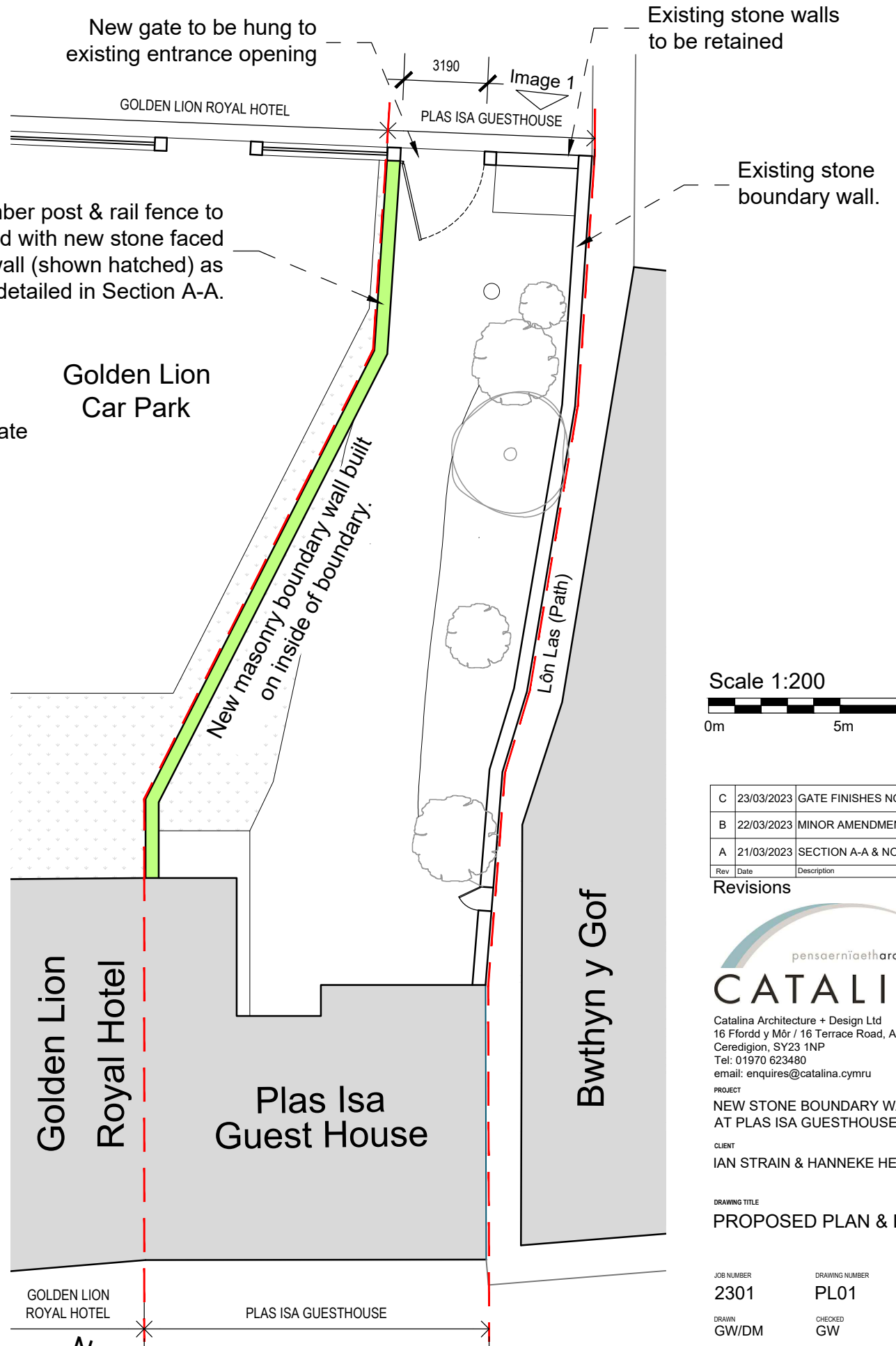
North Elevation - Plas Isa Rear Entrance

1:50



Section A-A - New masonry wall

1:20



Proposed Site Plan

1:200

Existing stone walls to be retained

Existing stone boundary wall.

Scale 1:200



Rev	Date	Description
C	23/03/2023	GATE FINISHES NOTE ADDED
B	22/03/2023	MINOR AMENDMENTS
A	21/03/2023	SECTION A-A & NOTES ALTERED.

Revisions



Catalina Architecture + Design Ltd
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PROJECT
NEW STONE BOUNDARY WALL AT PLAS ISA GUESTHOUSE

CLIENT
IAN STRAIN & HANNEKE HEERES

DRAWING TITLE
PROPOSED PLAN & DETAILS

JOB NUMBER	DRAWING NUMBER	REVISION
2301	PL01	C
DRAWN GW/DM	CHECKED GW	
SCALE As shown @ A3	DATE FEB 2023	

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Snowdonia National Park Authority **Date: 24-Jan-2024**
– Planning & Access Committee

Application Number: NP5/73/LB425D

Date Application Registered: 27/10/23

Community: Maentwrog

Grid Reference: 265510 340635

Case Officer: Swyddog Cadwraeth

Location:

Plas Tan-y-Bwlch, Maentwrog. LL41 3YU

Applicant:

Mr. Edward Jones,
 Awdurdod Parc Cenedlaethol Eryri
 Swyddfa'r Parc Cenedlaethol
 Penrhyndeudraeth
 Gwynedd
 LL48 6LF

Description:

Listed Building Consent for repairs to the existing buttress and parapet structures on the side elevation of the main property and carrying out repairs to the rainwater outlets

Summary of the Recommendation:

To GRANT Listed Building Consent subject to conditions relating to:

- Start work within 5 years.

The Authority's decision will be subject to agreement by CADW that the application can be determined by the Authority.

**Reason(s) Application Reported to Committee:
 Scheme of Delegation**

The application is submitted by the Authority and the building subject to the application is also within the ownership of the Authority.

Land Designations / Constraints:

Grade II* building, lying within the Slate Landscape of Northwest Wales (SLNWW) World Heritage Site (WHS).

Site Description:

Plas Tan Y Bwlch is an important and imposing historic building within the Slate Landscape of Northwest Wales (SLNWW) World Heritage Site (WHS) that covers this area. The house is a large and prestigious historic residence, well preserved and originally belonging to the Oakley family, owners of local quarries. Largely constructed in the late C19th, the architecture is typically gothic in style, and is built of stone with steeply pitched slate roofs and castellated embellishments. The walls are of semi-courses stone with fine joints, and the larger building complex comprises an array of wings with various functions, together with service outbuildings such as stables. The stone walls also extend into the grounds to form boundaries and stone flagged terraces. The property and its estate, associated also with the Ffestiniog and Welsh Highland Railway, embody great historic and architectural significance within the local area. Although most of the current visible construction is C19 in date, the remains of an earlier C18-early C19 structure are discernible within the fabric.

Plas Tan Y Bwlch is designated as a Grade II* Listed building. The reason for designation is cited as – *“Listed as a fine gentry mansion, its architectural character dominated by late C19 castellated Tudor gothic work, but incorporating elements of an earlier house, also mildly gothic in character. The house is prominently sited in a fine landscaped setting, and forms the historic centre-piece of an important estate and its landscape”*.

Proposed Development:

This application is for Listed Building Consent for repairs to the existing buttress and parapet structures on the side elevation of the main property and carrying out repairs to the rainwater outlets.

The gothic parapets and machicolations are a key feature of the building’s gothic revival styling, reinforced by the presence of a plethora of tall, corbelled chimneys that collectively animate the building’s roofscape. This application addresses the need to find a sustainable solution for coping the top of the walls and the parapets with a more durable stone material. The worst affected areas are on the East facing elevation, which has presumably been caused by increased frost-related damage, due to the colder east winds.

Development Plan Policies:

Eryri Local Development Plan 2016-2031

- SP A National Park Purposes and Sustainable Development
- DP 1 General Development Principles
- DP 2 Development and the Landscape

- SP Ff Historic Environment
- DP 6 Sustainable Design and Materials
- DP 7 Listed and Traditional Buildings

Supplementary Planning Guidance

- SPG 1 – Sustainable Design in the National Parks of Wales
- SPG 6 – Nature Conservation and Biodiversity
- SPG 14 – Obtrusive Lighting (Light Pollution)

National Policy/Guidance:

- Planning Policy Wales 11 (2021)
- Technical Advice Note 12: Design (2016)
- Technical Advice Note 24: The Historic Environment (2017)
- Cadw Best Practice Guidance:
 - Managing Change to Listed Buildings in Wales (2017)
 - Managing Historic Character in Wales (2017)
 - Heritage Impact Assessment in Wales (2017)
 - Historic Environment Records in Wales: Compilation and Use (2017)
 - Setting of Historic Assets in Wales (2017)

Consultations:

Community Council	No comments received
Gwynedd Archaeological Planning Service	No comments received
Natural Resources Wales	No comments received
SNPA Ecologist	No comments received
Gwynedd Council -Highways	No comments received
Gwynedd Council - Environment Health	No comments received
Dwr Cymru/Welsh Water	No comments received
Amenity Societies	No comments received

Response to Publicity:

The application has been publicised by way of a site notice, neighbour notification letters and press notice.

At the time of writing this report no comments have been received.

Assessment:

1. *Principle of Development*

1.1 From a conservation planning point of view in relation to developments such as this, consideration of the submission is informed by Planning Policy Wales (11th edition), in particular Chapter 6. Local guidance is published in the Eryri Local Development Plan (ELDP) 2016-31, policies of relevance being Strategic Policy Ff and planning policies DP6-DP9. This guidance states that great weight should be given to the conservation of the heritage asset(s) when determining development applications; also that any harm posed to the significance of an asset or its setting should be clearly justified by the delivery of identifiable public benefits. Historic buildings are a unique and finite resource – once lost it is often impossible to reinstate original fabric, or to reclaim an aspect of its character and appearance, or setting. For this reason, it is important to preserve significant historic material, and any associated positive aspect of setting, as far as practicable.

2. *Planning Assessment*

2.1 The conservation officer visited the site in September 2023, where it was noted that the building was scaffolded, with some emergency repairs being underway to address the issue of falling masonry. Unfortunately, the shale stone originally utilised to cope the top of the walls and machicolated parapets has proven too weak and insubstantial for the task.

- 2.2 Forest of Dean sandstone will be used for the repairs, this is considered acceptable as it will closely match the buff-coloured stone that has been utilised for the window and door dressings on the principal south-facing elevation of the main building, where a more durable and mouldable stone was required. The shale stone does not possess the required durability for stones that are required to withstand the weathering forced experienced by exposed coping stones. A close grained, hard sandstone such as the Forest of Dean rock will be sufficiently durable. In addition, a lead flashing will be placed mid way between the two stage coping, in order to promote improved drainage, and to reduce saturation in the wall heads. Where the original lead valley gutter has become degraded, the lead will be either repaired or re-laid. Each coping has pronounced mouldings, so it had to be a stone that was durable and mouldable, as per the choice that was made collectively.
- 2.3 The areas of stonework underneath the failed copings which have become saturated as a result will also be repointed. Any stone from the main wall fabric will be replaced in a good grade of shale stone from the local Trawsfynydd quarry – the same petrology as the present shale stone. Similar repairs will be undertaken to any of the gable copings that have failed. Where the copings are in a stable but compromised condition, these will acquire a lead flashing – in order to extend their life, without the necessity of carving entirely new copings. It has also been decided to take down the vertical stone fabric of the parapets, dismantling it to the valley gutter level in order to re-establish the integrity of these elements. Exclusively a hot lime mix will be used for the mortar in order to aid its durability and consistency. The cement render to the rear of the lower parapets will be hacked off and the underlying stone made good or replaced, in order to aid breathability and drying.
- 2.4 The specification for the lower parapet lead valley gutter will also be improved, with increased catchpits being constructed where necessary. The old catchpits are insufficiently sized to accommodate the increased intensity of rainfall caused by global warming. New cast iron hopper heads will be added where required, and overflows for if / when the gutters become blocked. Two alternative options have been put forward. Either looks sustainable from a practical point of view, whilst Option 2 looks to be slightly more sophisticated. In both cases, the height of the outlet will be raised above the level of the floor of the gutter, in order to avoid flooding associated with the build-up of debris in the base of the valley. The accumulation of debris in the gutters is inevitable due to the wooded setting to the rear of the property. Either option is viable, whilst the Authority is happy to move forward with Option 1. Henceforth the gargoyles will assume a decorative, rather than a practical, function – a necessary move due to their insufficient specification as rainwater chutes.

- 2.5 In addition to the repair of the parapets, hoppers and gutters, the stone masonry buttress to the side of the building will be repaired also. This will be undertaken employing minimally intrusive modern repair methods, plus traditional methods and materials – this is acceptable. The buttress has started to come away from the main structure, and needs to be tied back into it with the tried and tested solution of cintec anchors. The repairs as a whole will be limited to one side of the building, and so the impact of the works is limited. The lime to be used for the repairs is an NHL 3.5 – rather hard, but suited to the task in terms of its durability and resistance to weathering and saturation.

3. Conclusion

- 3.1 The proposed renovations at this grade II* listed buildings are considered to be acceptable in relation to the above national legislation, and local conservation planning guidance. The works are well thought out and considered, and will assist the ongoing conservation of the building with the proposed items integral to the need to maintain the building in a state of good repair. The works are also urgently required in order to prevent the structure becoming unsafe, and to ensure that Plas Tan y Bwlch continues to function and to contribute to the life, culture and economic vitality of the national park.
- 3.2 The application for Listed Building is sustainable in relation to both the primary legislation contained in the Planning (Listed Buildings and Conservation Areas) Act 1990 / Historic Environment (Wales) Act 2016, to the policies of the Eryri Development Plan (2016-2031) and to Technical Advice Note 24: The Historic Environment (2017). The proposals should therefore be approved, in accordance with the conditions stipulated below. No technical conditions are required, due to the detailed nature of the specifications for the work that have been appended to the application.

Background Papers in Document Bundle No.1: No

RECOMMENDATION: To GRANT permission subject to the following conditions:

1. The development hereby permitted shall be commenced before the expiration of FIVE years from the date of this decision.

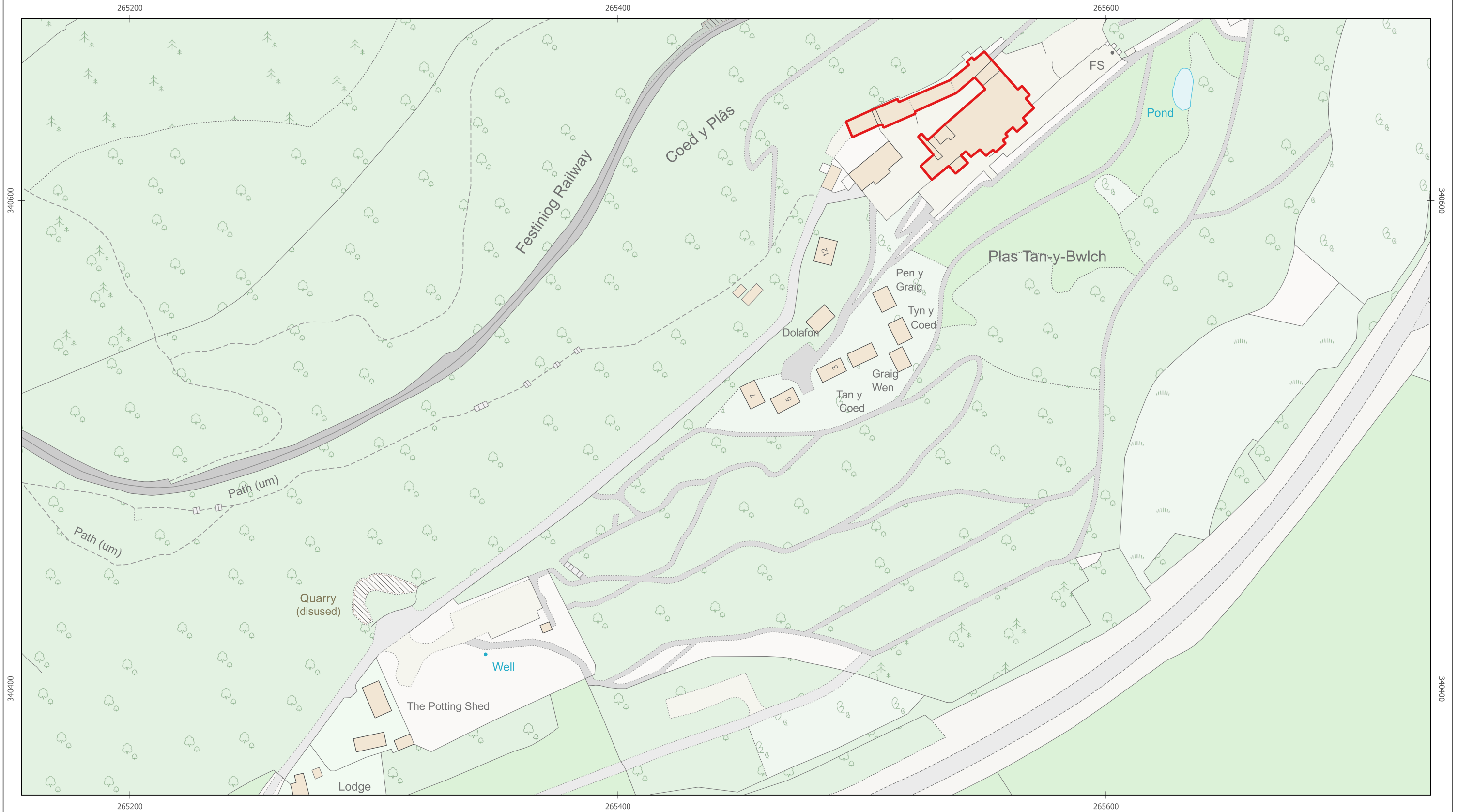
2. The development hereby permitted shall be carried out in accordance with the following approved plans and documents:

- Design & Access Statement (Rev. A) 07/11/23
- Heritage Statement (Rev. A) 07/11/23
- PTYB A3 OS Location Plan
- LB005 (Rev. 5) Proposed Parapet Stone Repairs
- LB006 Roof Plan Rainwater Outlets
- LB007 Elevations A1 to B2 Outlets
- LB008 Elevation B1, C1 and D1 Outlets
- LB009 Elevation D1 / Gargoyle Detail
- LB011 Option 1 Outlet Detail
- LB012 Existing Catchpit Detail Examples
- LB014 Gable B, C & D Stone Repairs
- Plas Tan Y Bwlch OS Location setting 1:1500
- Plas Tan Y Bwlch OS 1:500

Reasons:

1. To comply with Section 18(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990.
2. For the avoidance of doubt and to comply with Section 18(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990.

