

NOTICE OF MEETING



Eryri National Park Authority

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Meeting: Planning & Access Committee

Date: Wednesday 25th February 2026

Time: 10.00 a.m.

Location: Eryri National Park Authority Office,
Penrhyndeudraeth and Via Zoom

Members are asked to join the meeting 15 minutes before the designated start time

Members appointed by Gwynedd Council
Councillor: Elwyn Edwards, Delyth Lloyd Griffiths,
Annwen Hughes, Louise Hughes, Edgar Wyn Owen,
Elfed Powell Roberts, John Pughe Roberts,
Meryl Roberts, Einir Wyn Williams;

Members appointed by Conwy County Borough Council
Councillor: Ifor Glyn Lloyd, Jo Nuttall, Nia Owen;

Members appointed by The Welsh Government
Mr. Rhys Evans, Salamatu Fada, Mr. Tim Jones,
Ms. Delyth Lloyd, Ms. Naomi Luhde-Thompson,
Mr. Wyn Thomas.

****This Agenda is also available in Welsh***

A G E N D A

Page Nos

1.	Apologies for absence and Chairman's Announcements To receive any apologies for absence and Chairman's announcements.	
2.	Declaration of Interest To receive any declaration of interest by any members or officers in respect of any item of business.	
3.	Minutes The Chairman shall propose that the minutes of the meeting of this Committee held on the 21 st January 2026 be signed as a true record (Copy herewith) and to receive matters arising, for information.	3 - 7
4.	Reappointment of Local Access Forums by April 2026 To submit a report by the Director of Planning and Partnerships. (Copy herewith)	8 - 9
5.	Reports by the Director of Planning and Partnerships To submit the reports by the Director of Planning and Partnerships on applications received. (Copy herewith)	10 - 40
6.	Update Reports To submit update reports, for information. (Copies herewith)	41 - 47
7.	Delegated Decisions To submit the list of applications which have been determined in accordance with delegated authority, for information. (Copy herewith)	48 - 56



**MINUTES
PLANNING AND ACCESS COMMITTEE
ERYRI NATIONAL PARK
Wednesday 21 January 2026**

PRESENT:

Members appointed by Gwynedd Council

Councillors Elwyn Edwards (Chairman), Annwen Hughes, Louise Hughes, Edgar Wyn Owen, Elfed Powell Roberts, John Pughe Roberts, Einir Wyn Williams;

Members appointed by Conwy County Borough Council

Councillors Ifor Glyn Lloyd, Jo Nuttall, Nia Owen;

Members appointed by the Welsh Government

Salamatu Fada, Tim Jones, Delyth Lloyd, Naomi Luhde-Thompson, Wyn Thomas.

Officers

Iwan Jones, Keira Sweenie, Iona Roberts, Jane Jones, Aled Lloyd, Sophie Berry, Ben Jones, Eifion Jones.

Director of Corporate Services advised that the meeting would be webcast and would also be available online at a later date.

1. Apologies for absence and Chairman's Statements

Apologies were received from Councillor Delyth Lloyd Griffiths and Mr Rhys Evans.

2. Declaration of Interest

Mr Tim Jones declared a personal interest which was not a prejudicial interest in item 4 (3) (Hydroelectricity production plan near Pont yr Afon Gam, Llan Ffestiniog), because he was a trustee of the charity, *Plantlife*, which had opposed the application.

3. Minutes

The minutes of the Planning and Access Committee meeting held on 12 November 2025 were *adopted*, and the Chairman signed them as a true record.

4. Reports by the Director of Planning and Partnerships

Submitted - reports by the Director of Planning and Partnerships about the applications received. See the attached Schedule of Planning Decisions.

5. Compliance and Performance Caseload Update

Submitted – report by the Principal Planning Officer (Compliance)

The current situation regarding caseload and compliance performance was *reported*:

- following a successful prosecution against *Tyn y Pant*, Dyffryn Ardudwy, it was not possible to visit the site to check compliance with an enforcement notice due to adverse weather and illness, but a visit had been organised;
- a visit had also been arranged to *Plas Gwynfryn*, Llanbedr, to see if an enforcement notice regarding the removal of a residential caravan had been undertaken;
- a visit to *Nannau*, Llanfachreth, at the beginning of the week revealed that no urgent repair work to the roof had been completed, and that this was due to the recent unfavourable weather; a local contractor had been appointed to complete the work, and the work was expected to start next week. The related party was aware of the importance and urgency of the problem and was keen for the work to begin;
- agents have contacted the Authority regarding *Castell Cidwm* and a meeting was in the process of being organised.

Noted:

- that the "traffic light system" used by the Welsh Government to benchmark their Performance Indicators in relation to measuring compliance performance is confusing, it is very difficult to scrutinize the figures in the current format, and it would be very acceptable to have the figures in a simpler and more understandable form.
- that officers intend to re-examine how the information should be presented to the Authority to make it clearer and more understandable.

Recommendation: – that Members of the Authority note the content of the report in relation to capacity and performance and provide any observations and comments on this.

Resolved: - to accept the recommendation.

6. Update Reports

6.1 Update reports were *submitted* by the Director of Planning and Partnerships on planning applications and Section 106 Agreements.

Reported:

- NP5/58/363K – Convert an outbuilding into an open market house and install a sewage treatment unit. Nant Eos, Dyffryn Ardudwy. LL44 2HX. The draft agreement had been signed.

6.2 Update reports were *submitted* by the Director of Planning and Partnerships on applications that had not been decided for 13 weeks or more.

Reported:

- NP5/69/354G - Retrospective application to install a flue on an outbuilding (Resubmission). Maes-y-Crynwyr, Llwyngwrl. LL37 2JQ The matter would be raised with the relevant officer.
- NP5/62/LB297B - Conversion of a chapel into a house, changes to the existing entrance (Relocation of plinth), and installation of a sewage treatment unit and related drains. Gwynfryn Chapel, Llanbedr. LL45 2PA That revised plans have been accepted by the Authority

7. Delegated Decisions

Presented - the list of applications decided in accordance with delegated authority.