Plas Tan y Bwlch



Graddfa / Scale: 1:1,500

Creawdwr / Creator: Enya Lester
 Dyddiad / Date: 13/10/2023



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 Swyddfa'r Parc Cenedlaethol ~ National Park Office
 Penrhyndeudraeth
 Gwynedd
 LL48 6LF

☎ 01766 770274



Plas Tan y Bwlch

265500

265550

265600

Allwedd / Key

 Land Registry - National Park ownership

340650

340650

FS

340600

340600

265500

265550

265600

Graddfa / Scale: 1:500

Creawdwr / Creator: Enya Lester


Dyddiad / Date: 13/10/2023



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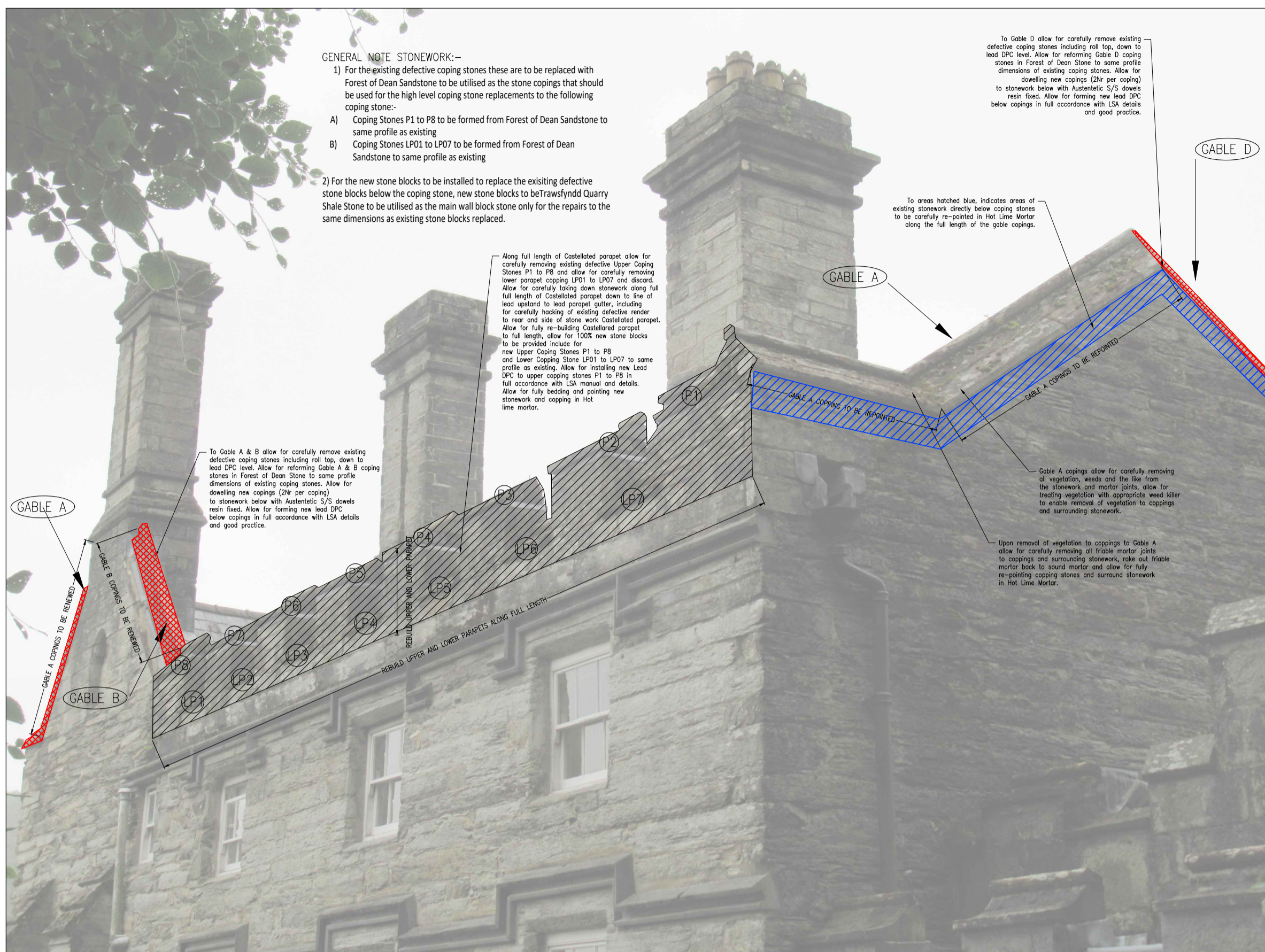


PHOTO 01

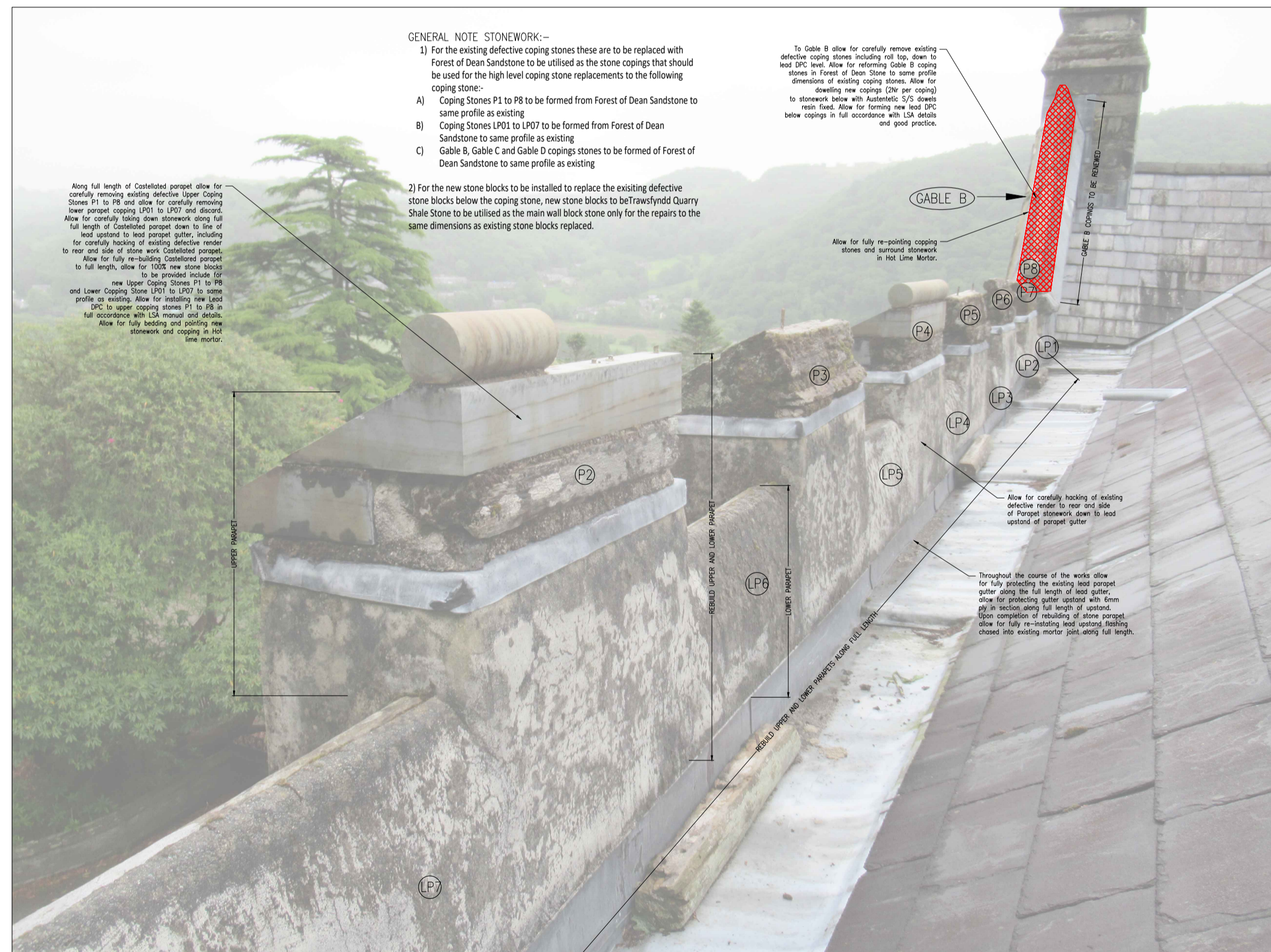


PHOTO 02



PHOTO 03



A	Gable B, Gable C and Gable D additional stonework repairs added	LS	07.11.23
REV.		CHKD.	DATE

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Project: Plas Tan Y Bwlch Maentwrog
Drawing Title: Stonework and RW Repair Work Plas Tan Y Bwlch Proposed Parapet Stone Repairs

Drawing No.	221106/ LB005	Rev.	A
Scale @ A1	NTS	Drawn	PW
Status	LB	Checked	LS
		Date	15.05.23
		Design	LS

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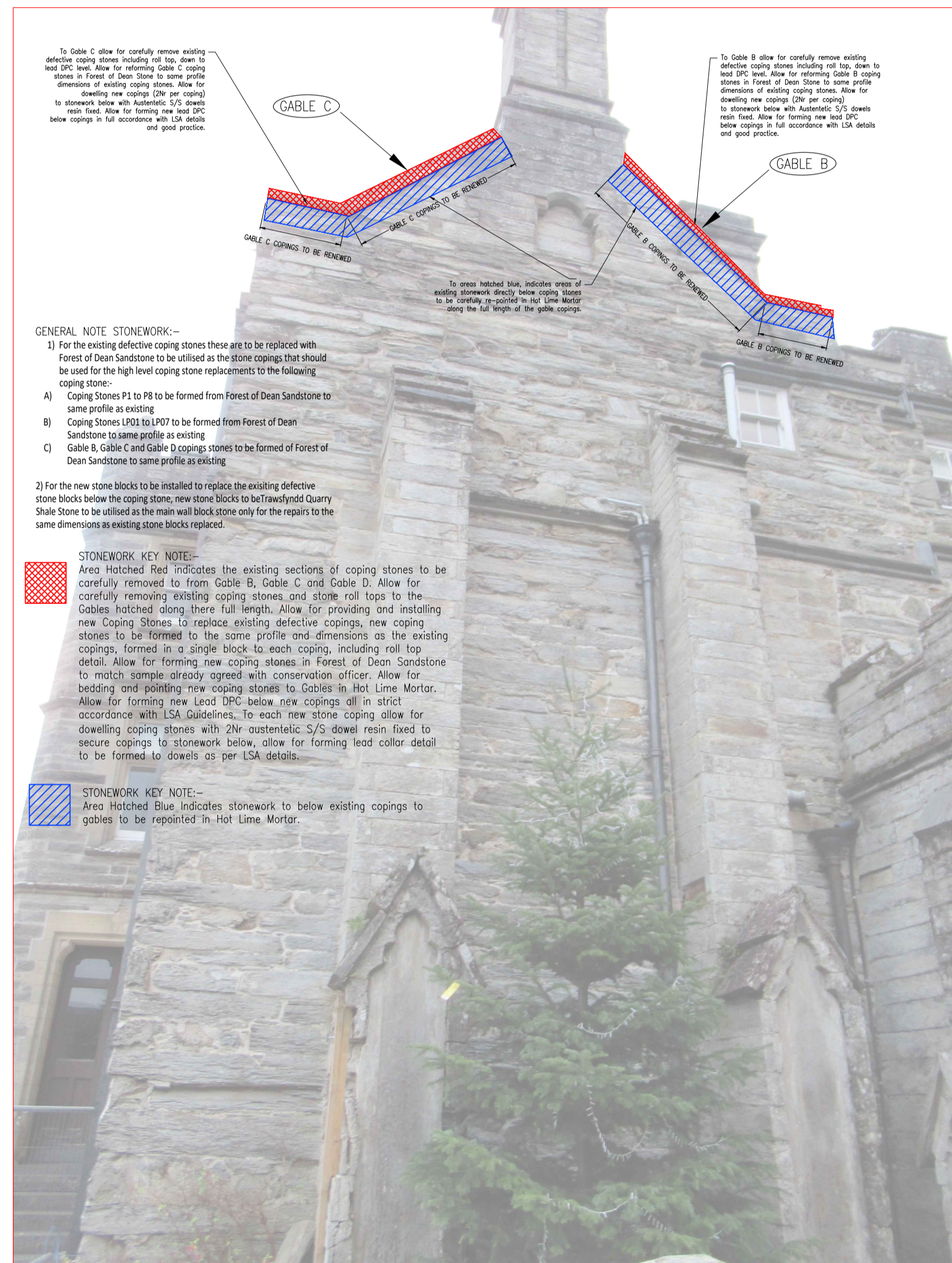


PHOTO 04

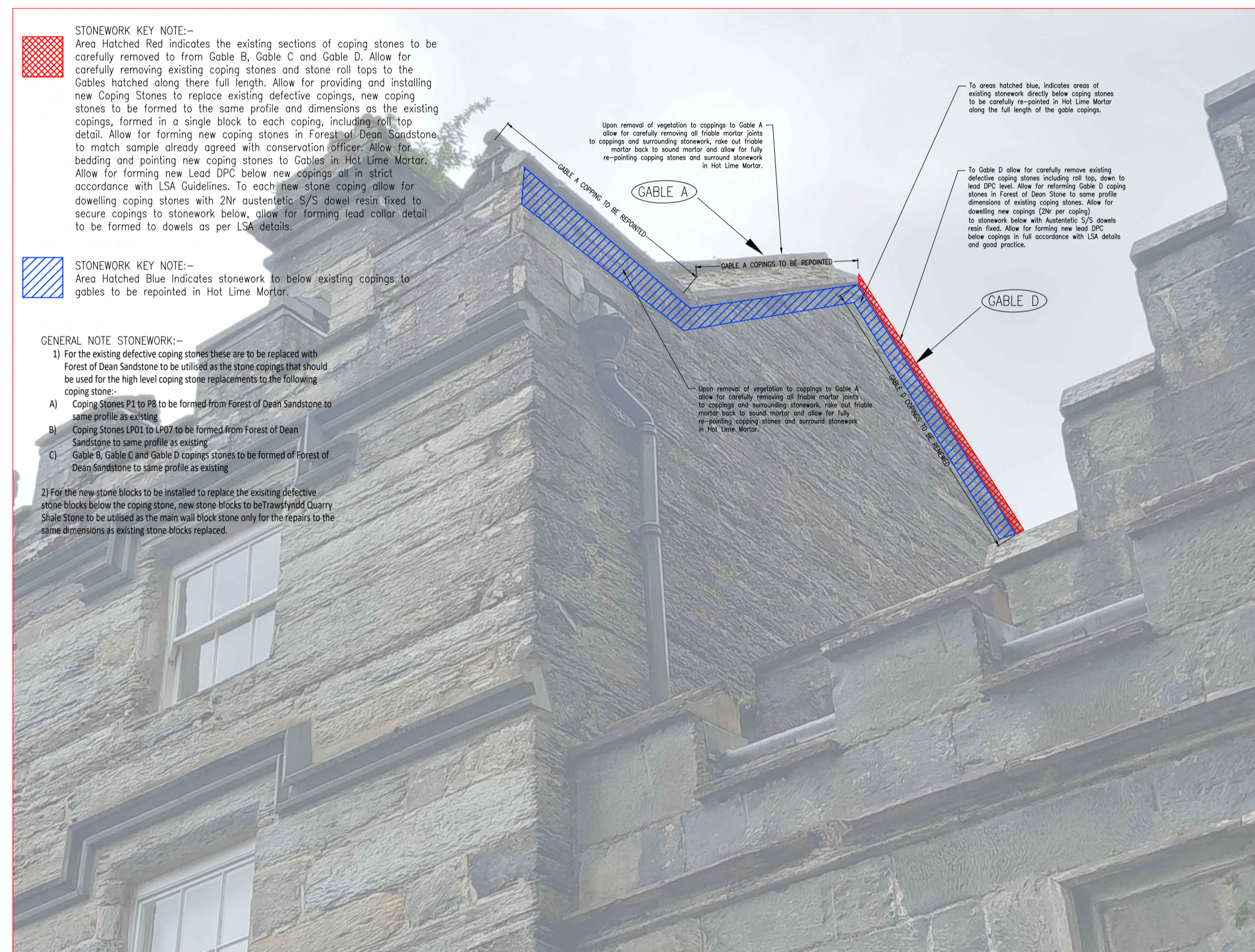


PHOTO 05



REV.	CHKD.	DATE

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Project: Plas Tan Y Bwlch Maentwrog
Drawing Title: Stonework and RW Repair Work Plas Tan Y Bwlch Gable B,C & D Stone Repairs

Drawing No.	221106/ LB014	Rev.	
Scale @ A1	NTS	Drawn	PW
Status	LB	Checked	LS
Date	07.11.23	Design	LS

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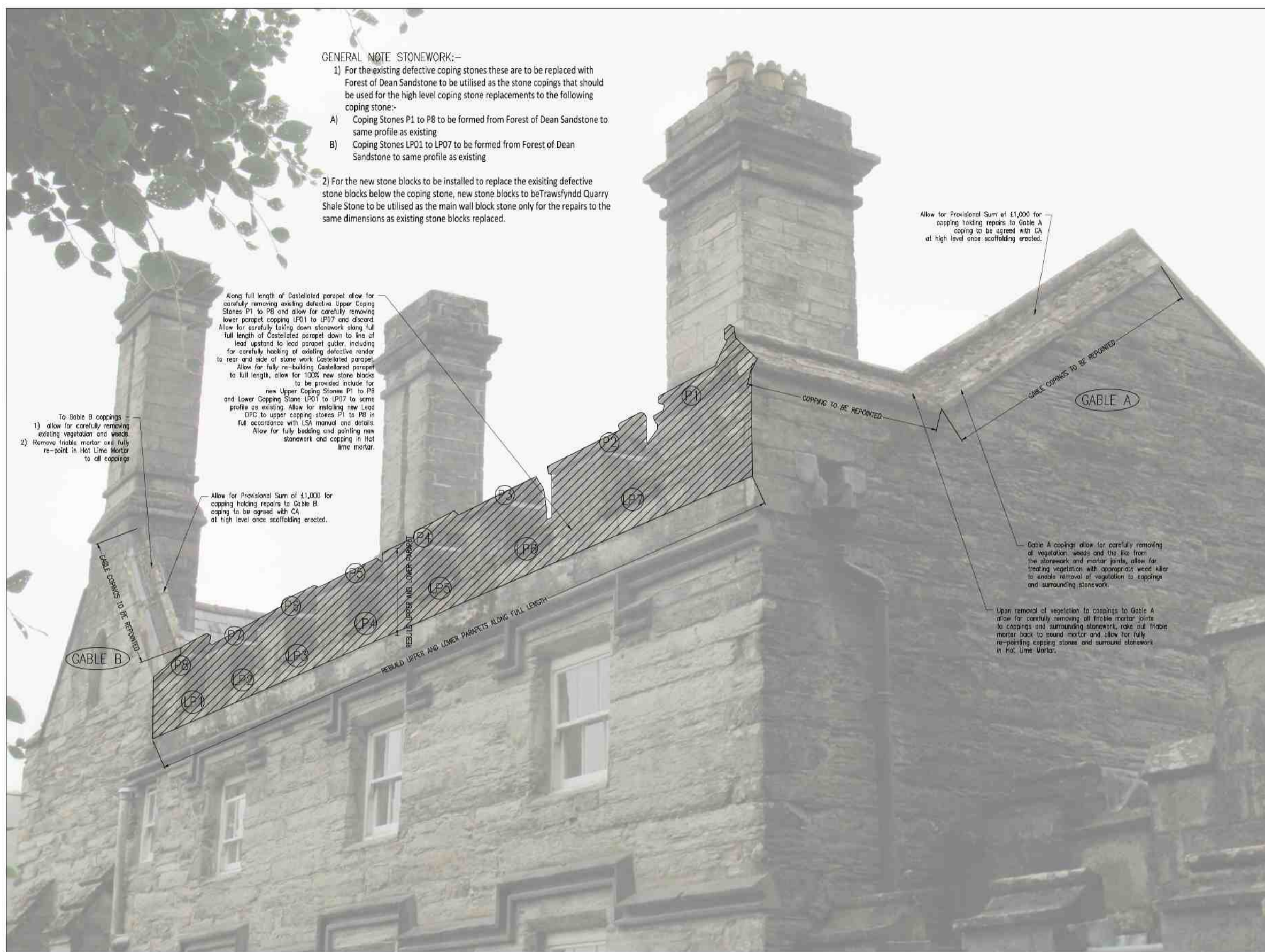


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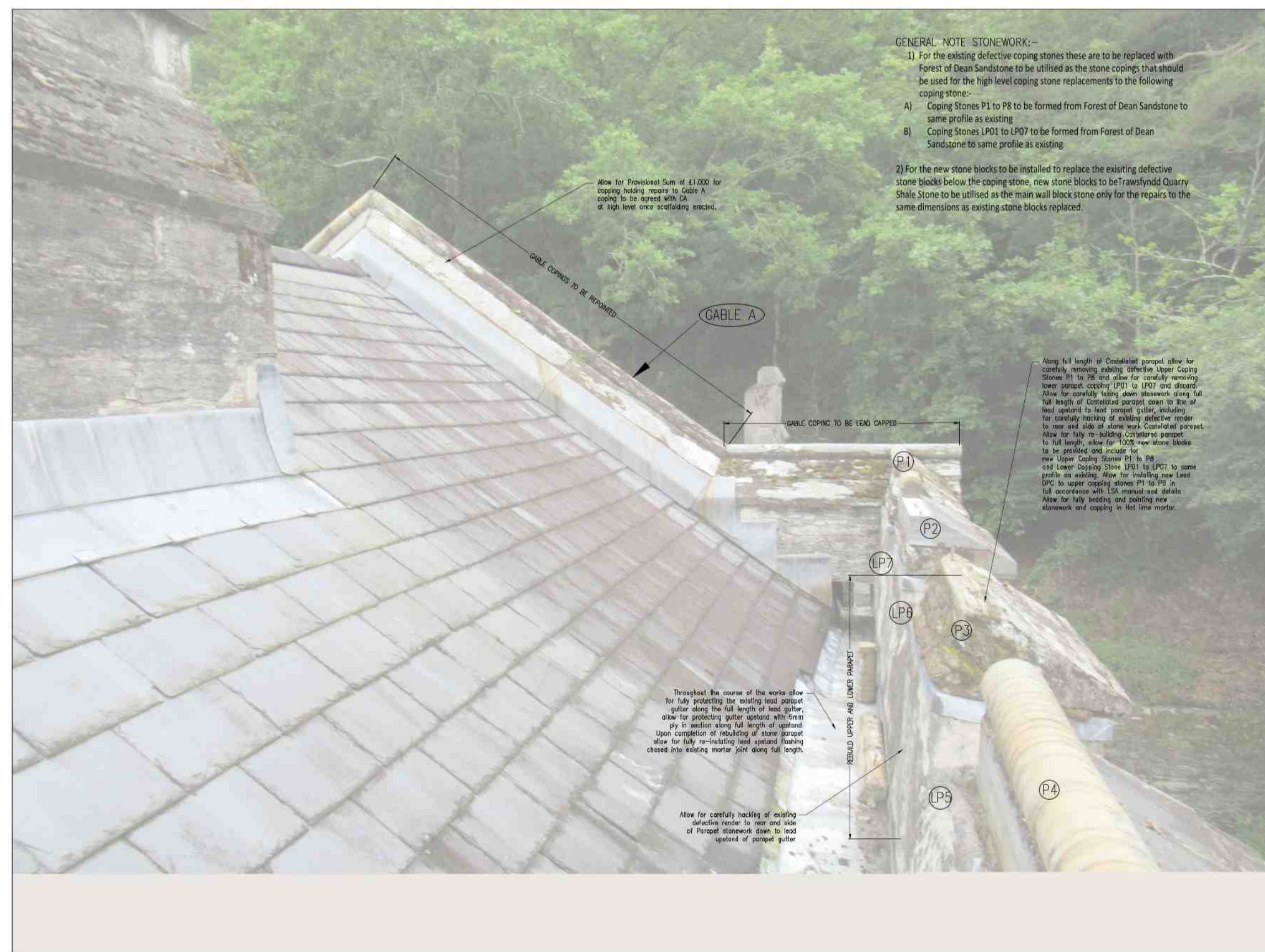


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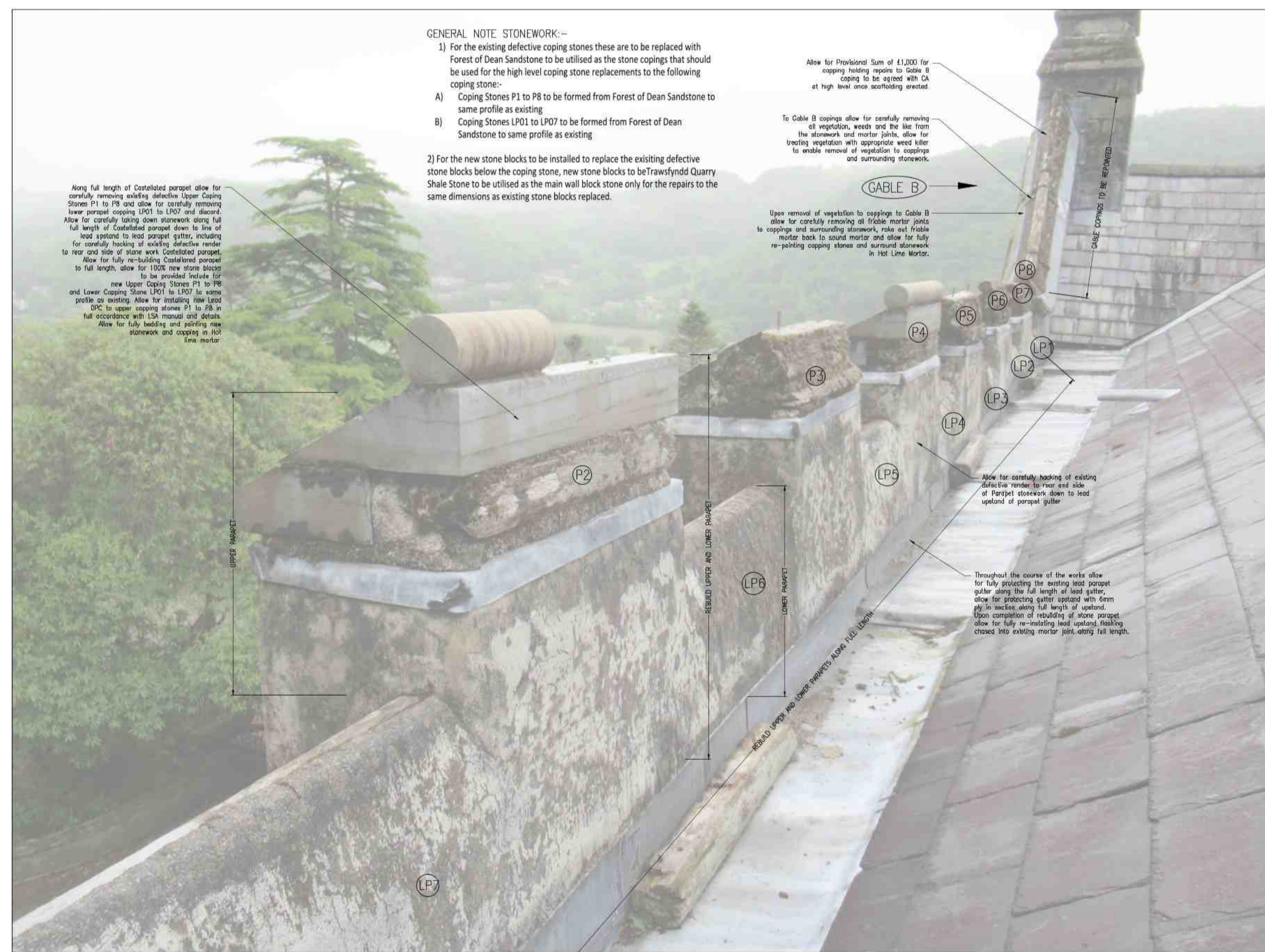
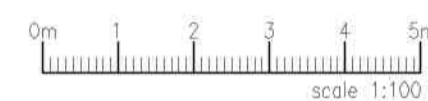


PHOTO 02



REV.	CHKD.	DATE

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Project: Plas Tan Y Bwlch Maentwrog
Drawing Title: Stonework and RW Repair Work Plas Tan Y Bwlch Prpped Parapet Stone Repairs

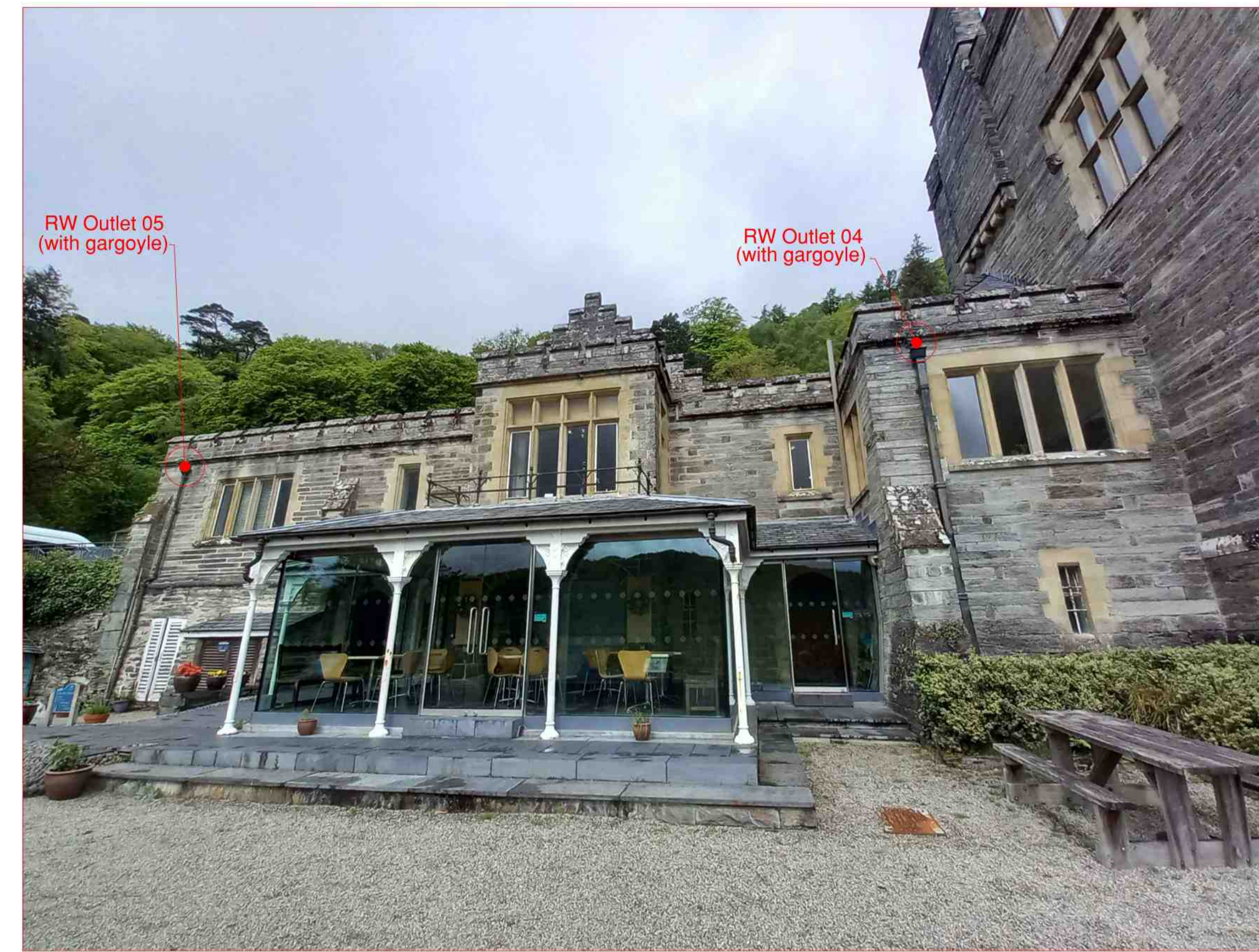
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Status	LB	Checked LS	Design LS

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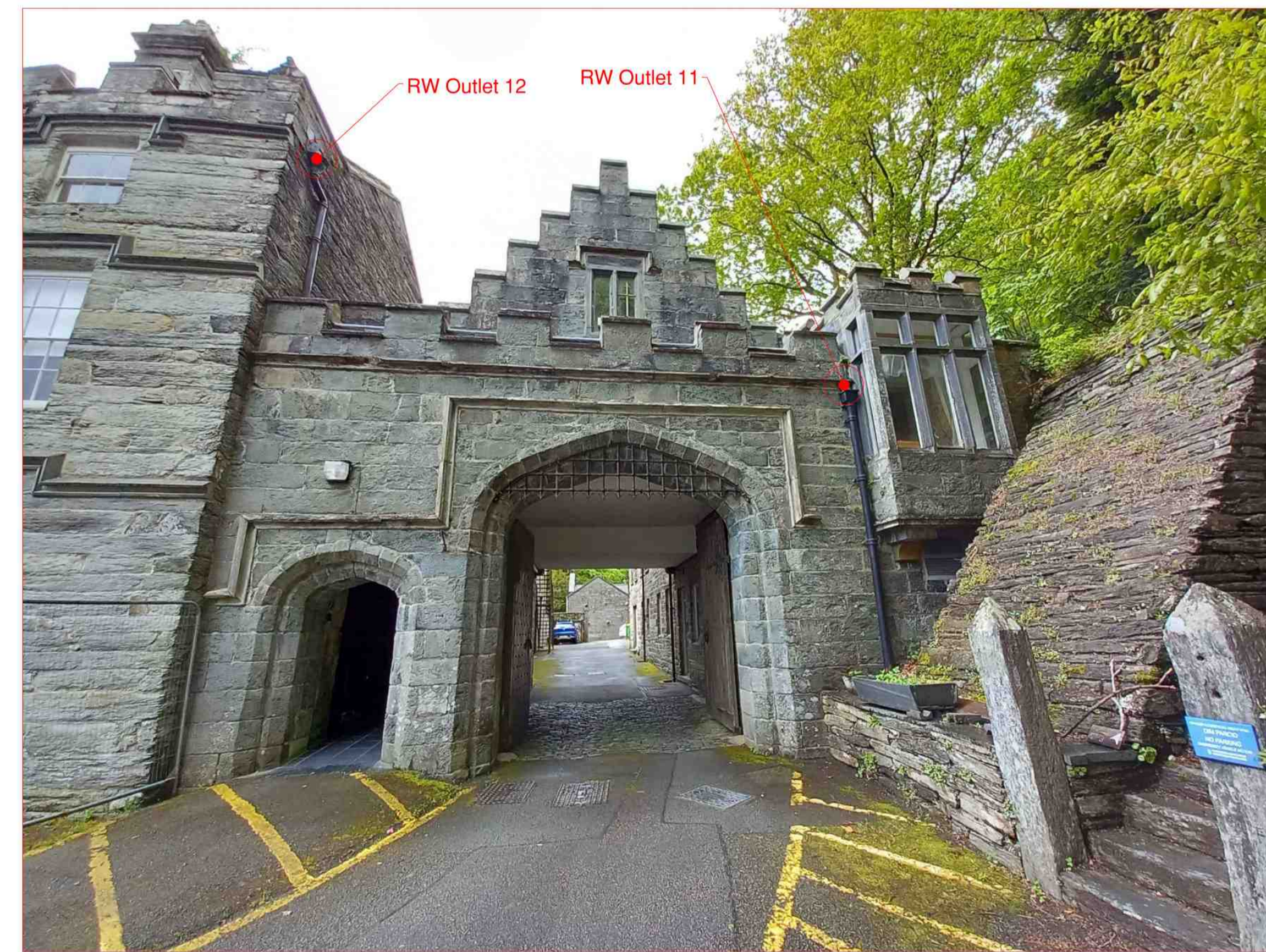
FRONT ELEVATION
ELEVATION A1 (Photo 01)



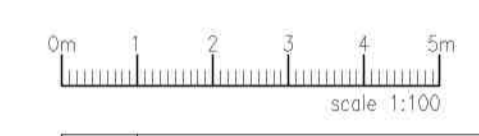
FRONT ELEVATION
ELEVATION A2 (Photo 02)



SIDE ELEVATION
ELEVATION B1 (Photo 03)



SIDE ELEVATION
ELEVATION B2 (Photo 04)

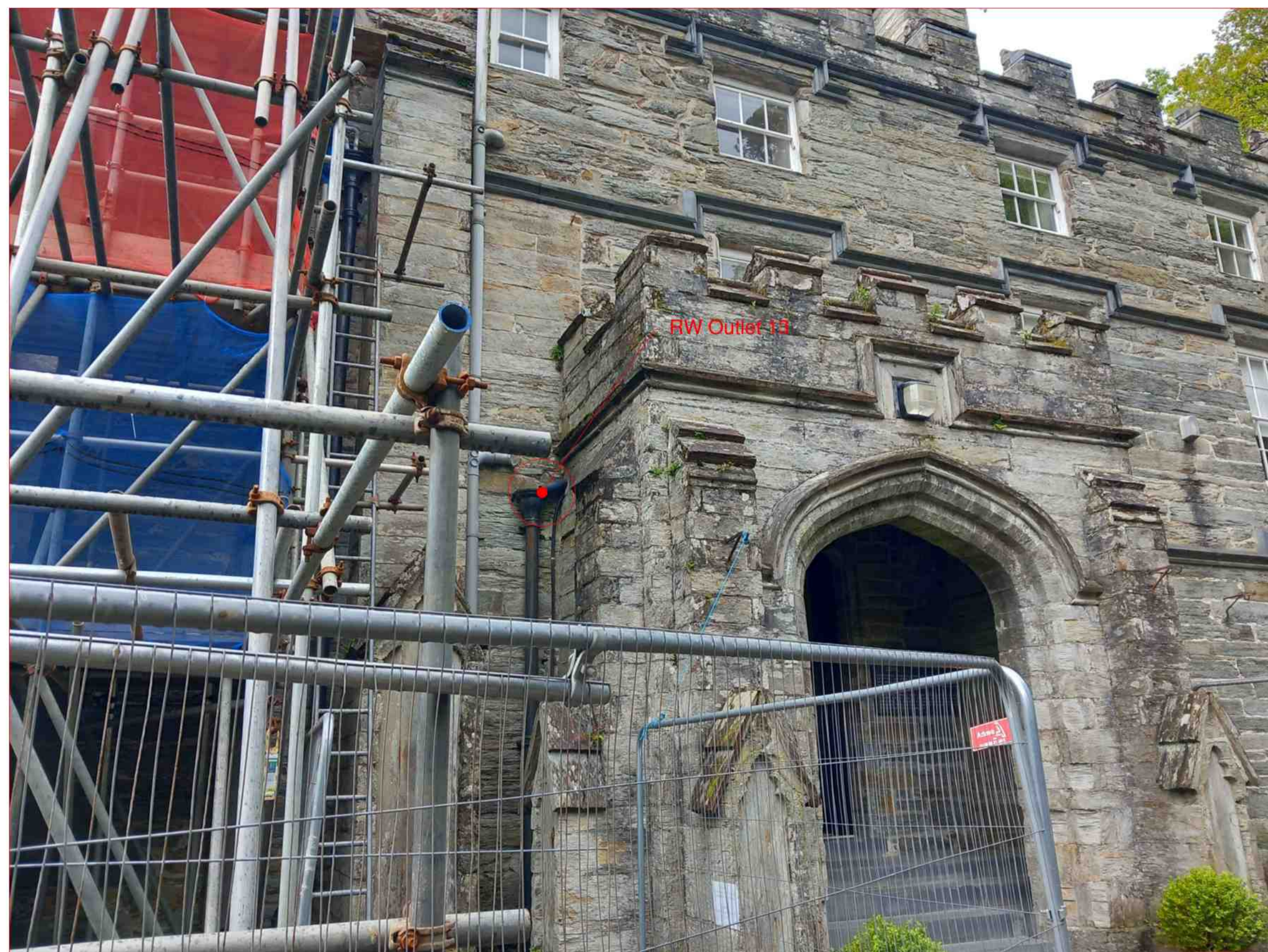


REV.	CHKD.	DATE

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Project: Plas Tan Y Bwlch Maentwrog
Drawing Title: Stonework and RW Repair Work Plas Tan Y Bwlch Elevations A1 to B2 Outlets

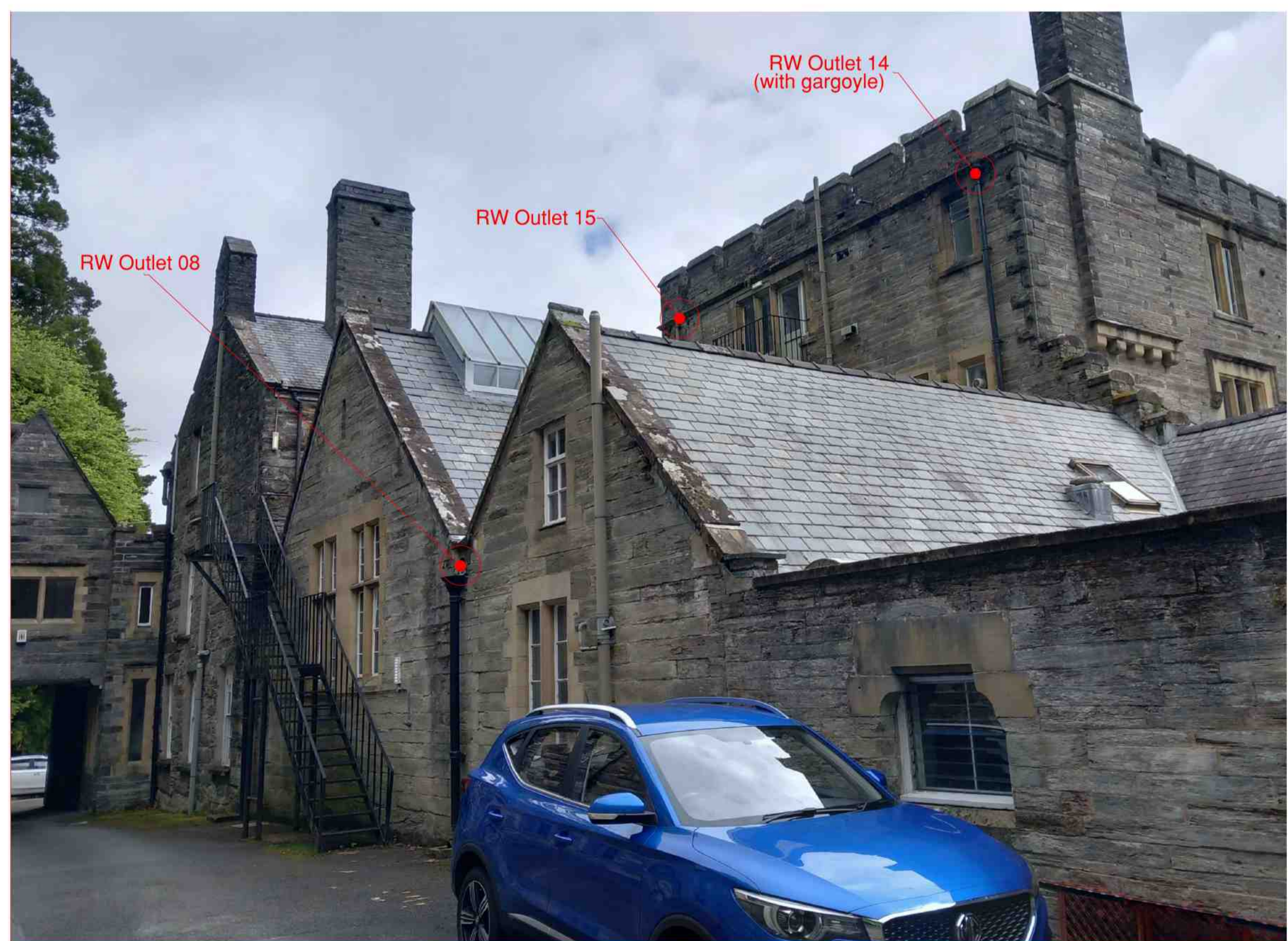
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Status	LB	Checked LS	Design LS