8. Appeal Decisions

(1) An oral report was *submitted* by the Director of Planning and Partnerships on the Inspector's decision to **reject an appeal** by Sunbourne Limited against the Authority's decision to reject planning permission for an extension to the holiday caravan site to provide (a) a new main entrance to the site with an internal access road and an amenity area; reclassify holiday caravans that have already been granted permission, and redevelop within the existing holiday caravan site to provide (b) 24 static holiday caravans/cabins with landscaping; (c) 12 static holiday caravans/cabins instead of a dwelling house; and (d) 3 fixed holiday caravans in place of the shop on the old site. Up to 455 holiday caravans can be pitched on the holiday caravan site.

(2) (a) (Appeal A)
An oral report was *submitted* by the Director of Planning and Partnerships on the Inspector's decision to **allow an appeal** by Mr. Gareth Roberts against the Authority's decision to grant listed building consent subject to conditions for converting a laundry and workshop to form 2 holiday units and installing skylights, Llanfendigaid, Rhoslefain, Tywyn, Gwynedd LL36 9LS.
(Appeal B)
An oral report was *submitted* by the Director of Planning and Partnerships on the Inspector's decision to **allow an appeal** by Mr. Gareth Roberts against the Authority's decision to grant planning permission subject to conditions for converting a laundry and workshop to form 2 holiday units and installing skylights on the front and rear roofs, Llanfendigaid, Rhoslefain, Tywyn, Gwynedd. LL36 9LS.

(2) (b) (A's application for costs)
An oral report was *submitted* by the Director of Planning and Partnerships on the Inspector's decision to **reject a n application for cost** from Mr. Gareth Roberts for a full award of costs against the Authority's decision to grant permission for a listed building subject to conditions, Llanfendigaid, Rhoslefain, Tywyn, Gwynedd LL36 9LS.
(B's application for costs)
An oral report was *submitted* by the Director of Planning and Partnerships on the Inspector's decision to **reject a request for costs** from Mr. Gareth Roberts for a full award of costs against the Authority's decision to grant planning permission subject to conditions, Llanfendigaid, Rhoslefain, Tywyn, Gwynedd LL36 9LS

(3) (a) An oral report was *submitted* by the Director of Planning and Partnerships on the Inspector's decision to **reject an appeal** by Kath Sylvester against the Authority's decision to reject planning permission for change of use of the ground floor from mixed use Residential C3 and restaurant A3, to Residential use C3, Gwalia, High Street, Harlech, Gwynedd. LL46 2YB.

(3) (b) An oral report was *submitted* by the Director of Planning and Partnerships on the Inspector's decision to **reject an appeal** by Kath Sylvester against the Authority's decision to reject planning permission for changing the use of the ground floor from mixed use Residential C3 and restaurant A3, to Residential use C3, Gwalia, High Street, Harlech, Gwynedd. LL46 2YB

The meeting ended at 10:35



SCHEDULE OF PLANNING DECISIONS – 21 JANUARY 2026

4. Report by the Director of Planning and Partnerships

Submitted:

(1) NP3/12/9L - Installation of two non-flush public toilet facilities, one timber clad, one steel clad and external waterless urinals. Eryri National Park Authority Car Park, Llyn Cwellyn, Rhyd Ddu. LL54 7YT.

Presented – a report by the Planning Officer (Graduate Trainee) - Development Control

Reported:

- the application had been submitted to the Committee because it was an application by ENPA;

Noted:

- the toilets would be accessible to wheelchair users;

Recommendation: – that the Members of the Authority **GRANT permission** for the application subject to the conditions listed.

Resolved: - to **accept** the recommendation.

(2) NP5/53/AD8N - Permission to Display an Advertisement for a digital display screen, Co-op Store, 78-86, High Street, Bala. LL23 7AD.

Presented - report by Ms Sophie Berry

Reported:

- the application was submitted to the Committee because the Community Council expressed an opinion contrary to the recommendation, based on sound planning reasons, which was accepted within the consultation period;
- the screen would be free-standing, set back from the window, and its top half would be a digital display screen;
- the intensity of the screen's glow would respond to the level of ambient light: it would light up when it was brighter outside (limited to a maximum of 700 Candela per square meter) and dim when it was darker outside.

Recommendation: – that the Members of the Authority **GRANT permission** for the application subject to the conditions listed.

Resolved: - to **accept** the recommendation.

(3) NP5/59/495C – Proposed hydroelectric generation scheme to generate up to 600kW in the Cynfal River, to include a pipe route, inflow weir, extraction pit, underground sluice (approx. 1.2km), turbine building, meter building, alterations to existing access and re-siting of existing highway entrance, set-down areas, temporary construction compound, temporary footpath diversion and overhead electric power connection to and from underground to the national grid (approx 600m) (Re-application). Land near Pont yr Afon Gam, Llan Ffestiniog.

Reported, by the Director of Planning and Partnerships:

- the Authority had received a large number of comments on the application very recently;

- over 1300 comments had been received by the Cymdeithas Eryri / Snowdonia Society, comments that had been published on the Society's website but not sent to the Authority until after the Committee's agenda had been published;
- it is essential that all comments on any application receive full consideration before reaching a decision on that application;
- it was not possible for officers to consider all the comments in time, due to the short time that had elapsed since receiving the comments;
- she therefore proposed that the Committee **postpone** discussion of the application until a meeting at a later date.

Noted:

- if further comments were received after the current meeting, they would also be considered and an oral update would be presented to the next meeting before the application would be discussed.

Recommendation: – that the Members of the Authority **postpone** discussing the application so that officers could properly consider the comments received and adapt the report as necessary before submitting it again to a later meeting.

Resolved: - **to accept** the recommendation.

(4) NP5/59/814A – Change of use from a dwelling house C5 to a dwelling house (C5) and accommodation for short term commercial letting (C6) Garreg Lwyd, Bont Newydd, Ffestiniog LL41 4PT.

Presented - report by the Senior Planning Officer - Development Management

Reported:

- the application was submitted to the Committee due to opposition from Ffestiniog Town Council, contrary to the officer's recommendation, but:
- the property is located in a remote area;
- 8% of houses within Ffestiniog parish were second homes;
- the change of use would not lead to a significant loss of permanent housing, and that there would be no loss to the affordable / local housing stock.

Ms Maggie Francis, the Applicant's Agent, *was invited to address the meeting.*

She noted:

- the house has been owned by the same family since 1952;
- being able to rent out the house would assist with the maintenance of the house;
- as the house is already a second home the application should not be controversial.

Recommendation: – that the Members of the Authority **GRANT permission** for the application subject to the conditions listed.

Resolved: - **to accept** the recommendation.

ITEM NO. 4

MEETING	Planning and Access Committee
DATE	25 th February 2026
TITLE	REAPPOINTMENT OF LOCAL ACCESS FORUMS BY APRIL 2026
REPORT BY	Director of Planning and Partnerships
PURPOSE	To approve the process and timetable for the reappointment of the Local Access Forums and to appoint selection panel.

1. BACKGROUND

- 1.1 In April 2002 the Authority established two Local Access Forums; one for the north and one for the south of the National Park.
- 1.2 The North Snowdonia Local Access Forum has 18 members (14 “lay” members, one representative each for Gwynedd Council, Conwy County Borough Council and the SNPA, and one representative for people with disabilities). The South Snowdonia Local Access Forum has 18 members (15 “lay” members and one representative each for Gwynedd Council, SNPA and one representative for people with disabilities). Membership must be balanced between land management and recreational interests, and all members are required to demonstrate a commitment to improving access to the countryside. No interest group (other than interests of disabled people) is to have direct representation on the Forum.
- 1.3 **Regulations** published by the Welsh Government stipulate that membership of a Forum continues for three years from the date of the first meeting of the Forum. The membership was last reappointed in April 2023, and the process must be undertaken and completed once more by April 2026.
- 1.4 It is suggested that the following procedure and timetable is followed:
 - Early February 2026 – letter to interested and relevant organisations requesting suggestions for suitable applicants who would be willing to be considered for membership.
 - Early February 2026 – advertisement in the local press and web.
 - Guidance notes and application forms dispatched to potential candidates, including existing members, by 9th March 2026.

- Deadline for return of applications – 13th April 2026.
- Approval of membership by the Planning and Access committee on 13th May 2026.

2. RESOURCE IMPLICATIONS

2.1 Cost of newspaper advertisement – approximately £1,000.00 (from existing budget).

3. RECOMMENDATION

3.1 That the Committee approve the proposed procedure and timetable for the reappointment of the Local Access Forums.

3.2 That the Committee appoints a selection panel of four SNPA members to consider the applications for the membership of the Forums.

EITEM RHIF 5.0 / ITEM NO. 5.0

<u>Rhif Eitem / Item No.</u>	<u>Cyfeirnod / Reference No.</u>	<u>Disgrifiad / Description.</u>	<u>Swyddog Achos / Case Officer</u>
1	NP5/70/1C	Adeiladu estyniad ochr unllawr, Tŷ Isaf, Llangywer, Gwynedd LL23 7DA / Construction of single storey side extension, Tŷ Isaf, Llangywer, Gwynedd. LL23 7DA	Mr. Ben Jones
2.	NP5/73/351C	Adnewyddu a gosod system sifffon newydd, Llyn Mair, Tan-y-Bwlch, Maentwrog. LL41 3AO / Refurbishment and installation of a new siphon system Llyn Mair, Tan-y-Bwlch, Maentwrog. LL41 3AO	Mr. Aled Lloyd

**Snowdonia National Park Authority –
Planning & Access Committee**

Date: 25-February-2026

Application Number: NP5/70/1C

Date Application Registered: 09/09/2025

Community: Llangywer

Grid Reference: 290163 331763

Case Officer: Mr. Ben Jones

Location:

Tŷ Isaf,
Llangywer,
Gwynedd
LL23 7DA

Applicant:

Mr. Simon Ellenbogan,
Tŷ Isaf,
Llangywer,
Gwynedd
LL23 7DA

Description:

Construction of single storey side extension.

Summary of the Recommendation:

To GRANT permission subject to conditions

- Construction to begin within 5 years
- As per approved plans
- Installation of biodiversity enhancements

Reason(s) Application Reported to Committee:

Community Council Objection

Land Designations / Constraints:

Open Countryside

Site Description:

Tŷ Isaf is a detached house located approximately 0.3 miles southwest of the village of Llangywer. Access to the site is through an unnamed road connecting to the B 4403, which runs parallel to the Bala Lake Railway. The dwelling itself has one immediate neighbouring dwelling to its northeast, with the surrounding area characterised as farmland.

Proposed Development

The proposal seeks permission for the construction of a single storey side extension. The extension would project approximately 3 metres from the side elevation of the existing dwelling and measure 4.3 metres in length. A balcony would be formed above the extension, accessed from the first-floor dining area and linking to the existing pathway to the rear of the property.

Development Plan Policies:

Future Wales 2040

It appears there are no relevant policies in relation to this application

Eryri Local Development Plan 2016-2031

- SP D Natural Environment
- DP 1 General Development Principles
- DP 6 Sustainable Design and Materials
- DP 15 Extensions

National Policy/Guidance:

- Planning Policy Wales (PPW), Edition 10 December 2018

Consultations:

Community Council	The community council opposes the application based on sound planning reasons.
Eryri Ecology	Comments - No PEA submitted however, from viewing images of the site the likelihood of protected species being impacted by the proposals, is considered negligible and the need for survey work may be waived on this occasion.
Local Councillor	No observations were received.

The application has been publicised by way of neighbour notification letters. No representations have been received at the time of writing.

1. Background

1.1 During the statutory consultation period, Llangywer Community Council objected to the initial proposal for the following reasons:

- *'Tŷ Isa is, in essence, a typical small cottage of the area, and its character would be spoiled by adding a balcony.'*
- *'The glass edges do not fit with the architectural features of the area.'*
- *'A flat roof is not suitable in an area that receives a lot of rain.'*

1.2 Amended plans were subsequently submitted to the authority with minor alterations to the design of the balcony, but upon re-consultation, these have also been objected to for the above reasons.