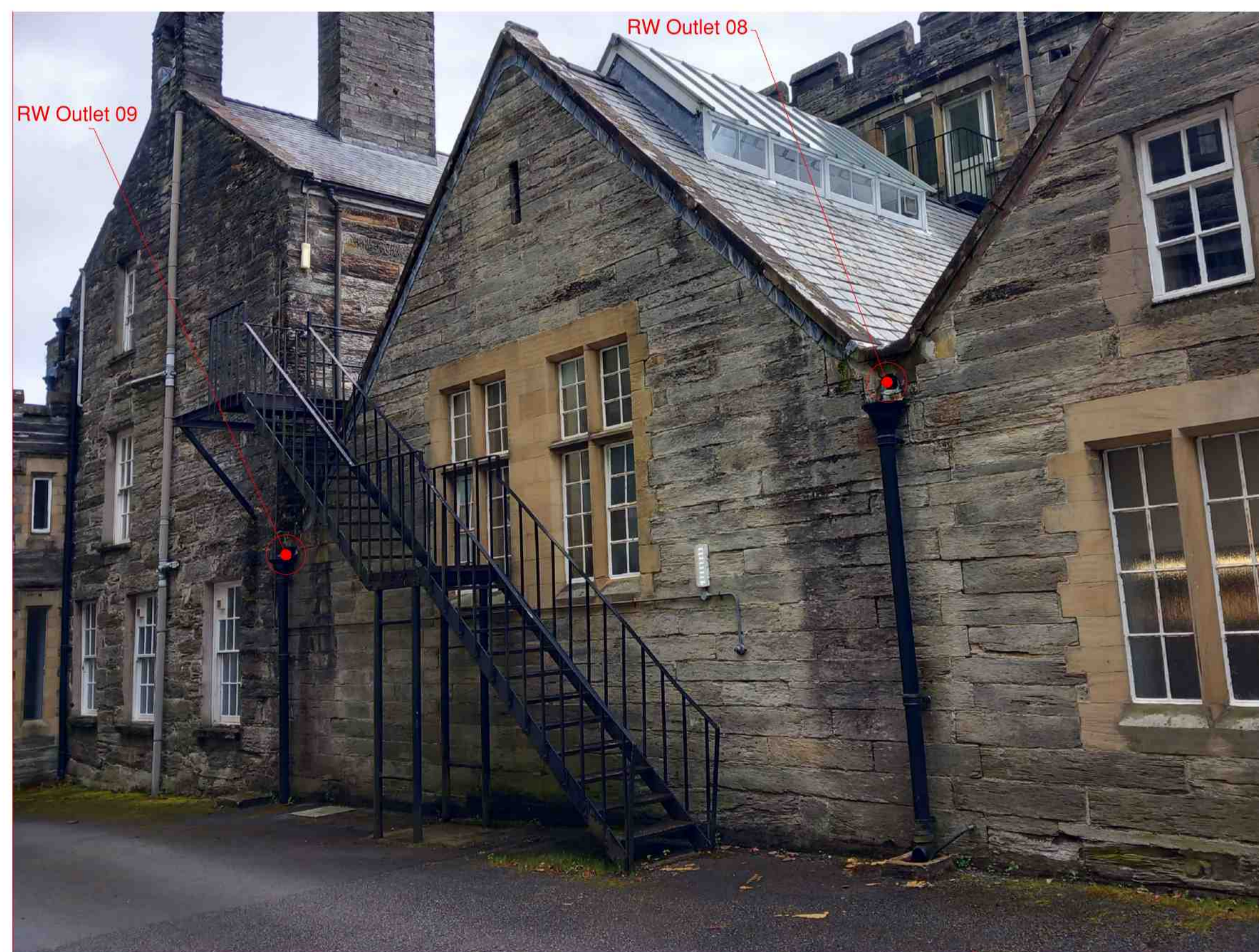
SIDE ELEVATION (Close up view entrance porch)
ELEVATION B1 (Photo 05)



SIDE ELEVATION
ELEVATION C1 (Photo 06)



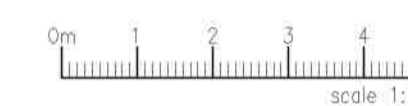
REAR ELEVATION
ELEVATION D1 (Photo 07)



REAR ELEVATION
ELEVATION D1 (Photo 08)

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REV.	CHKD.	DATE

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Project: Plas Tan Y Bwlch Maenlwrog
Drawing Title: Stonework and RW Repair Work Plas Tan Y Bwlch Elevation B1, C1 and D1 Outlets

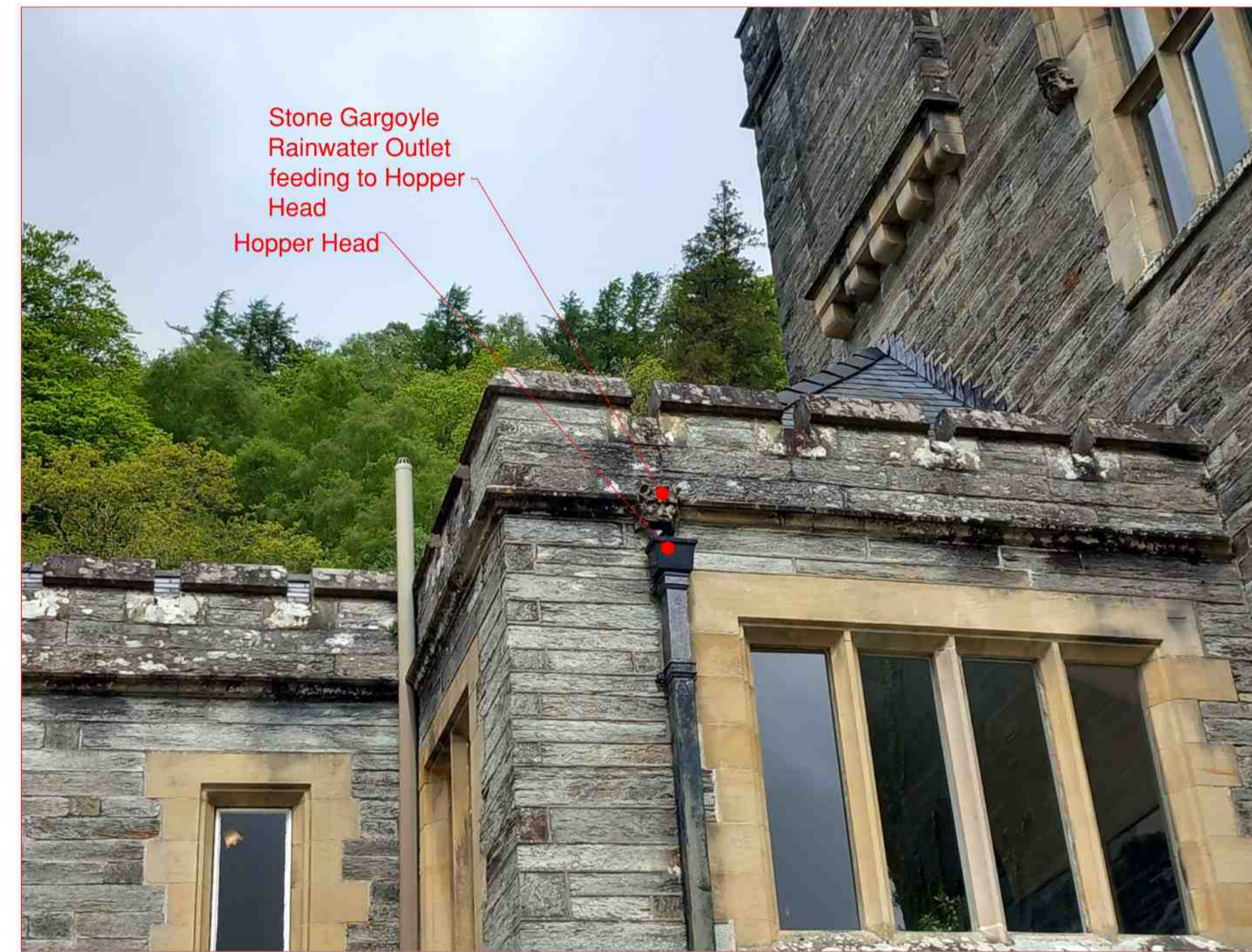
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Scale @ A1	NTS	Drawn PW	Date 15.05.23
Status	LB	Checked LS	Design LS

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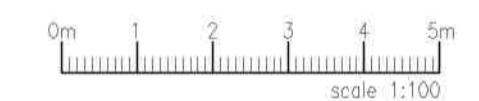
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REAR ELEVATION
View over Single Storey Flat Roofs)
ELEVATION D1 (Photo 10)



Close Up View of
Rainwater Outlet with Stone Gargoyle
(Photo 11)



REV.	CHKD.	DATE

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Project: Plas Tan Y Bwlch
Maentwrog

Drawing Title: Stonework and RW Repair Work
Plas Tan Y Bwlch
Elevation D1 / Gargoyle Detail

Drawing No.	221106/ LB009	Rev.	
Scale @ A1	NTS	Drawn	PW
Status	LB	Checked	LS
Date	15.05.23	Date	
Design	LS	Design	

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GENERAL NOTE:-

- The Following Rainwater outlets locations comprise a rainwater outlet with Gargoyle Detail.
- RW Outlet 01
- RW Outlet 02
- RW Outlet 03
- RW Outlet 04
- RW Outlet 05
- RW Outlet 06
- RW Outlet 07
- RW Outlet 14

GENERAL NOTE:-

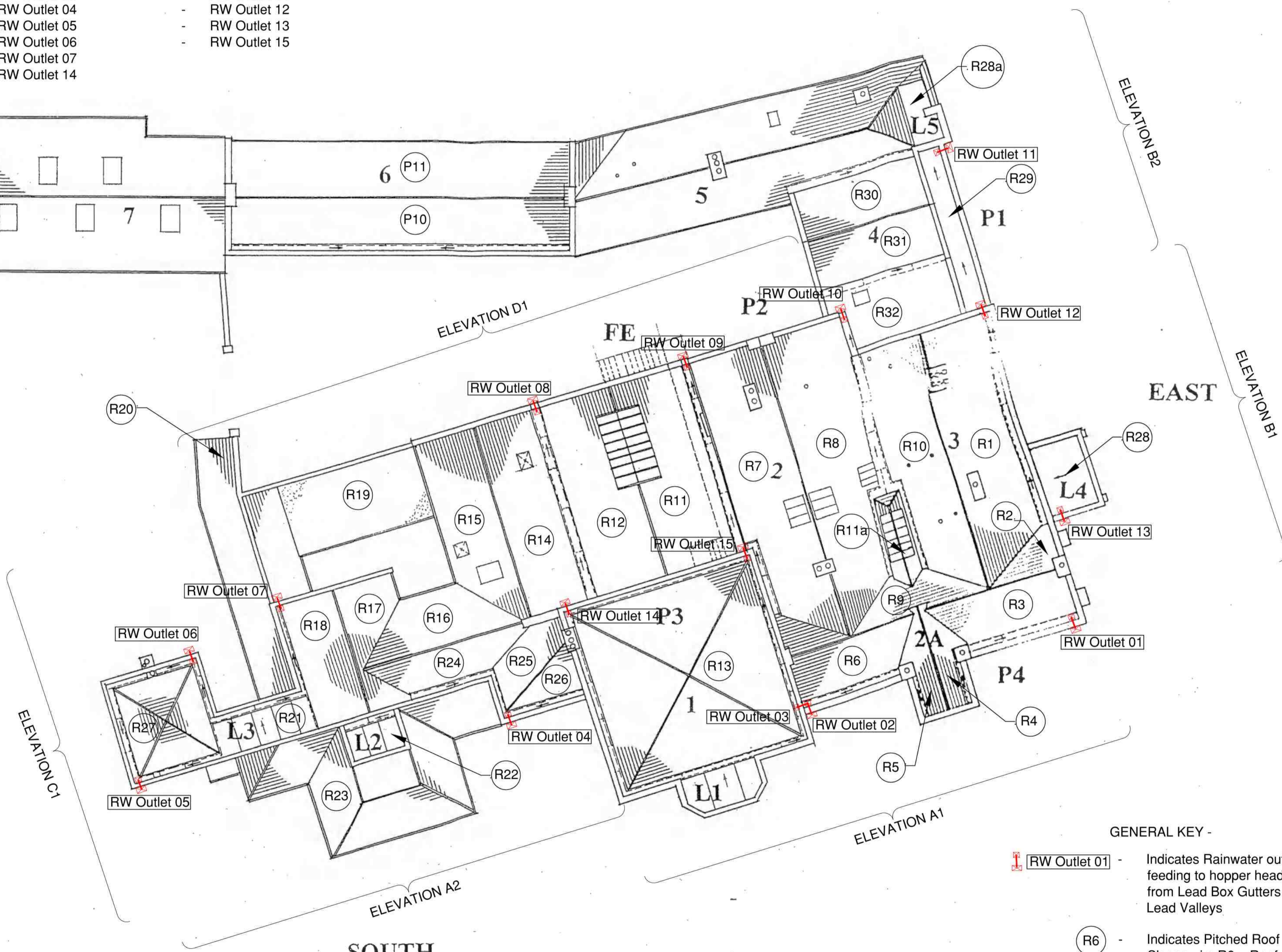
- The Following Rainwater outlets locations comprise a standard hopper head outlet detail.
- RW Outlet 08
- RW Outlet 09
- RW Outlet 10
- RW Outlet 11
- RW Outlet 12
- RW Outlet 13
- RW Outlet 15

NORTH

WEST

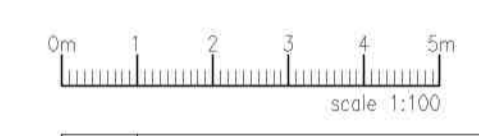
EAST

SOUTH



- 1, 2. - ROOFS
- P1/P2 - PARAPETS
- L1, L2 - LEAD ROOFS
- FE - FIRE ESCAPE

- GENERAL KEY -
- RW Outlet 01 - Indicates Rainwater outlets feeding to hopper heads from Lead Box Gutters / Lead Valleys
 - R6 - Indicates Pitched Roof Slopes - i.e R6 = Roof Slope 6



REV.	CHKD.	DATE

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Project: Plas Tan Y Bwlch Maentwrog
 Drawing Title: Stonework and RW Repair Works Plas Tan Y Bwlch Roof Plan Rainwater Outlets

Drawing No.	221106/ LB006	Rev.	
Scale @ A1	NTS	Drawn PW	Date 15.05.23
Status	LB	Checked LS	Design LS

ROOF PLAN

(Indicating Rainwater Outlet Locations)

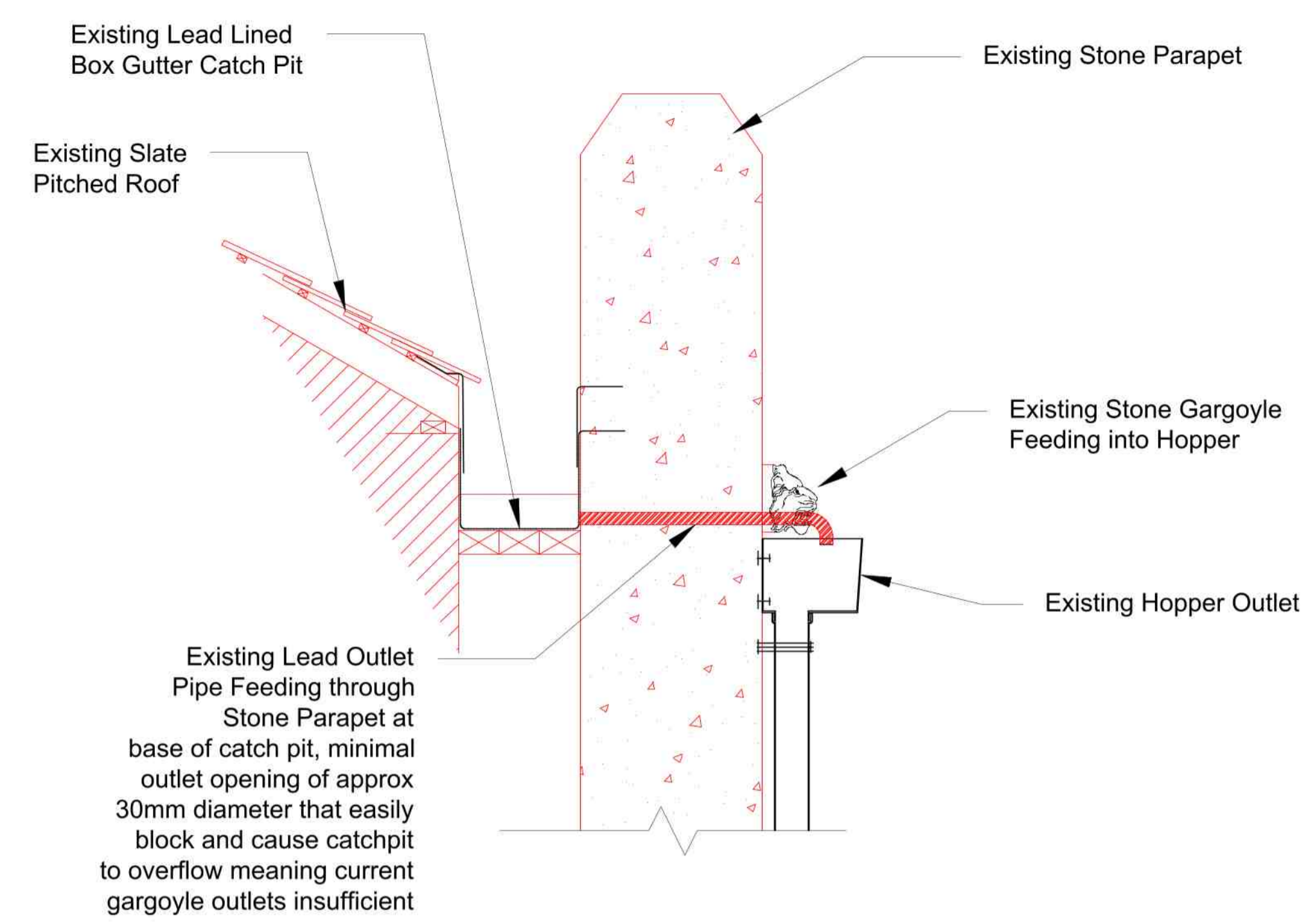
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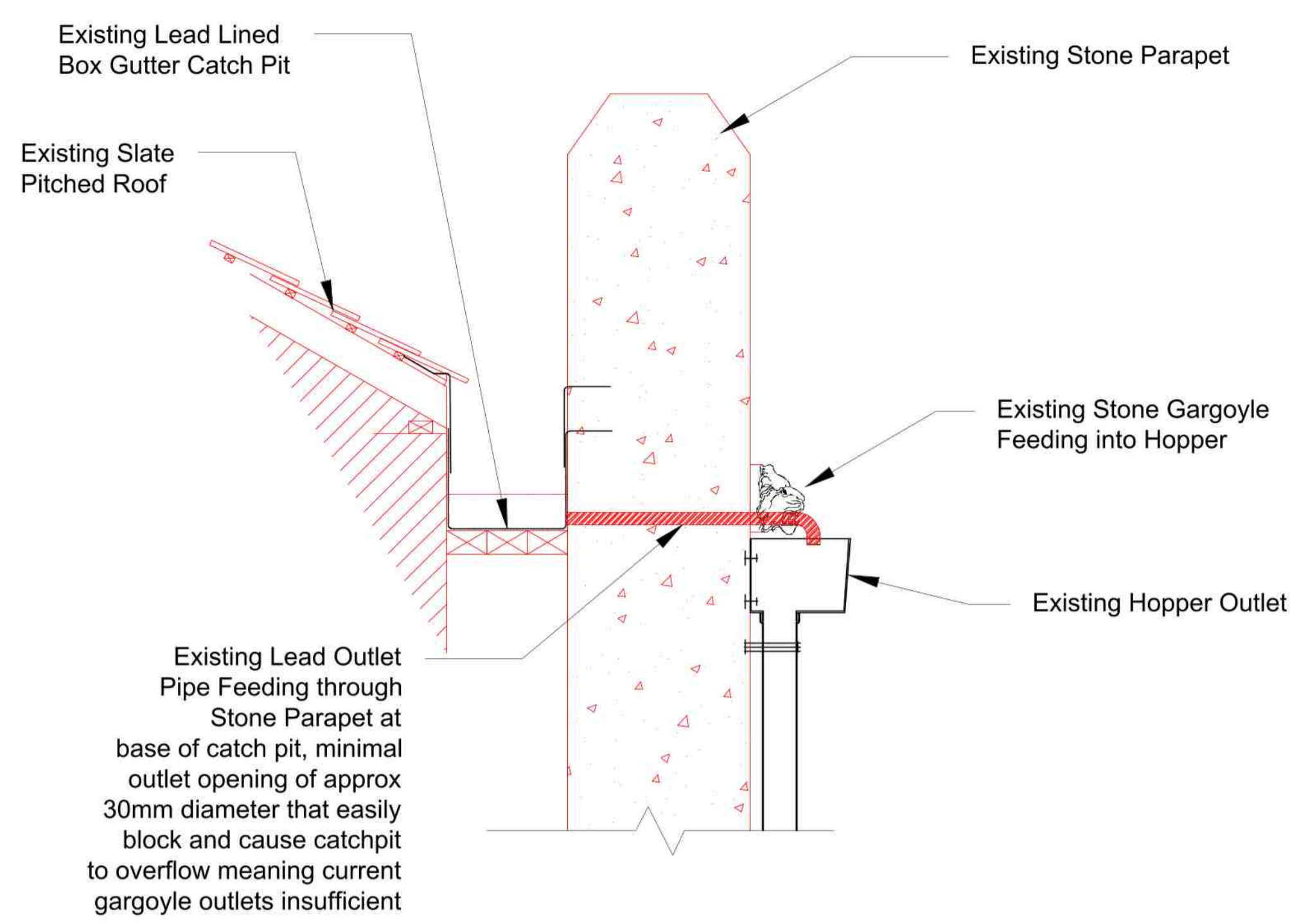
GENERAL NOTE:-