2. Principle of Development

2.1 The principle of extending an existing dwelling within its domestic curtilage is acceptable in this location, subject to compliance with the relevant development plan policies. The proposal constitutes a domestic extension and does not introduce a new or intensified use of the site. As such, the proposal is acceptable in principle.

3. Design, Scale and Impact on Character

3.1 Development Policy 15 permits extensions to existing dwellings where the footprint is smaller and the height is lower than the original dwelling, the design accords with the Authority's guidance, and the extension does not detract from the dwelling or the character of its surroundings.

3.2 The proposed extension is single storey, subordinate in scale to the host dwelling and clearly manifests as an addition rather than an alteration to the original form of the building. The footprint and height are both smaller than the original dwelling, ensuring compliance with criterion (i) of Policy 15.

3.3 The extension would be finished in random stonework, which is considered sympathetic to the existing dwelling and appropriate to its rural setting, in accordance with Development Policy 1(iv) and Policy 6. The use of natural

materials helps the extension integrate into the surrounding landscape and conserves the Special Qualities of the National Park.

- 3.4 The balcony above the extension replaces and enlarges an existing balcony already present at the site. As such, it does not introduce a new architectural feature but represents an evolution of an existing element.
- 3.5 Given the rural context, limited number of neighbouring properties, and the existing balcony arrangement, the proposal would not result in undue prominence within the landscape nor detract from the character of the dwelling or its setting, in accordance with Development Policy 1(i), (ii) and (iii).

4. Amenity Considerations

- 4.1 Development Policy 1(iii) requires that development does not significantly harm the amenity of neighbouring property. The balcony would not introduce any overlooking opportunities, as the proposal relates to the opposite side of the dwelling, and is not visible from the neighbouring property.
- 4.2 The relationship with the single neighbouring dwelling would remain unchanged in amenity terms, and no unacceptable impacts in respect of privacy, overbearing impact or noise are identified. The proposal is therefore considered acceptable in terms of residential amenity.

5. Response to Community Council Objections

- 5.1 The Community Council has raised concerns that the balcony would spoil the character of a typical local cottage, that the steel balustrades do not reflect local architectural features, and that a flat roof is unsuitable in an area of high rainfall.
- 5.2 In response, it is noted that Development Policies 1 and 15 do not preclude balconies where they are appropriately designed and do not harm the character of the dwelling or landscape. In this case, a balcony already exists at the property, and the proposal represents an enlargement rather than the

introduction of a wholly new feature. As such, the development does not fundamentally alter the established character of the dwelling.

- 5.3 The steel balustrades are proposed specifically to match those of the existing balcony, ensuring visual consistency and avoiding the introduction of disparate materials. Development Policy 6 requires the use of materials that are sympathetic to their surroundings, and in this instance the continuation of an existing design approach is considered acceptable and does not result in visual harm.
- 5.4 With regard to the flat roof, whilst flat roofs are not normally encouraged, Local Development Plan policies do not prohibit flat roofs where they are appropriately designed and sited. The roof would be largely concealed by the balcony structure above and would not be visually prominent in the wider landscape, particularly considering the lack of visibility from the neighbouring property, as well as the public highway.
- 5.5 Matters relating to drainage performance are addressed through Building Regulations rather than planning policy, and no evidence has been submitted to demonstrate that the proposed roof form would result in harm to the character or functioning of the building.
- 5.6 Accordingly, the objections raised are not considered to be supported by Development Plan policy and do not warrant refusal of the application.

6. Biodiversity and Natural Environment

- 6.1 Strategic Policy D and Development Policy 1(v) require that development protects and enhances biodiversity within the National Park. The proposal would not result in the loss of any habitats, trees or landscape features, and no designated sites would be affected.

- 6.2 The application includes biodiversity enhancements in the form of one twin-hole sparrow nest box, a Schwegler 9A twin-hole house martin nest cup, and a Vivara Pro Beaumaris Woodstone 'midi' bat box.
- 6.3 The bird boxes are to be installed on the north facing elevation, and the bat box on the south facing elevation, in line with best practice. These measures are considered appropriate and proportionate and will deliver a net gain for biodiversity in accordance with Strategic Policy D and Development Policy 1(v).

7. Other Considerations

- 7.1 The proposal would not result in the loss of landscape features, would not affect public rights of way, and would not give rise to highway or parking concerns, in compliance with Development Policy 1(vi)–(ix).
- 7.2 No adverse impacts on land stability, flooding, or environmental quality have been identified.

8. Conclusion

- 8.1 The proposed single-storey side extension and associated balcony at Tŷ Isaf represents a modest and subordinate addition to an existing rural dwelling. By virtue of its scale, form and siting, the development remains proportionate to the host property and does not detract from its character or its landscape setting within the National Park. The use of random stonework and matching balcony materials ensures a sympathetic appearance in accordance with Development Policies 1, 6 and 15.
- 8.2 The enlargement of the existing balcony does not introduce new overlooking opportunities and would not result in unacceptable harm to neighbouring residential amenity. The concerns raised regarding design, materials and roof form have been carefully considered but are not supported by policy-based harm in this instance. Biodiversity enhancements are incorporated into the proposal, ensuring compliance with Strategic Policy D and Development Policy 1 in respect of the natural environment.

8.1 After assessing the relevant material conditions of the development and noting that it does not conflict with the policies identified above, it is considered that the application can therefore be supported and approved subject to appropriate conditions.

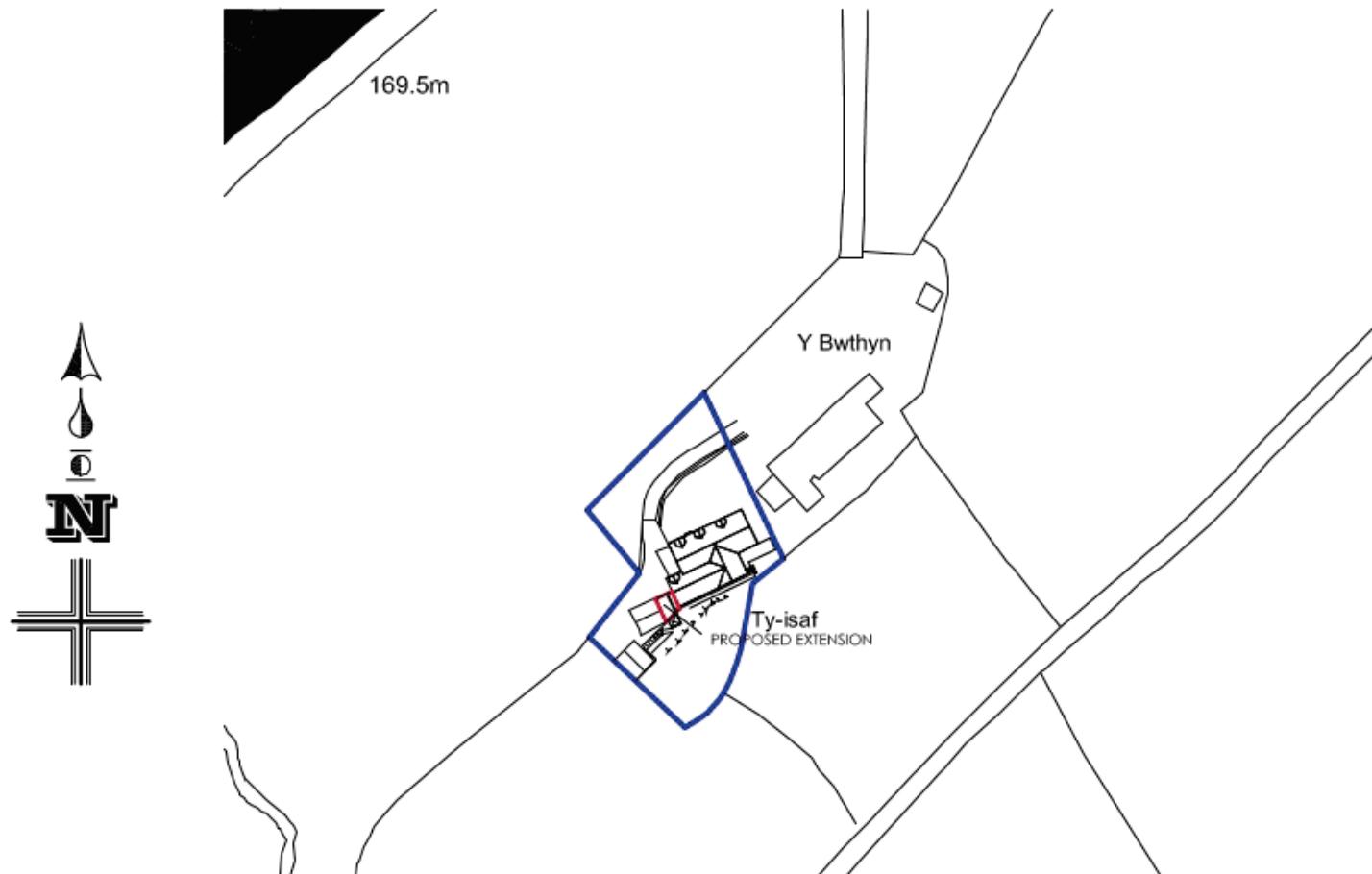
RECOMMENDATION: To GRANT permission subject to the following conditions:

Conditions:

1. (01) The development hereby permitted shall be commenced before the expiration of FIVE years from the date of this decision.
2. (06) The development hereby permitted shall be carried out in accordance with the following approved plans and documents:
 - Location Plan (Drawing No: 25-EXT-281-L1) – dated August 2025
 - Existing Site Layout (Drawing No: 25-EXT-281-07) – dated July 2025
 - Proposed Site Layout (Drawing No: 25-EXT-281-08) – dated July 2025
 - Existing Elevations (Drawing No: 25-EXT-281-03) – dated July 2025
 - Proposed Elevations (Drawing No: 25-EXT-281-06) – dated July 2025
 - Existing Ground Floor Plan (Drawing No: 25-EXT-281-01) – dated July 2025
 - Proposed Ground Floor Plan (Drawing No: 25-EXT-281-04) – dated July 2025
 - Existing First Floor Plan (Drawing No: 25-EXT-281-02) – dated July 2025
 - Proposed First Floor Plan – received on the 18th of November 2025
 - Green Infrastructure Statement – received on the 1st of September 2025
3. The external walls of the extension shall be constructed throughout of local natural stone to match those of the existing dwelling.
4. Within three months of the commencement of the development, the bird boxes proposed as biodiversity enhancements specified in the Green Infrastructure Statement (received 01.09.25) hereby approved shall be installed on the north facing elevation, be of a woodcrete/woodstone construction, and installed as per the manufacturer's instruction. The Vivara Pro Beaumaris Woodstone 'midi' Bat box is not to be installed on the south facing elevation of the house, and installed as per the manufacturer's instruction. These biodiversity enhancements shall thereafter be retained for the lifetime of the development and any subsequent replacements shall be of an equivalent specification.

Reasons –

- 1) To Comply with Section 91 (as amended) of the Town and Country Planning Act 1990.
- 2) To define the permission and for the avoidance of doubt.
- 3) To ensure a satisfactory standard of appearance of the development and the use of appropriate local building materials, in accordance with Eryri Local Development Plan Policies and in particular policies A, 1 and 6.
- 4) To secure biodiversity enhancement in accordance with Strategic Policy D of the adopted Eryri Local Development Plan.