- The Following Rainwater outlets locations comprise a rainwater outlet with Gargoyle Detail.
- RW Outlet 01
- RW Outlet 02
- RW Outlet 03
- RW Outlet 04
- RW Outlet 05
- RW Outlet 06
- RW Outlet 07
- RW Outlet 14

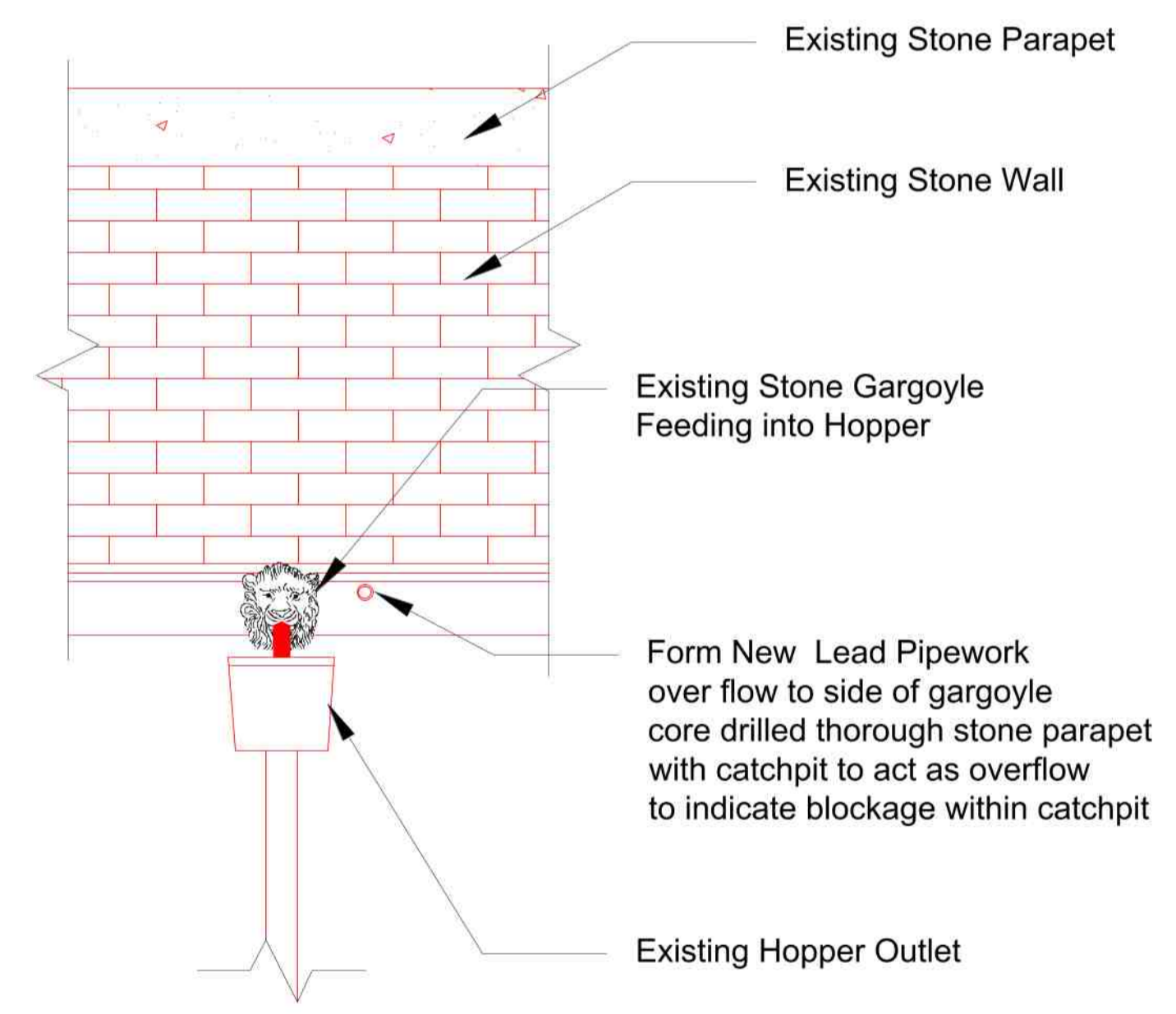
To the Rainwater outlets where existing gargoyle details are present Option 1 and Option 2 details show indicative detail options to adjust the outlet feed / catchpit to enable an improved outlet feed than the current inadequate feed. Option 2 is the preferred Detail to these locations. Full detail to be reviewed on site with Conservation Officer once scaffold access provided to agree new outlet details with conservation officer.



INDICATIVE SECTION VIEW (Existing Gargoyle Outlet)

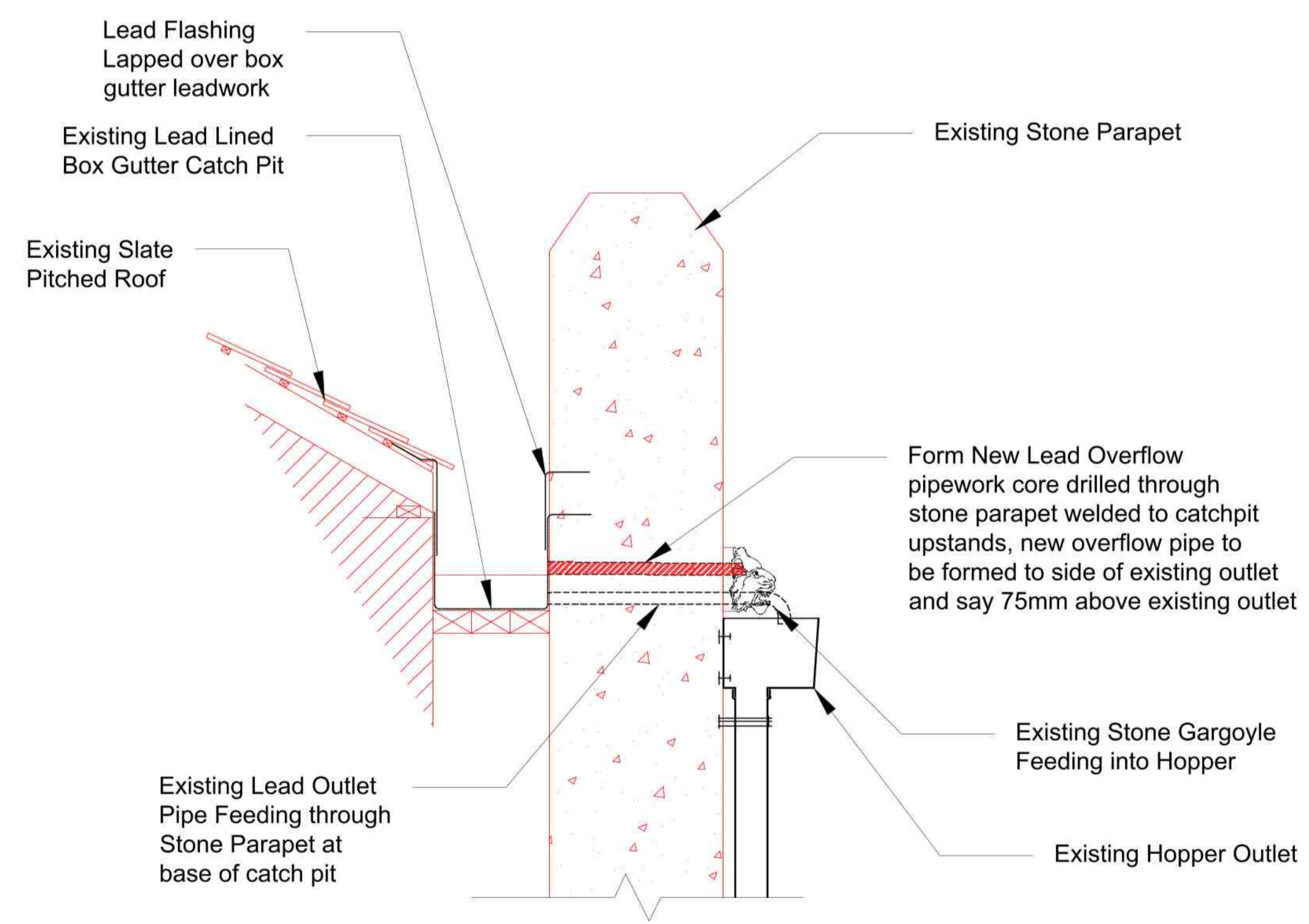


INDICATIVE SECTION VIEW (Existing Gargoyle Outlet)

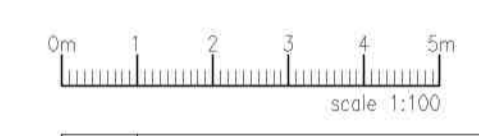


INDICATIVE ELEVATIONAL VIEW (To Gargoyle Outlets) OPTION 2 OUTLET TYPE

SCALE NTS



INDICATIVE SECTION VIEW (To Gargoyle Outlet) OPTION 2 OUTLET TYPE



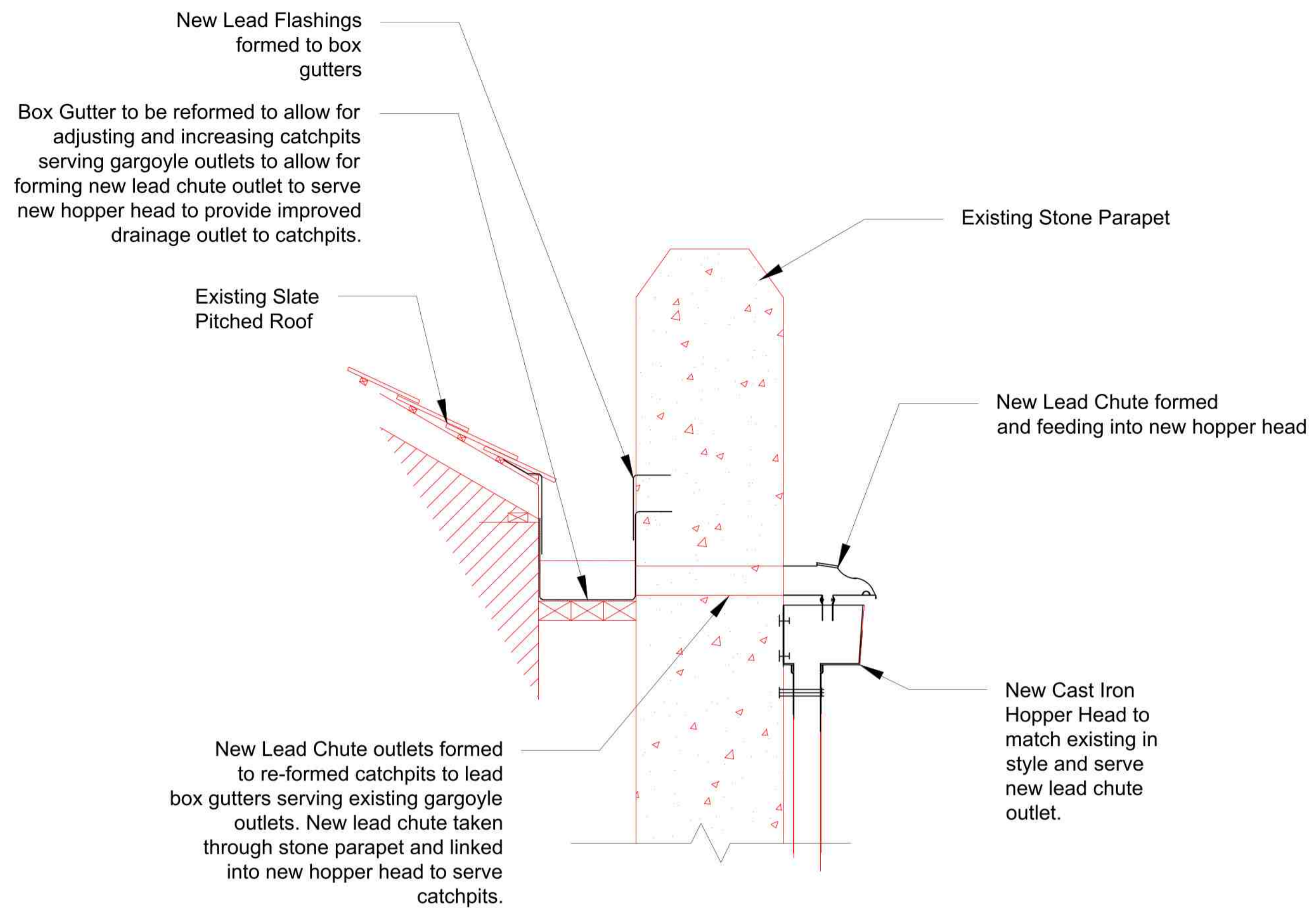
REV.		CHKD.	DATE

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Project: Plas Tan Y Bwlch Maentwrog
 Drawing Title: Stonework and RW Repair Work Plas Tan Y Bwlch Existing Outlet / Proposal 2 Details

Drawing No.	221106/ LB010	Rev.	
Scale @ A1	NTS	Drawn PW	Date 15.05.23
Status LB	Checked LS	Design LS	

SECTION VIEW



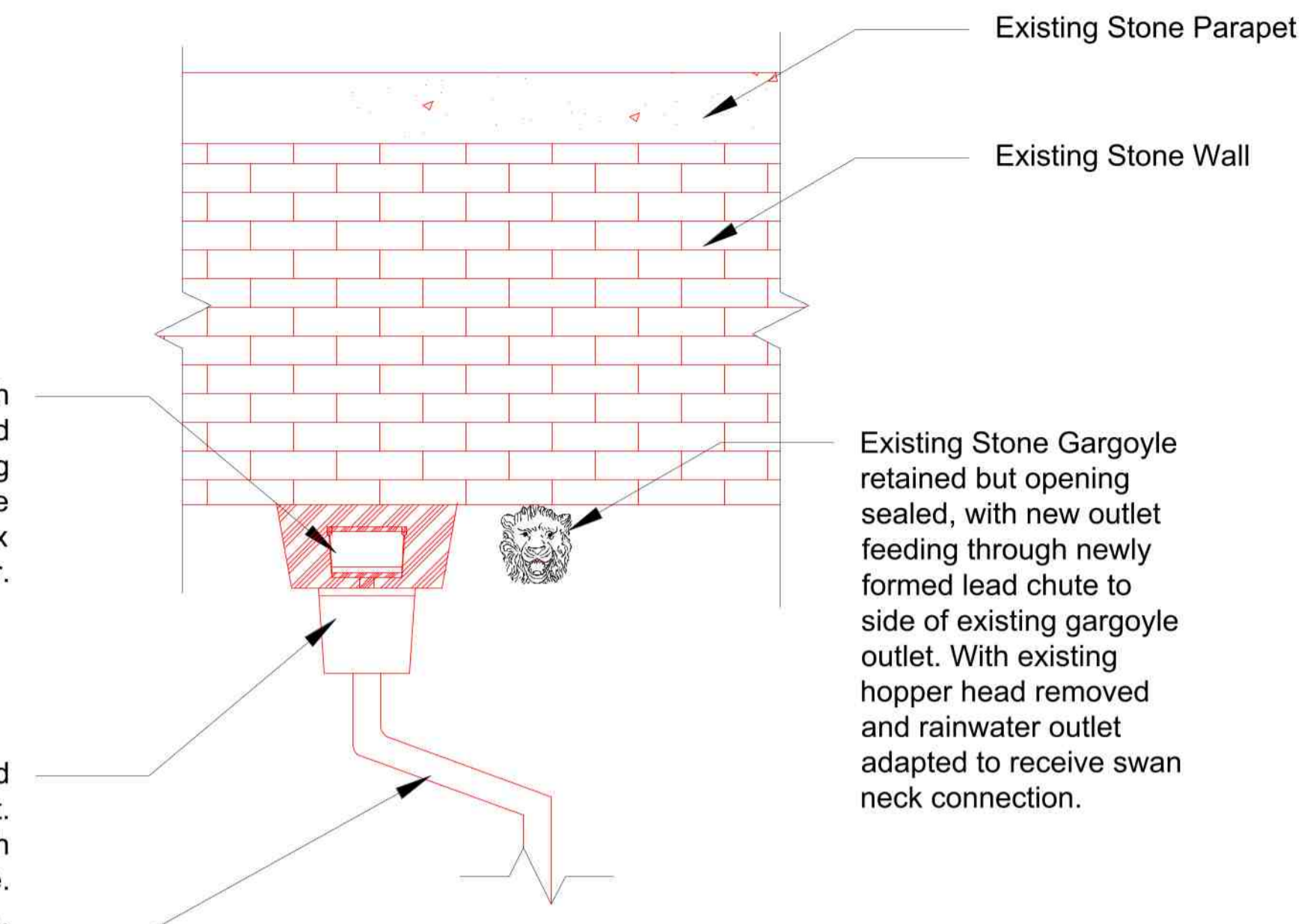
SECTION VIEW (To Gargoyle Outlets) OPTION 1 OUTLET TYPE

SCALE NTS

New Lead Chute feeding through existing stone parapet from reformed catchpit and box gutter feeding into new hopper head to enable improved drainage outlet to box gutter.

New Cast Iron Hopper Head Serving new catchpit outlet. New Hopper head to match existing in style.