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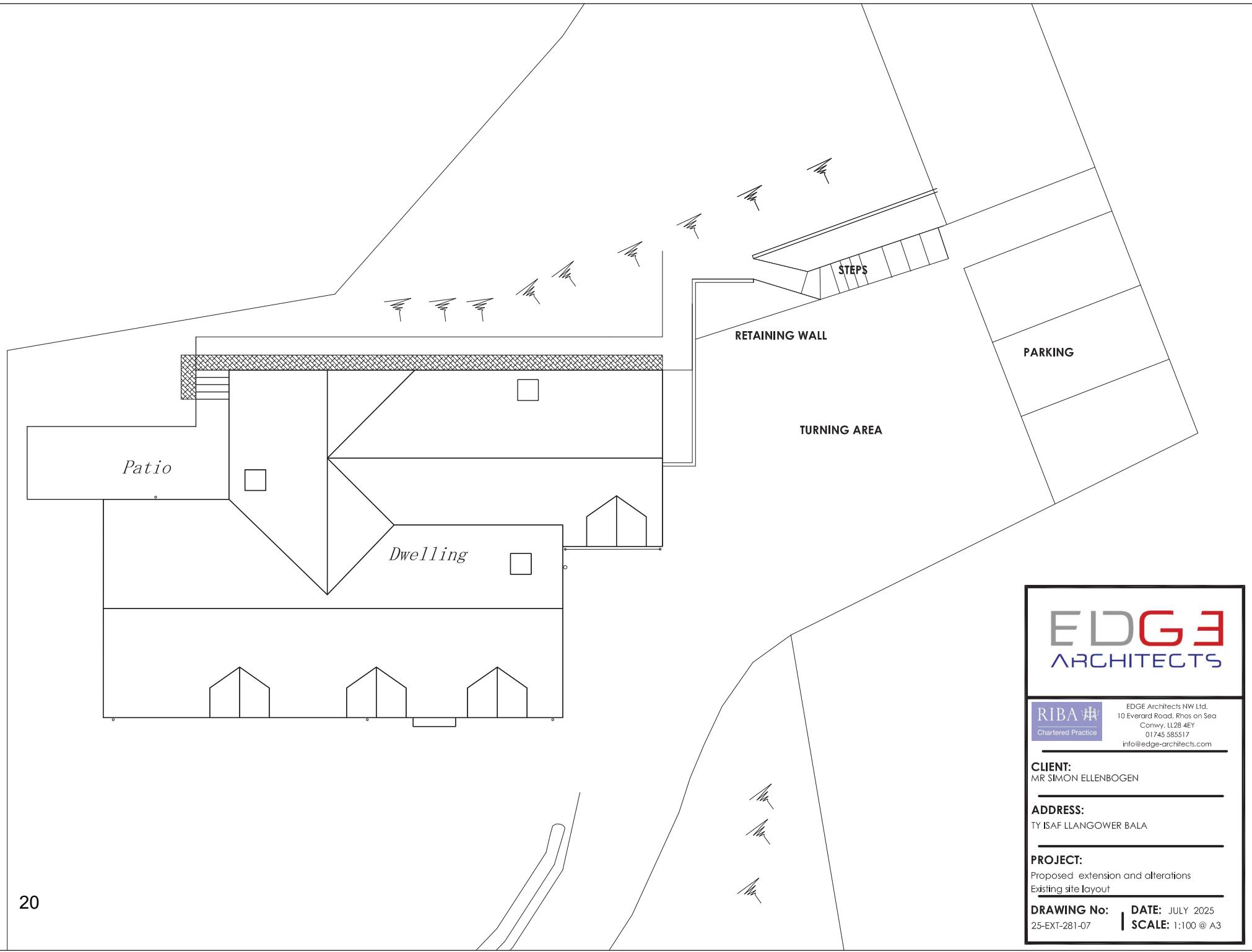
EDGE Architects NW Ltd.
10 Everard Road, Rhos on Sea
Conwy, LL28 4EY
01745 585517
info@edge-architects.com

CLIENT:
MR SIMON ELLENBOGEN

ADDRESS:
TY ISAF LLANGOWER BALA

PROJECT:
Proposed extension and alterations
LOCATION PLAN

DRAWING No: 25-EXT-281-L1 | **DATE:** AUGUST 2025
SCALE: 1:1250 @ A4



EDGE
ARCHITECTS



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10 Everard Road, Rhos on Sea
Conwy, LL28 4EY
01745 585517
info@edge-architects.com