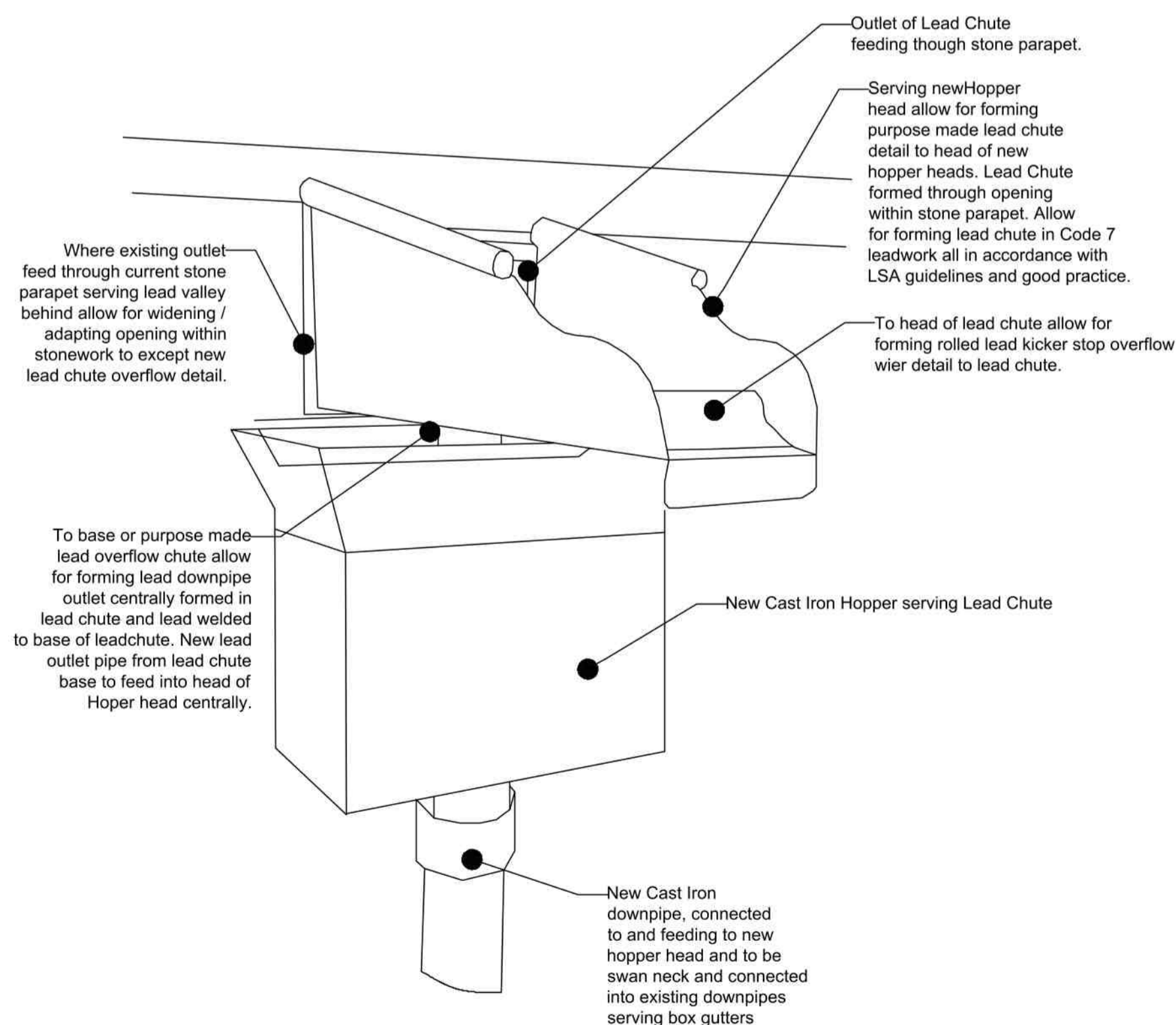
New cast iron swan neck pipework linking new hopper head into existing downpipe linked to original hopper head.



INDICATIVE ELEVATIONAL VIEW (To Gargoyle Outlets) OPTION 1 OUTLET TYPE

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Lead Chute and Hopper

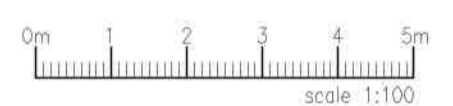


INDICATIVE PHOTO (Showing Typical Lead Chute and hopper head detail) OPTION 1 OUTLET TYPE

GENERAL NOTE:-

- The Following Rainwater outlets locations comprise a rainwater outlet with Gargoyle Detail.
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- RW Outlet 02
- RW Outlet 03
- RW Outlet 04
- RW Outlet 05
- RW Outlet 06
- RW Outlet 07
- RW Outlet 14

To the Rainwater outlets where existing gargoyle details are present Option 1 and Option 2 details show indicative detail options to adjust the outlet feed / catchpit to enable an improved outlet feed than the current inadequate feed. Option 2 is the preferred Detail to these locations. Full detail to be reviewed on site with Conservation Officer once scaffold access provided to agree new outlet details with conservation officer.



REV.	CHKD.	DATE

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Project:	Plas Tan Y Bwlch Maentwrog		
Drawing Title:	Stonework and RW Repair Work Plas Tan Y Bwlch Option 1 Outlet Detail		

Drawing No.	221106/ LB011	Rev.	
Scale @ A1	NTS	Drawn PW	Date 15.05.23
Status	LB	Checked LS	Design LS

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Photo of Existing Catch Pit Serving RW Outlet 01 from Roof Slope R3 (Photo 5761)

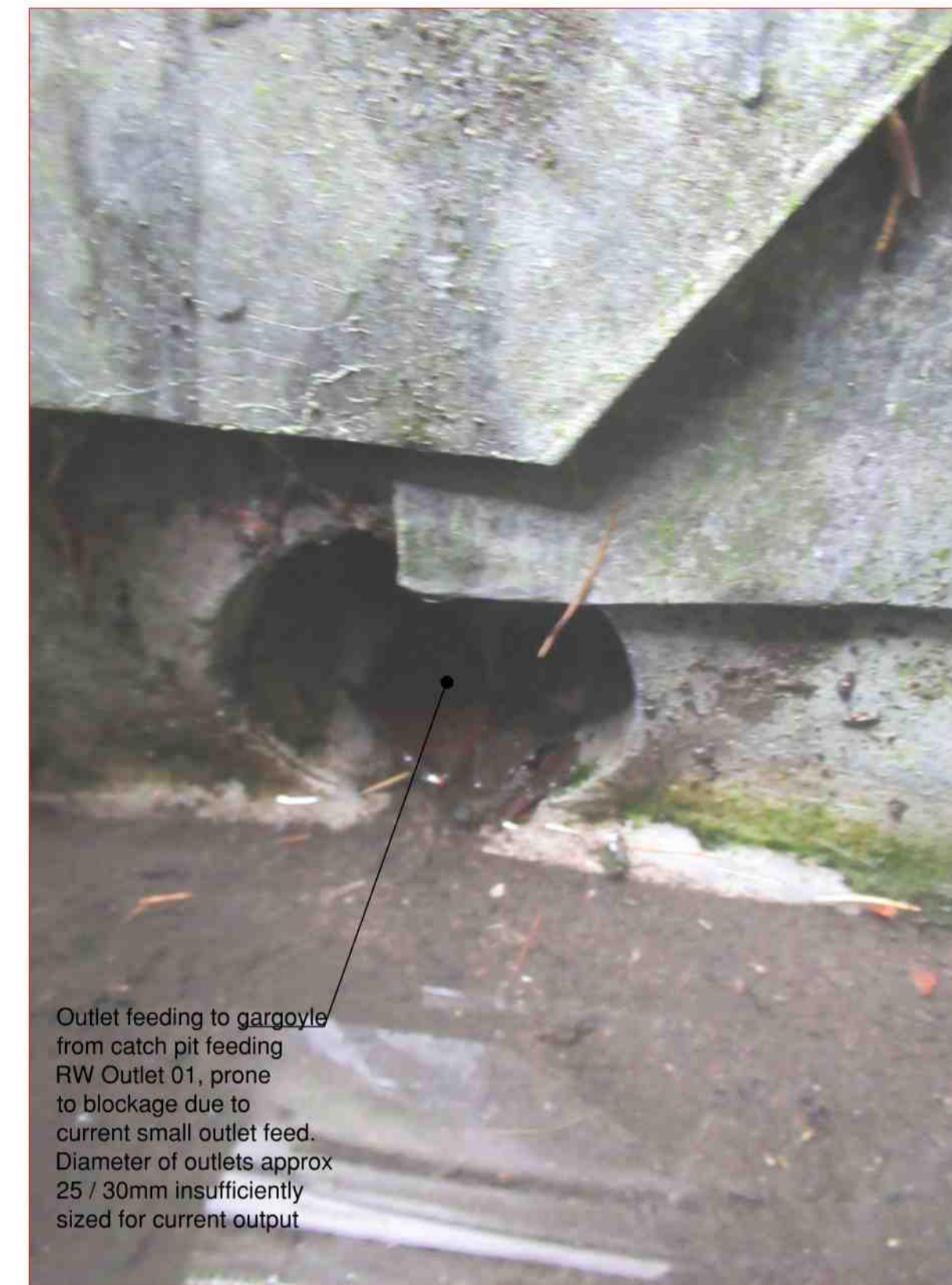


Photo of Existing outlet within catchpit Serving RW Outlet 01 from Roof Slope R3 (Photo 5766)



Photo of Existing of catchpit Serving RW Outlet 02 from Roof Slope R6 (Photo 5796)

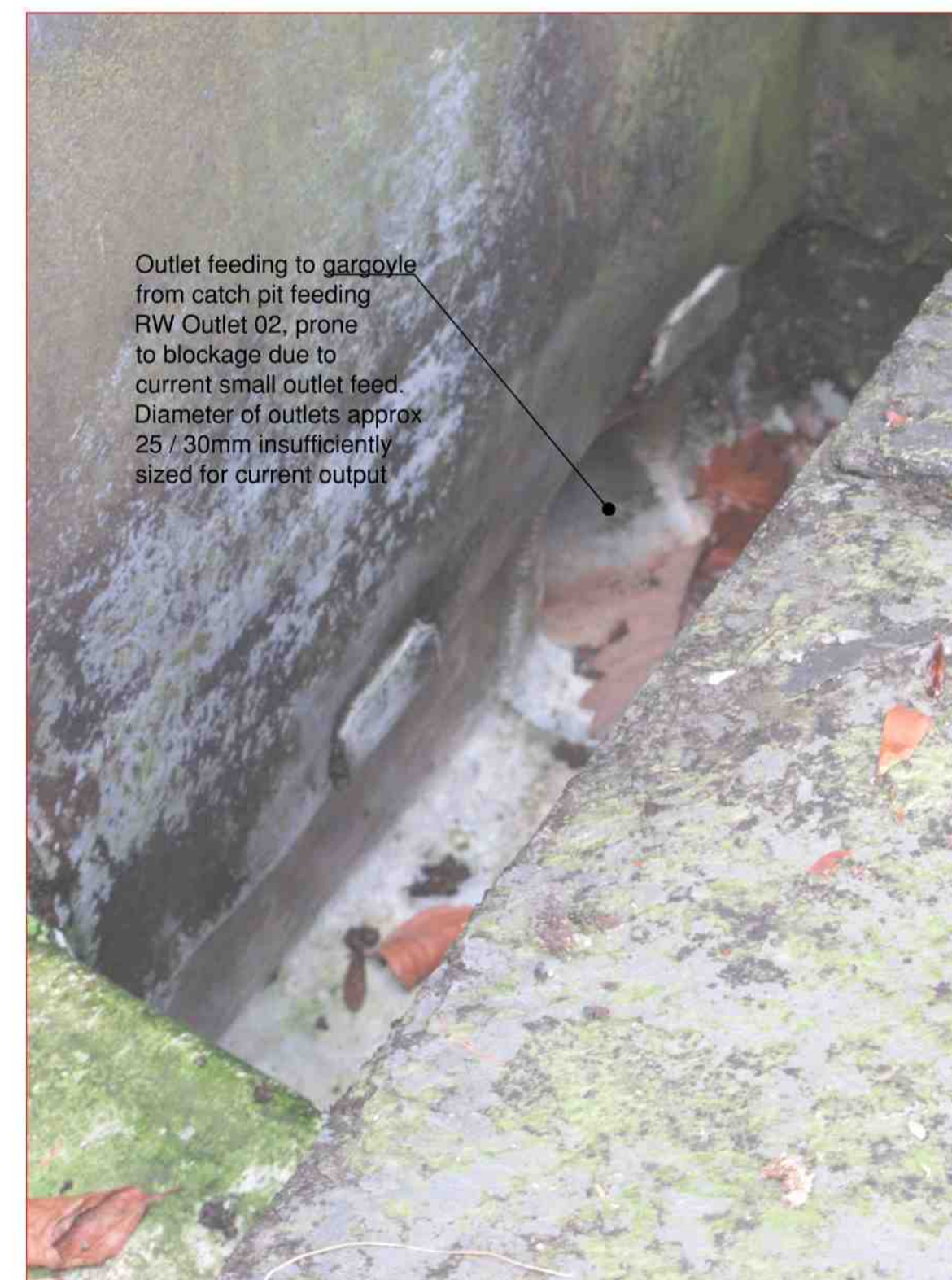
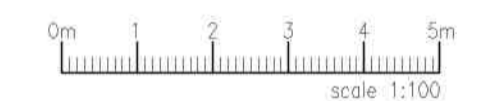


Photo of Existing outlet within catchpit Serving RW Outlet 02 from Roof Slope R6 (Photo 5797)

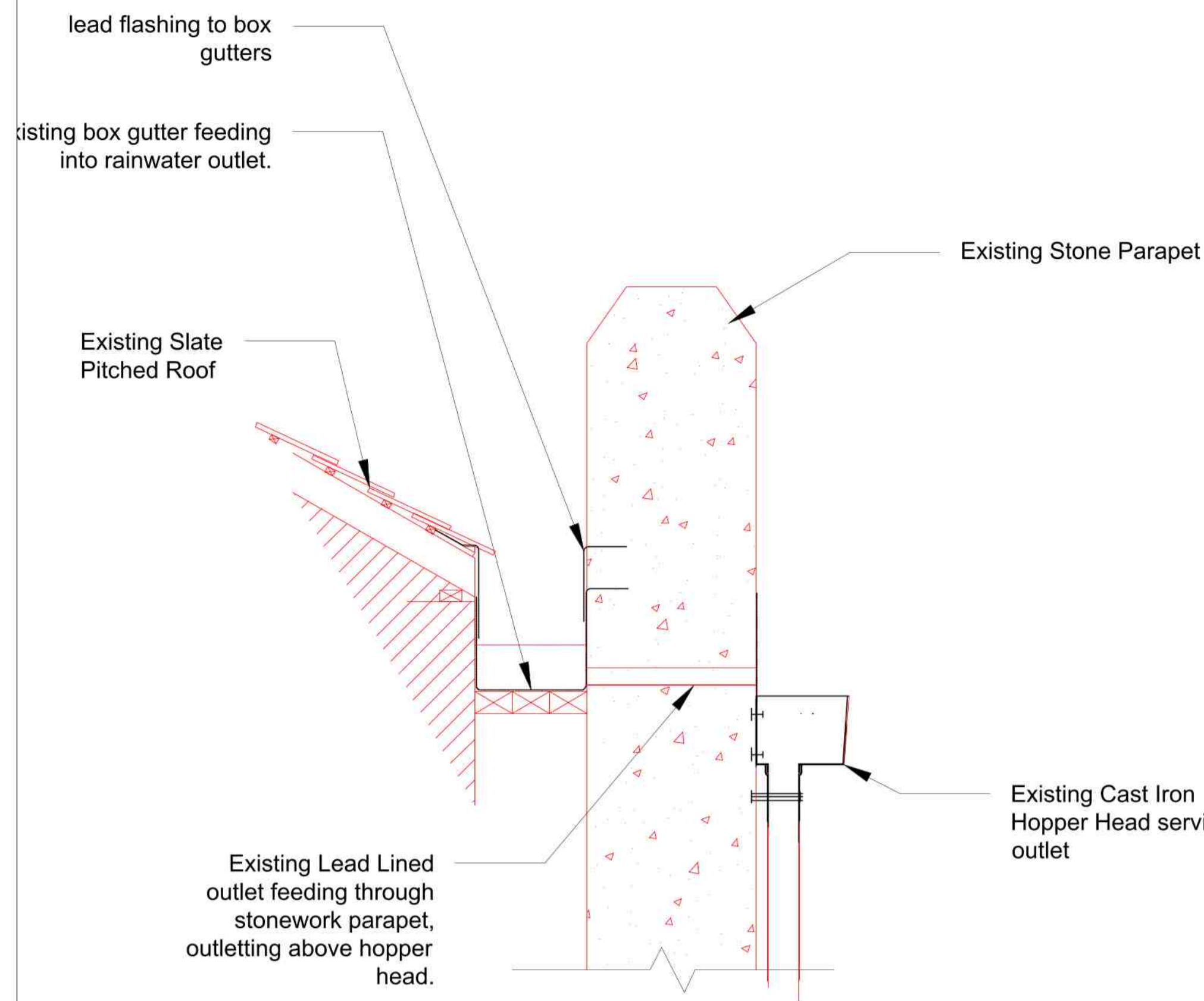


REV.		CHKD.	DATE

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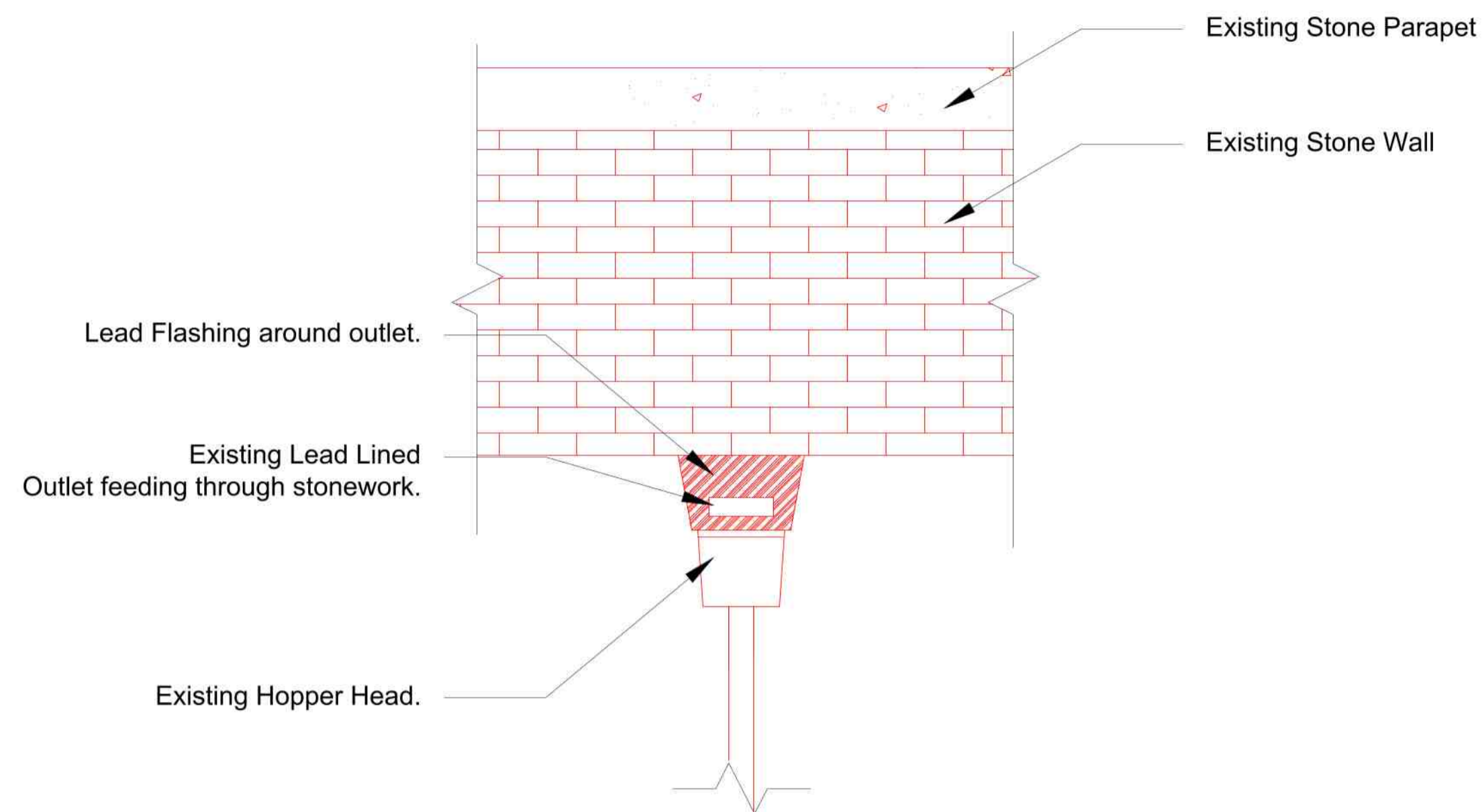
Project: Plas Tan Y Bwlch Maentwrog
Drawing Title: Stonework and RW Repair Work Plas Tan Y Bwlch Existing Catchpit Detail Examples

Drawing No.	221106/ LB012	Rev.	
Scale @ A1	NTS	Drawn PW	Date 15.05.23
Status	LB	Checked LS	Design LS



INDICATIVE SECTION VIEW (To Standard Hopper Outlets)

SCALE NTS



INDICATIVE ELEVATION VIEW (To Standard Hopper Outlets)

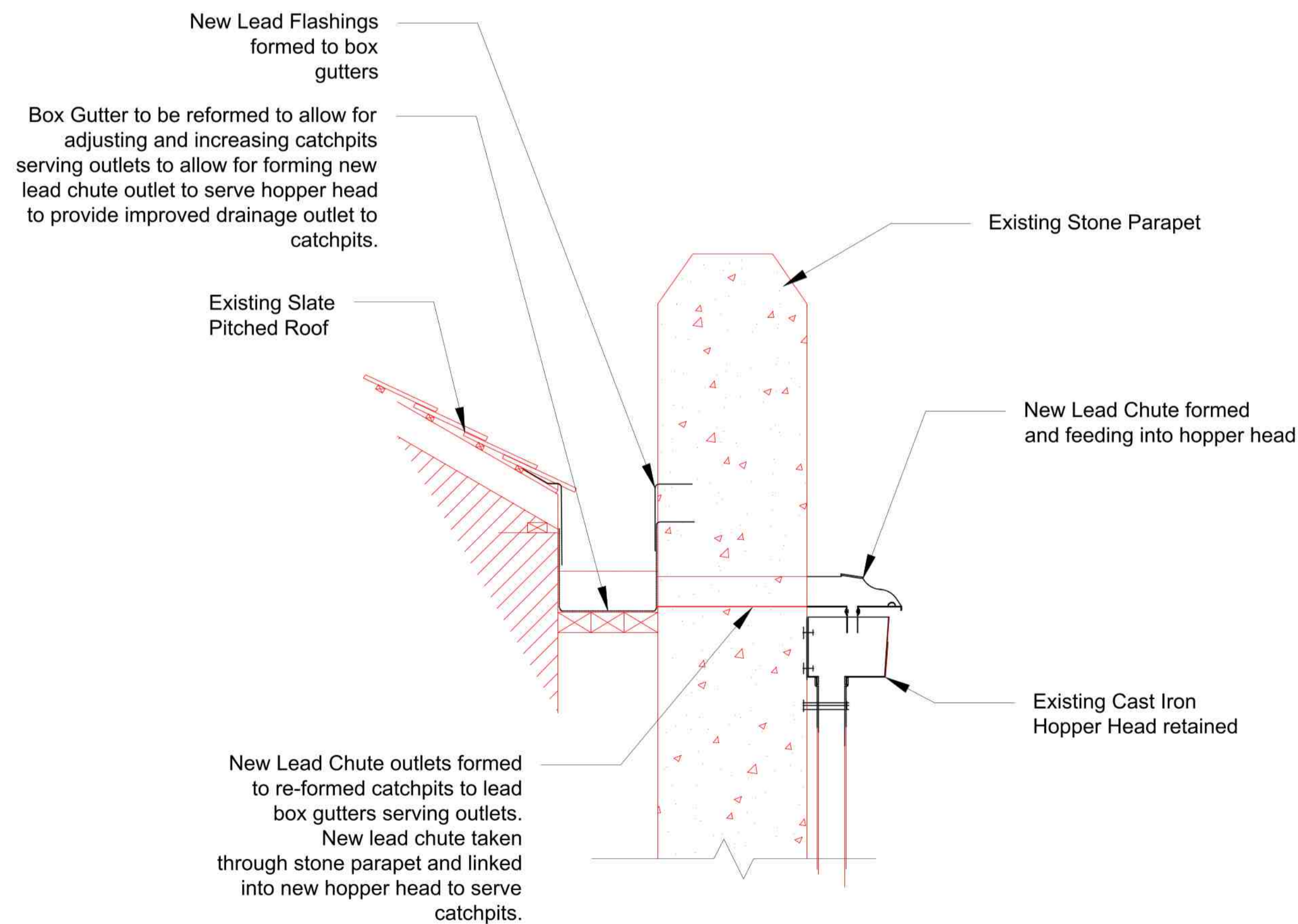
GENERAL NOTE:-

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- RW Outlet 08
- RW Outlet 09
- RW Outlet 10
- RW Outlet 11
- RW Outlet 12
- RW Outlet 13
- RW Outlet 15

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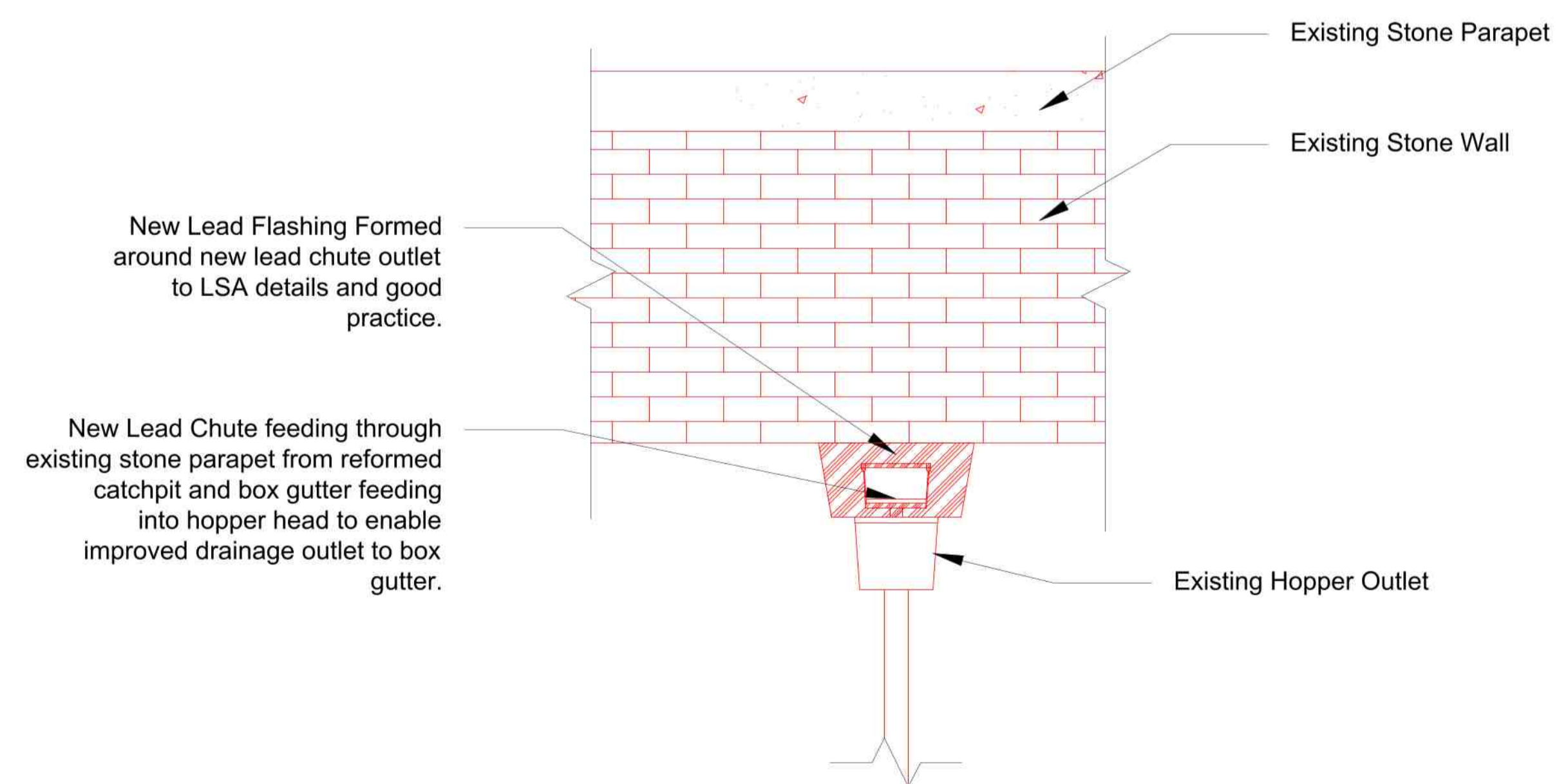
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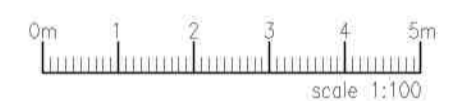
SECTION VIEW (To Standard Hopper Head Outlets) OPTION 3 OUTLET TYPE

SCALE NTS



INDICATIVE ELEVATIONAL VIEW (To Standard Hopper Head Outlets) OPTION 3 OUTLET TYPE

SCALE NTS



REV.	CHKD.	DATE

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Project:	Plas Tan Y Bwlch Maentwrog ----
Drawing Title:	Stonework and RW Repair Work Plas Tan Y Bwlch Option 3 Outlet Detail

Drawing No.	221106/ LB013	Rev.	
Scale @ A1	NTS	Drawn PW	Date 15.05.23
Status	LB	Checked LS	Design LS



PLANNING AND ACCESS COMMITTEE
24 JANUARY 2024

SECTION 106 AGREEMENTS

**SNOWDONIA NATIONAL PARK AUTHORITY
PLANNING AND ACCESS COMMITTEE, 24 JANUARY 2024**

SECTION 106 AGREEMENTS

Rhif	Application No.	Date application was received	Location	Development	Present Position
1.	NP4/31/112B	17/03/2023	Gwern Hywel Uchaf, Ysbyty Ifan. LL24 0PD	Demolition of outbuilding and erection of rural enterprise dwelling, creation of new access and associated works	With applicant for consideration.
2.	NP5/55/L140E	03/06/2021	Capel Bethlehem, Brynchrug. LL36 9PW	Change of use of chapel to form one 1 bedroomed and one 5 bedroomed dwelling	Draft sent to applicant.
3.	NP5/57/1174	27/10/2021	Land adjoining Penmaen Ucha, Penmaenpool. LL40 1YD	Construction of rural enterprise dwelling, garage, new driveway and vehicle access.	Instructions sent to legal department 26/10/2023
4.	NP5/58/363H	05/06/2023	Nant Eos, Dyffryn Ardudwy. LL44 2HX	Conversion to Open Market Dwelling unit and installation of sewage treatment plant (Repeat application)	Awaiting instructions from the applicant's solicitor
5.	NP5/58/636B	05/06/2023	Cae Wat (Land adjacent to Swn-y-Mor), Ffordd Glan Mor, Talybont. LL43 2AR	Erection of two detached affordable dwellings for local need (1 bungalow and 1 two storey dwelling)	Draft sent to Applicants solicitor 05/12/23.
6.	NP5/61/654	22/03/2023	Land adjoining Pen yr Hwylfa, Harlech.	Draf sent to solicitors 26/10 awaiting response from applicant	Draft sent to solicitors 26/10 awaiting response from applicant.
7.	NP5/65/L302D	25/08/2020	Wern y Pistyll, Bontddu. LL40 2UP	Conversion and extension of barn to dwelling including installation of septic tank, retrospective consent for access track to building and engineering works to create hardstanding / parking area around the building, temporary siting of static caravan and construction of compensatory bat roost.	Awaiting solicitor details from the applicant. Reminder sent 11.01.2023

8.	NP5/74/L167J	26/07/2023	Capel Tarsus, Cwm Cywarch, Dinas Mawddwy. SY20 9JG	Conversion of chapel to dwelling and installation of rooflights to existing rear elevation roof, construction of new single storey rear extension, and installation of package treatment plant	With Legal drafting agreement
9.	NP5/75/68B	15/09/2021	Land opposite Maesteg, Pennal. SY20 9DL	Erection of five affordable dwellings together with associated access, parking and landscaping	With Legal drafting agreement

Number of applications on committee list 06 December 2023 = 9

APPLICATIONS SUBJECT TO A SECTION 106 AGREEMENT AND WHICH HAVE BEEN COMPLETED SINCE PLANNING & ACCESS COMMITTEE 06 DECEMBER 2023

Application No.	Location	Development
NP4/11/337D	Hendre Farm, Betws y Coed, LL24 0BN	Construction of new affordable dwelling and installation of associated foul water disposal
NP5/59/511M	Land to rear of Penrhiw, Llan Ffestiniog. LL41 4PS	Variation of Condition No.2 of Planning Consent NP5/59/511F dated 11/06/2019 for amended site layout and to remove garage on Plot 15, garage space to be substituted on Plots 5 & 16 to be domestic floor area to create forth bedroom, and internal alterations to alter units from being all 3 bedrooms to a mix of 2, 3 and 4 bed units.

APPLICATIONS SUBJECT TO A SECTION 106 AGREEMENT WHICH HAVE BEEN REFUSED, WITHDRAWN, OR DISPOSED, OR WHERE AN AGREEMENT IS NO LONGER NECESSARY SINCE PLANNING & ACCESS COMMITTEE 06 DECEMBER 2023

Application No.	Location	Development



PLANNING AND ACCESS COMMITTEE

24 JANUARY 2024

OUTSTANDING APPLICATIONS WHERE MORE THAN 13 WEEKS HAVE ELAPSED

SNOWDONIA NATIONAL PARK AUTHORITY

PLANNING AND ACCESS COMMITTEE 24 JANUARY 2024 OUTSTANDING APPLICATIONS WHERE MORE THAN 13 WEEKS HAVE ELAPSED

In Discussion with Agent / Applicant

NP5/54/459A	03/05/23	Cefn Ceunant Isaf Forest, Brithdir.	Hydro-electric scheme (34kw) including construction of power house, intake weir and 3 girder bridges.
NP5/55/46G	12/07/23	Geufron Farm, Brynchrug, LL36 9RW	Conversion of barn and stable to short-term holiday let accommodation.
NP5/69/56M	20/06/23	Sunbeach Holiday Park, Llwyngwrl, LL37 2QQ	Redevelopment of the site comprising of improvements to the south eastern element of Sunbeach Holiday Park to provide (a) a new main site entrance with internal access road; (b) 24 static holiday caravans/lodges with landscaping; (c) 12 static holiday caravans/lodges in lieu of a residential dwellinghouse; and (d) 3 static holiday caravans in lieu of the old site shop.
NP5/71/53D	04/09/23	Ty'n-y-Llechwedd, Parc. LL23 7YN	Conversion of outbuilding to form annexe to existing dwelling
NP5/78/91B	04/01/22	Wern Gron, Trawsfynydd. LL41 4UN	Conversion and change of use of barn to form an affordable dwelling and a short term holiday letting unit including installation of septic tank and associated works.

Awaiting Amended Plans

NP5/69/L113P	07/11/22	Llanfendigaid, Rhoslefain. LL36 9LS	Conversion of laundry and workshop to form 2 holiday units and installation of rooflights on front and rear roof.
NP5/69/113Q	22/08/23	Llanfendigaid, Rhoslefain. LL36 9LS.	Installation of 2 rows of ground mounted 110kw solar panels (256 panels in total) (Re-Submission).
NP5/73/424A	28/09/20	Cilderi, Tan y Bwlch. Maentwrog. LL41 3YU	Erection of double garage, retrospective application for extension to curtilage, retention of stone terracing and engineering works.

Awaiting Ecology Information

NP5/62/402B	10/07/23	Shell Island, Llanbedr. LL45 2PJ	Erection of a implement shed and installation of a 7,500 litre underground rainwater storage tank.
NP5/68/235	03/11/22	Land adjoining Garreg Frech, Llanfrothen. LL48 6BZ	Erection of 8 dwellings and formation of new vehicular and pedestrian access
NP5/77/347	18/01/23	Land near Ty Mawr, Talsarnau. LL47 6UF	Construction of affordable dwelling, formation of curtilage, extend access track, and alterations to existing vehicular access

Awaiting Details from Agent / Applicant

NP5/54/464	26/07/23	Land at Moel Hafodwen, Coed y Brenin Forest, Llanfachreth.	Installation of a new 40m high lattice telecommunication tower incorporating 9 no. new antennas and 3 no. new dishes, the installation of ground based equipment cabinets including a foul weather enclosure and associated ancillary apparatus including remote radio heads, mast head amplifiers and GPS nodes, the installation of an 8m x 12m compound enclosed by 1.8m high mesh fencing, and the installation of a bird box and bug box to be installed on the compound fence
NP5/57/205J	06/06/23	Former Fron Olau Hotel, Tabor, Dolgellau. LL40 2PS	Conversion of former hotel into six residential units (C3) consisting of 3 open market dwellings and 3 affordable dwellings together with retention of alterations to the external appearance of the building.
NP5/58/150D	28/09/23	Former Siloh Chapel, Dyffryn Ardudwy, LL44 2EL	Conversion of a single dwelling to two separate affordable local need apartments.
NP5/58/363H	04/10/22	Nant Eos, Dyffryn Ardudwy. LL44 2HX	Conversion to Open Market Dwelling unit and installation of sewage treatment plant (Repeat application),
NP5/58/629	29/01/20	Land between Plas Meini & Swyn y Mor, Dyffryn Ardudwy. LL42 2BH	Outline permission for the erection of 2 open market and 2 affordable dwellings. integral garages and formation of new vehicular access on to the A496.
NP5/58/646	17/03/23	Land near Pentre Uchaf, Dyffryn Ardudwy.	Erection of a special adapted bungalow and a two-storey dwelling.
NP5/61/T558D	19/04/21	Former Tabernacl Chapel, High Street, Harlech. LL46 2YB	Conversion of former car showroom & basement car parts shop to convenience store on ground and basement, creation of 2 flats on first floor (Open market) together with the removal of existing unauthorised UPVC windows and replace with timber slimline double-glazed windows.
NP5/61/580M	10/11/22	Land to rear of Nant-y-Mynydd, Hwylfa'r Nant, Harlech.	Erection of an affordable detached dormer bungalow
NP5/62/T143B	05/10/22	Tanws Wern Gron, Llanbedr. LL45 2PH	Restore, extend and convert old mill into dwelling, formation of curtilage, and installation of underground septic tank
NP5/73/287P	06/02/23	Decommissioning Site, Trawsfynydd. LL41 4DT	Part retention / part completion of replacement sewage treatment plant, together with associated works,

Re-Consultation

NP4/13/247A	29/09/23	Woodland near Deunant, Capel Curig. LL24 0DS	Retrospective application to retain shepherd's hut used for tool and equipment storage in connection with woodland maintenance.
NP4/31/116B	24/07/23	Pant Glas, Ysbyty Ifan, LL24 0PG	Erection of cattle a shed and slurry pit and installation of underground 5000ltr water tank
NP4/32/88K	18/09/23	Trefriw Wells Spa, Trefriw. LL27 0JS	Construction of first floor rear office extension, two fire escapes and two storey extension to front/side.
NP5/70/166	25/02/22	Ysgubor Esgeiriau, Rhosygwaliau. LL23 7ET	Conversion and change of use of redundant farm building, access track and installation of package treatment plant for use as short term holiday accommodation as part of farm diversification project,
NP5/71/21L	01/08/23	Land at Dolhendre Isa, Llanuwchllyn.	Construction of a agricultural worker's dwelling and installation of a septic tank
NP5/74/510	21/08/23	Land near Pentrewern, Dinas Mawddwy. SY20 9JG	Installation of a 30 metre high lattice tower supporting 3 no. antennas and 2 no. 0.6m dishes, 2 no. equipment cabinets, 1 no. meter cabinet and ancillary development thereto including a generator within a compound enclosed by 1.1m high fencing

Awaiting Ecological Comments

NP5/54/468A	04/08/23	Coed y Wenallt Forest, Rhydymain.	Construction of a new highway access for forestry operations from the A494(T) comprising a 60m long, up to 4.6m wide, lay-by parallel to the A494 with a lockable vehicle access gate at each end and a separation island between the A494(T) and the new lay-by. Construction of a temporary 80m long vehicle access (diverge) taper extending South West from the lay-by adjacent the A494(T), and a temporary 30m long vehicle exit (merge) taper extending North East from the lay-by adjacent the A494(T). Construction of 120m length of forest road, between 4.0m and 13.0m wide, extending to the South West and North East from the west side of the layby to connect with forest tracks and to provide access to timber stacking areas. Construction of a 240m loop of 3.4m wide forest access track connecting to each end of the forest road. Installation of a total of 325m length of up to 3m high temporary rockfall protection barrier (catch fencing) parallel to the A494.
NP5/70/83E	23/12/22	Ffynnon Gower, Llangower. LL23 7DA	Construction of a agricultural shed,

Awaiting HRA Appropriate Assessment

NP2/11/715H	21/09/23	Llyn Gwynant Campsite, Nant Gwynant. LL55 4NW	Proposed single storey storage extension to existing catering cabin
NP3/12/126C	20/09/22	Bron Fedw Uchaf, Rhyd Ddu. LL54 7YS	Conversion and change of use of rural outbuildings to 3 holiday letting units, erection of bat barn, alterations to existing vehicular access and associated works.
NP4/12/214C	20/02/23	Llyn Dulyn Reservoir, Tal-y-Bont.	Works in association with proposed pipe replacement including new culvert head and scour discharge area, reinforced concrete wall, siting of 10ft shipping container and temporary construction compound, rock mesh and laydown area,
NP4/12/235	20/02/23	Land near Rowlyn Uchaf, Tal-y-Bont. LL32 8SH	Temporary construction and laydown area in association with engineering works at Llyn Cwm Dulyn,
NP4/26/80J	11/08/23	Plas-yn-Rhos, Rhydianfair, Betws-y-Coed. LL24 0SS	Amended design to Planning Consent NP4/26/80A in relation to conversion of farm buildings to holiday accommodation granted on appeal under reference A/1/91 dated 27/09/2021.
NP5/53/598C	16/05/23	Land near Ffynnon Beuno, Bala.	Outline application with all details reserved for construction of a single dwelling (Re-submission following refusal of planning application NP5/53/598B)
NP5/57/49H	08/09/23	Trem Hyfryd, Dolgellau, LL40 2SP	Conversion of guest house accommodation to form two separate dwellings and creation of new parking area.
NP5/57/205J	06/06/23	Former Fron Olau Hotel, Tabor, Dolgellau. LL40 2PS	Conversion of former hotel into six residential units (C3) consisting of 3 open market dwellings and 3 affordable dwellings together with retention of alterations to the external appearance of the building.
NP5/65/367A	22/03/22	Dolfawr, Llanelltyd. LL40 2HD	Construction of single storey building for use as commercial cattery.