CLIENT:
MR SIMON ELLENBOGEN

ADDRESS:
TY ISAF LLANGOWER BALA

PROJECT:
Proposed extension and alterations
Existing site layout

DRAWING No: 25-EXT-281-07 | **DATE:** JULY 2025
SCALE: 1:100 @ A3



Front Elevation



Side Elevation



Rear Elevation

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RIBA 
Chartered Practice

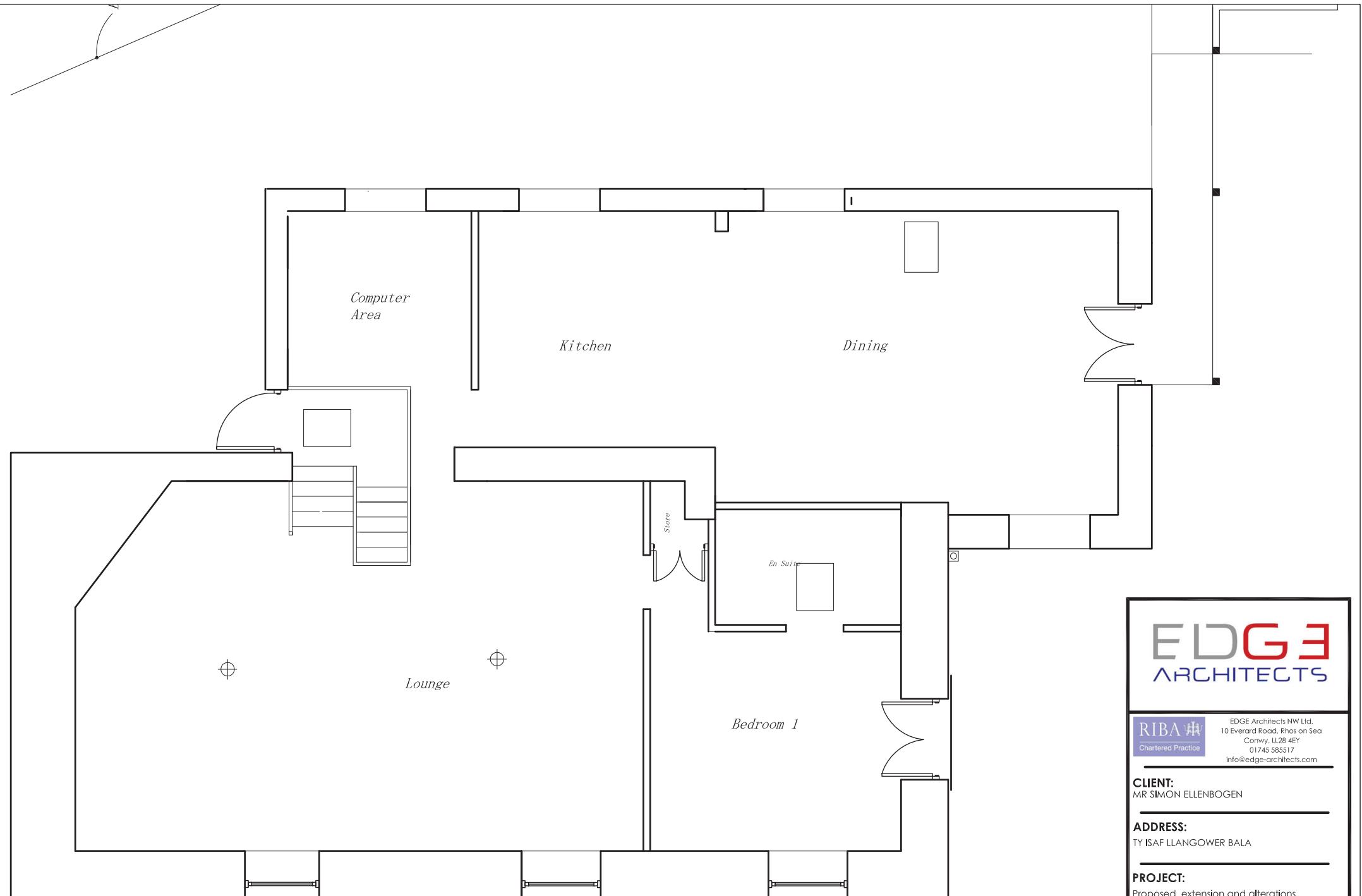
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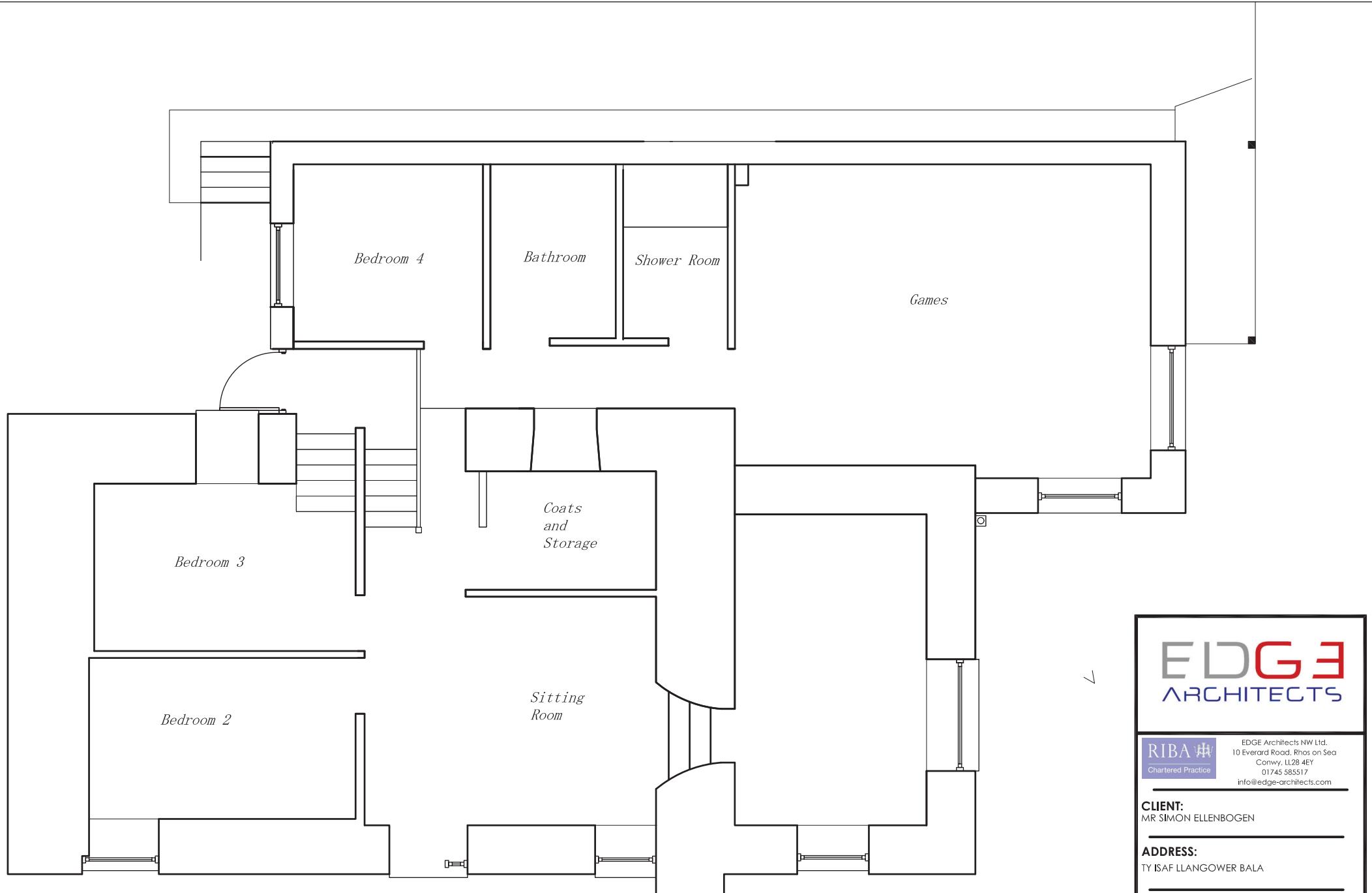
CLIENT:
MR SIMON ELLENBOGEN