NP5/69/113N	07/11/22	Llanfendigaid, Rhoslefain. LL36 9LS	Change of use of old mill into office and storage space
NP5/70/71E	12/04/23	Felindre, Llanuwchllyn. LL23 7DD	Engineering works for construction of new manège, and extension to existing agricultural building to accommodate associated items.
NP5/71/L296A	25/05/23	1 Coed y Lon, Llanuwchllyn, LL23 7ST	Construction of two storey side extension.
NP5/71/495	14/02/23	Land near Cefn Yr Odyn, Llanuwchllyn.	Construction of a detached two storey dwelling
NP5/72/218F	22/03/23	Ty'n Cornel Holiday Park, Fronoch. LL23 7NU	Part change of use for the restructured layout of 23 existing touring caravan and camping pitches.
NP5/78/578	08/08/23	Land near B4391, Trawsfynydd.	Installation of a new 35m high lattice telecommunications mast supporting 9 no. new antennas, 3 no. new dishes, ground based equipment cabinets including a foul weather enclosure and associated ancillary apparatus including remote radio heads, mast head amplifiers and GPS nodes within a compound enclosed by 1.8m high mesh fencing.

Considering Additional Information from Applicant

NP4/29/500C	19/09/23	Land at Moel Llechwedd Hafod, Cwm Penmachno.	Installation of a 5m tower extension to the existing installation. Relocation of 3 no. antennas and 2 no. dishes (approved under application NP4/29/500) to the top of the extension. Installation of 3 no. new antennas, 3 no. new cabinets, remote radio heads, mast head amplifiers and GPS nodes and associated apparatus and ancillary works.
NP4/29/524	31/07/23	Land at Iwerddon, Penmachno. LL24 0PS	Installation of a 30m high lattice communications mast, antennas, ground based apparatus and ancillary development

S106 being considered by applicant

NP4/12/228B	03/10/23	Ysgol Tal-y-Bont, Conwy Road, Tal-y-Bont. LL32 8QF	Demolition of former classroom cabin and conversion of former school and headmaster's lodge into 2 dwellings, construction of new single storey extension, installation of new rooflights to north and south roof elevations, and construction of new detached double garage / workshop.
NP4/31/112B	17/03/23	Gwern Hywel Uchaf, Ysbyty Ifan. LL24 0PD	Demolition of outbuilding and erection of rural enterprise dwelling, creation of new access and associated works
NP4/32/L155B	05/10/23	Capel Ebeneser, Trefriw. LL27 0JQ	Conversion of former chapel to form 9 short term self-contained holiday apartments, creation of 2 vehicular accesses, parking for 9 vehicles and extension to vestry roof to create dedicated bat loft including installation of rooflight windows

Total applications on list = 49

Total applications on list Committee 06 December 2023 = 42



PLANNING AND ACCESS COMMITTEE
24 JANUARY 2024

DELEGATED DECISIONS

SNOWDONIA NATIONAL PARK AUTHORITY

PLANNING AND ACCESS COMMITTEE 24 JANUARY 2024

DELEGATED DECISIONS

Applications Approved

	Application No.	Proposed	Location	Decision Date	Case Officer
1.	NP2/11/52N	Discharge Condition No.9 (programme of archaeological recording) attached to Planning Consent NP2/11/52L dated 06/12/2023	Pen-y-Pass Car Park, Nant Gwynant. LL55 4NU	12/12/23	Mr Richard Thomas
2.	NP2/16/T413J	Construction of single storey storage/implement shed to side of dwellinghouse	Beudy Mawr, Erw Suran, Cwm Ystradllyn. LL51 9BQ	21/11/23	Mr Richard Thomas
3.	NP3/10/60C	Construction of single storey extension to garage for use as home office	Puffin View, Abergwyngregyn. LL33 0LL	23/11/23	Mr Richard Thomas
4.	NP3/15/180M	Discharge Condition No.3 (Biodiversity Enhancement Scheme) attached to Planning Permission NP3/15/180L dated 28/07/2023	Land at upper car park, Snowdonia Mountain Railway, Llanberis. LL55 4TU	16/11/23	Mr Richard Thomas
5.	NP3/15/LB40F	Listed Building Consent to replace 4 timber external windows and 2 timber external doors	Ty Ucha'r Ffordd, Llanberis. LL55 4UD	23/11/23	Mr. Mathew Crook
6.	NP3/15/T75K	Discharge of Condition No.4 (Stone panel sample) attached to Planning Consent NP3/15/T75H dated 12/12/2022	Climbers Hut, Cwm Glas Mawr, Nant Peris, LL55 4UL	16/11/23	Mr Richard Thomas
7.	NP4/11/398A	Non material amendment to Planning Consent NP4/11/398 dated 04/07/2023 for amended parking arrangement to proposed dwellings, additional parking for the surgery, pedestrian access and improved into the adjacent field	Land to rear of Medical Surgery, Betws-y-Coed. LL24 0BP	30/11/23	Mr Richard Thomas
8.	NP4/13/13E	Change of use from Guest House (Use Class C1) to Short-Term, Self-Catering Holiday Letting Accommodation (Use Class C6)	Bryn Glo, Capel Curig. LL24 0DT	21/11/23	Mr Richard Thomas

9.	NP4/16/239A	Prior notification under Schedule 2, Part 24 of The Town & Country Planning (General Permitted Development) Order 1995 for the installation of a 20m monopole supporting 3 antennas and 2 600mm dishes, together with 1 equipment cabinet, 1 generator, and 1 meter cabinet and ancillary development thereto.	Land at Garnedd Pen y Bont, Dolwyddelan.	15/12/23	Mr Richard Thomas
10.	NP4/26/120F	Conversion and extension of garage into ancillary Managers / Owner's accommodation	Ty'n y Fron & Ty'n y Fron Cottage, Lon Muriau, Betws y Coed. LL24 0HD	21/11/23	Mr Richard Thomas
11.	NP4/31/49G	Prior notification under Schedule 2, Part 24 of The Town & Country Planning (General Permitted Development) Order 1995 for the relocation of 3 emergency services network antennas and MHAs to new slimline antenna mount, overall height increase to 17.4m (from 15m). Installation of 3 new shared rural network antennas, 5 new cabinets, remote radio units, mast head amplifiers, GPS nodes and associated apparatus and ancillary works within the existing facility compound	Llyn Conwy Water Treatment Works, Ysbyty Ifan.	19/12/23	Mr Richard Thomas
12.	NP5/52/LB225H	Non material amendment to Planning Consent NP5/52/LB225D dated 07/06/2012 to omit the crog-loft element of the outbuilding conversion and amend the ground floor layout to retain a bedroom; slight repositioning of two conservation roof lights to address the changed ground floor layout; omit the creation of a new window opening in the west wall and compensate for the loss of internal light by replacing the proposed full glazed door and adjoining small narrow window in the south wall with a full-height window; omit the proposed new crog-loft window opening proposed in the south elevation; raise small window in north wall by 20cms; and in south wall of proposed new extension to replace wide horizontal window with a door and small vertically proportioned window.	Tyn Y Graig, Arthog, LL39 1DQ	20/11/23	Mr David Jones

13.	NP5/53/128B	Construction of new workshop and store	Ardwyn Bach, 17 Castle Street, Bala. LL23 7YB	17/11/23	Mr. Dafydd Thomas
14.	NP5/53/490B	Construction of two storey rear extension and 1.8m high boundary fence	1 Trem y Ffridd, Bala. LL23 7DG	11/12/23	Mr. Dafydd Thomas
15.	NP5/54/466	Construction of first floor extension, construction of front porch, and installation of 3 rooflights to front roof elevation	Ty'n-y-Twll, Llanfachreth. LL40 2DP	05/12/23	Mr. Dafydd Thomas
16.	NP5/54/582A	Demolition of existing single storey rear extension and construction of a new two storey rear extension	Coed Mwsoglog, Rhydymain. LL40 2BW	17/11/23	Mr. Dafydd Thomas
17.	NP5/54/94A	Installation of 8 solar panels (360W–380W) on south elevation roof	5 Bryniau, Brithdir. LL40 2TY	14/11/23	Mr. Dafydd Thomas
18.	NP5/54/L249D	Construction of rear extension and front porch	Meithrinfa Seren Fach, Brithdir. LL40 2RP	14/11/23	Mr. Dafydd Thomas
19.	NP5/57/1189	Construction of first floor extension to existing workshop/laundry space to accommodate open plan office space	Garage / Workshop, Glyndwr Street, Dolgellau. LL40 1BD	08/12/23	Mrs. Iona Roberts
20.	NP5/57/230P	Change of use of former car show room and motel building and associated land to ambulance reporting station and associated works	Land adjacent to the Texaco Garage, Bala Road, Dolgellau. LL40 2YE	20/11/23	Mr David Jones
21.	NP5/57/42Q	Discharge Condition No.5 (stone panel) of Planning Consent NP5/57/42M dated 24/04/2017	Mile End Filling Station, Dolgellau, LL40 2AB	14/11/23	Mr David Jones
22.	NP5/57/LB418A	Extension of the rear lean-to, replacement windows and rooflight to rear, new rooflight to front and internal alterations	Llys Meurig, Meyrick Street, Dolgellau. LL40 1LS	23/11/23	Mr David Jones
23.	NP5/57/LB418B	Listed Building Consent for the extension of the rear lean-to, replacement windows and rooflight to rear, new rooflight to front, together with internal alterations including the creation of a shower room and en-suite on the second floor	Llys Meurig, Meyrick Street, Dolgellau. LL40 1LS	23/11/23	Mr David Jones
24.	NP5/58/657	Render over existing concrete bricks cladding with smooth coloured render	Nant Fach, Dyffryn Arduwy. LL44 2BE	07/12/23	Mr Aled Lloyd

25.	NP5/58/LB443E	Formation of terrace and steps, installation of rooflights to East wing and installation of ground source heat pump	Taltreuddyn Fawr, Dyffryn Ardudwy. LL44 2RQ	07/12/23	Mr Aled Lloyd
26.	NP5/58/LB459B	Listed Building Consent for conversion, extension and change of use of outbuildings to create 4 new open market dwellings, together with formation of new access lane, new boundary walls and associated landscaping	Taltreuddyn Fawr, Dyffryn Ardudwy. LL44 2RQ	14/12/23	Mr Aled Lloyd
27.	NP5/59/177T	Discharge Condition 3 (Approval of stonework) attached to Planning Consent NP5/59/177Q dated 06/07/2023	Ffestiniog Power Station, Tanygrisiau. LL41 3TP	30/11/23	Mr Aled Lloyd
28.	NP5/59/511M	Variation of Condition No.2 of Planning Consent NP5/59/511F dated 11/06/2019 for amended site layout and to remove garage on Plot 15, garage space to be substituted on Plots 5 & 16 to be domestic floor area to create forth bedroom, and internal alterations to alter units from being all 3 bedrooms to a mix of 2, 3 and 4 bed units	Land to rear of Penrhiw, Llan Ffestiniog.	14/12/23	Mr Aled Lloyd
29.	NP5/61/479C	Erection of a detached triple bay garage with first floor gym	Bryn Gwylan, Ffordd Uchaf, Harlech. LL46 2SS	08/12/23	Mr Aled Lloyd
30.	NP5/62/6E	Replacement of existing timber French doors and panels with Upvc French doors and panels (3 sets) on the front elevation	Ty Mawr Hotel, Llanbedr. LL45 2NH	12/12/23	Mr Aled Lloyd
31.	NP5/64/190	Installation of a 20m high lattice tower supporting 6 no. antennas, 4 no. transmission dishes, 2 no. equipment cabinets, 1 no. meter cabinet and ancillary development thereto including a generator and associated fuel tank, a hardstanding area, a new access track and a 2.4m high fenced compound with gabion wall	Land at Ffridd Bryn Coch, Llanegryn. LL36 9UG	16/11/23	Mr Richard Thomas
32.	NP5/66/T278B	Demolition of existing front porch and erection of new single storey front extension	Hen Gaerffynon, Harlech. LL46 2RA	14/11/23	Mr Aled Lloyd

33.	NP5/68/LB49A	Listed Building Consent for replacement windows, remedial work to part floor, ground floor levels, alterations to first floor partitions, and creation of shower room	Parc, Llanfrothen. LL48 6SP	27/11/23	Mr. Mathew Crook
34.	NP5/70/LB16E	Construction of an extension together with internal alterations and the installation of one rooflight	Old Ty'n-y-Wern, Rhosygwaliau. LL23 7ER	14/11/23	Mr. Mathew Crook
35.	NP5/71/496	Construction of agricultural building to store miden (cattle and sheep excrement), forage and fodder	Afonfechan Farm, Cynllwyd Isaf, Bala, LL23 7DE	14/11/23	Mr. Dafydd Thomas
36.	NP5/71/507	Demolish 2 existing single storey rear extensions and construct a new two storey rear extension	Cambrian House, 4 Aran View, Llanuwchllyn. LL23 7TT	14/11/23	Mr. Dafydd Thomas
37.	NP5/71/9C	Construction of agricultural building to store farm implements	Nant-y-Barcud, Cynllwyd Uchaf, Llanuwchllyn.	05/12/23	Mr. Dafydd Thomas
38.	NP5/75/68B	Erection of five affordable dwellings together with associated access, parking and landscaping	Land opposite Maesteg, Pennal. SY20 9DL	21/12/23	Mrs. Iona Roberts
39.	NP5/75/LB153C	Listed Building Consent for repairs to existing porch and installation of internal secondary glazing to 3 French windows on south east elevation of the house within the verandah	Pant Lludw, Pennal, SY20 9JR	20/12/23	Mr. Mathew Crook
40.	NP5/78/305E	Re-roofing and alterations to annexe	Pantglas, Abergeirw, Dolgellau. LL40 2PG	17/11/23	Mr. Dafydd Thomas
41.	NP5/78/T369A	Installation of ground-based air source heat pump to rear and installation of 4 solar panels (1.620 kWp) to north east roof elevation, and installation of 6 solar panels (2.43 kWp) to south west roof elevation	Gelli Deg, Trawsfynydd. LL41 4SP	05/12/23	Mr. Dafydd Thomas
42.	NP5/79/350A	Installation of 14 ground mounted solar panels (6.09 KW)	Nant y Cynog Farm, Cwm Maethlon, Tywyn.	20/12/23	Mr David Jones

Applications Refused

	App No.	Proposed	Location	Reason for Refusal	Case Officer
1.	NP4/16/78J	Conversion and change of use of outbuilding to independent dwelling falling within Use Class C3 to include demolition of existing offshoot and erection of two storey extension and installation of new roof windows.	Tanaeldroch, Dolwyddelan, LL25 0LZ	14/12/23 By reason of this application proposing what is to be regarded as a new dwelling in the open countryside requiring a significant extension and alteration to an existing outbuilding contrary to established Eryri Local Development Plan (2016 – 2031) policies C, G and 9 and PPW, Edition 11.	Mr Richard Thomas
2.	NP5/53/LB301N	Conversion of old barn and former shop into serviced accommodation as part of Plas yn Dre Hotel, and conversion of toilet block into storage unit for refuse, recycling and general storage including installation of rooflights to front and rear roof	Plas yn Dre, High Street, Bala. LL23 7LU	15/12/23 By reason the information submitted is inadequate and lacking in detail regarding the potential impact of the proposed works to the special historic character and appearance of the listed building to enable the Authority to make a fully informed decision. The proposal therefore fails to satisfy the requirements of Policies A, Ff, 1, 6 and 7 of the Eryri Local Development Plan 2016-2031 and the guidance set out in Planning Policy Wales 11 (February 2021). By reason of insufficient information to demonstrate that the potential impact of flooding can be managed and would not have a detrimental impact on the special historic character and appearance of the listed building. This application fails to comply with the criteria outlined in Policies A, D, Ff, 1, 6 and 7 of the Eryri Local Development Plan 2016-2031.	Mr. Dafydd Thomas

				By reason of insufficient information of an ecological nature upon which a fully informed decision can be made, this application fails to comply with the criteria outlined in Development Policy 1 and Strategic Policy D of the Eryri Local Development Plan 2016-2031.	
3.	NP5/53/LB301P	Listed Building Consent for conversion of old barn and former shop into serviced accommodation as part of Plas yn Dre Hotel, and conversion of toilet block into storage unit for refuse, recycling and general storage including installation of rooflights to front and rear roof	Plas yn Dre, High Street, Bala. LL23 7LU	<p>15/12/23</p> <p>The proposal for the conversion to the old barn and former furniture shop, by virtue of form and design, would be harmful to the special historic character, appearance of the listed building. The proposal therefore fails to satisfy the requirements of Policies A, Ff, 1, 6 and 7 of the Eryri Local Development Plan 2016-2031; the guidance set out in Planning Policy Wales 11 (February 2021), specifically paragraphs 6.1.10 to 6.1.13; and the guidance set out in Technical Advice Note 24 The Historic Environment, specifically paragraphs 5.9 to 5.27.</p> <p>The information submitted is inadequate and lacking in detail regarding the potential impact of the proposed works. As a result of the lack of information provided, the application presents a risk to the fabric, character and appearance of the listed building. The proposal therefore fails to satisfy the requirements of Policies A, Ff, 1, 6 and 7 of the Eryri Local Development Plan 2016-2031; the guidance set out in Planning Policy Wales 11 (February 2021), specifically paragraphs 6.1.10 to 6.1.13; and the guidance set out in</p>	Mr. Dafydd Thomas

				Technical Advice Note 24 The Historic Environment, specifically paragraphs 5.9 to 5.27.	
4.	NP5/63/57E	Retrospective application for the stationing of one pod for use a holiday accommodation	Ty Nant, Capel Celyn, Bala. LL23 7NY	01/12/23 By reason that the development does not form part of an agricultural diversification scheme or ancillary to a new or existing tourist attraction the proposal fails to satisfy criterion i) of Development Policy 29 of the adopted Eryri Local Development Plan Insufficient ecological information has been submitted to demonstrate that the development does not have a detrimental impact on the Natural Environment, as such the proposal fails to satisfy Strategic Policy D: Natural Environment of the adopted Eryri Local Development Plan which seeks to protect local sites of nature conservation and biodiversity importance	Mrs. Alys Tatum
5.	NP5/65/274H	Construction of a steel framed building on existing hardstanding for the purpose of housing agricultural machinery, animal feed and fertiliser	Maes Hyfryd, Llanelltyd. LL40 2HF	14/11/23 By reason of its scale and visibility the building represents an excessive, prominent and visually discordant feature within the site which is unjustified for the size of the holding to the detriment of the special qualities of this part of the National Park and contrary to Strategic Policies A and C and Development Policies 1 and 2 of the Eryri Local Development Plan. Insufficient information has been submitted in order to assess the full impact of the proposal upon features of ecological	Mr Richard Thomas

				importance, namely the adjacent Special Area of Conservation (SAC) and protected species and their habitats contrary to Strategic Policy D and Development Policy 1.	
6.	NP5/65/LB155A	Demolition of existing tin building and construction of double garage, demolition of existing storage building and construction of storage/workshop building in its place	Hendre Forion, Bontddu, LL40 2UR	13/12/23 The proposed double garage, by reason of its scale, would adversely affect the setting of the adjacent Grade II Listed Building identified as former dwelling immediately to S of Hendre Forion and the existing dwelling Hendre Forion as a curtilage building. The proposal would therefore be in conflict with adopted policies of the Eryri Local Development Plan, in particular Strategic Policy Ff and Development Policy 1.	Mr. Mathew Crook
7.	NP5/70/171	Siting of 2 holiday pods and installation of package treatment plant	Land at Maes Afallen, Rhosygwaliau, LL23 7EY	17/11/23 By reason the proposal failing to comply with the criteria outlined in Development Policy 29 of the ELDP and Supplementary Planning Guidance 8. By reason of insufficient information of an ecological nature upon which a fully informed decision can be made, this application fails to comply with the criteria outlined in Development Policy 1 and Strategic Policy D.	Mr. Dafydd Thomas