ADDRESS:
TY ISAF LLANGOWER BALA

PROJECT:
Proposed extension and alterations
Existing elevations

DRAWING No: 25-EXT-281-03 | **DATE:** JULY 2025
SCALE: 1:100 @ A3





Ground Floor Plan

23

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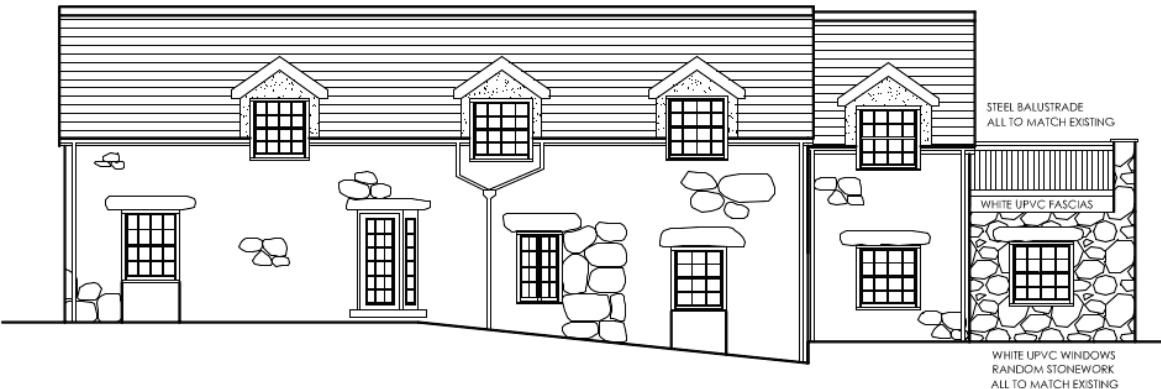
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CLIENT:
MR SIMON ELLENBOGEN

ADDRESS:
TY ISAF LLANGOWER BALA

PROJECT:
Proposed extension and alterations
Existing ground floor plan

DRAWING No: 25-EXT-281-01 | **DATE:** JULY 2025
SCALE: 1:50 @ A3



Front Elevation



Side Elevation



Rear Elevation



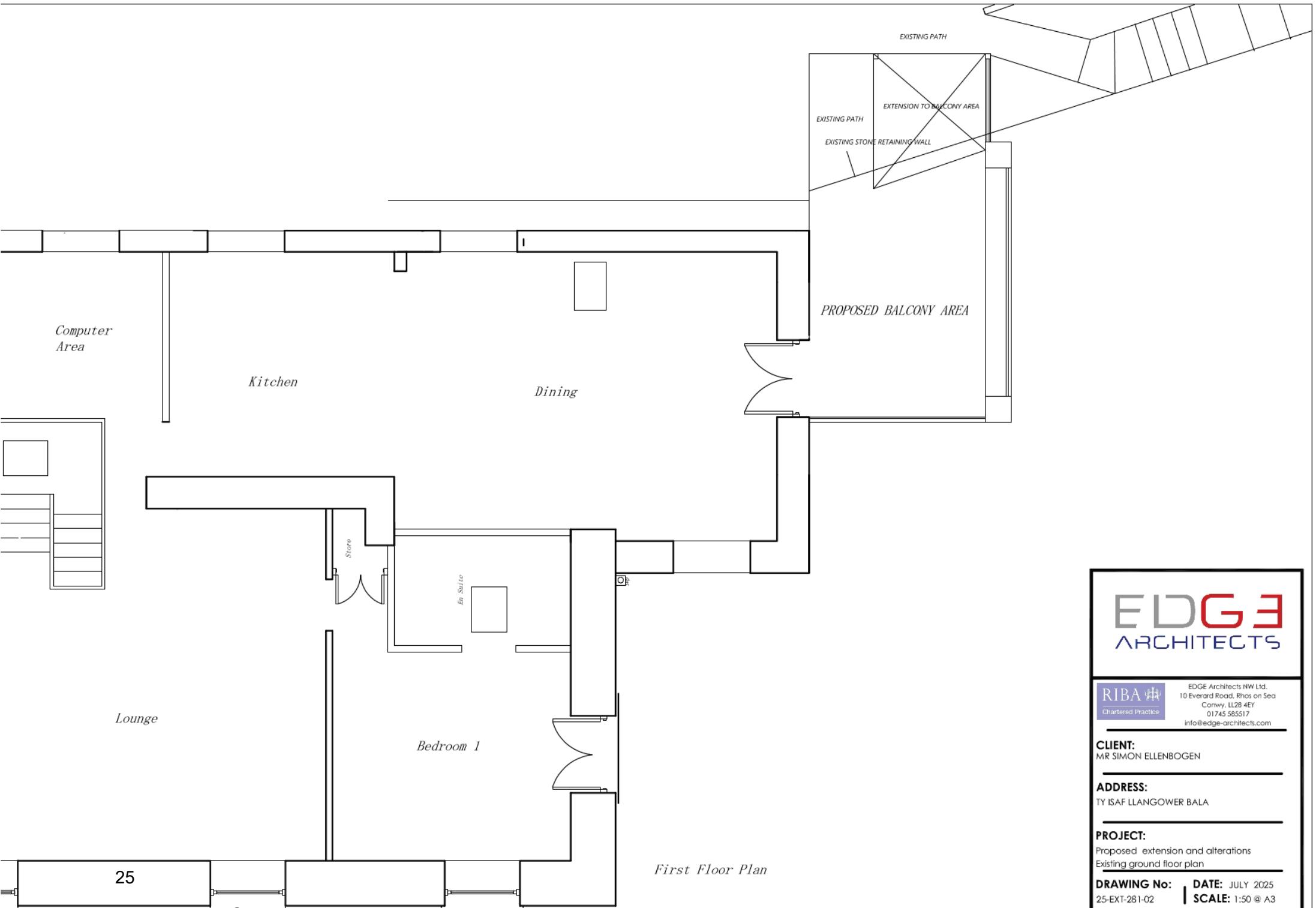
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info@edge-architects.com

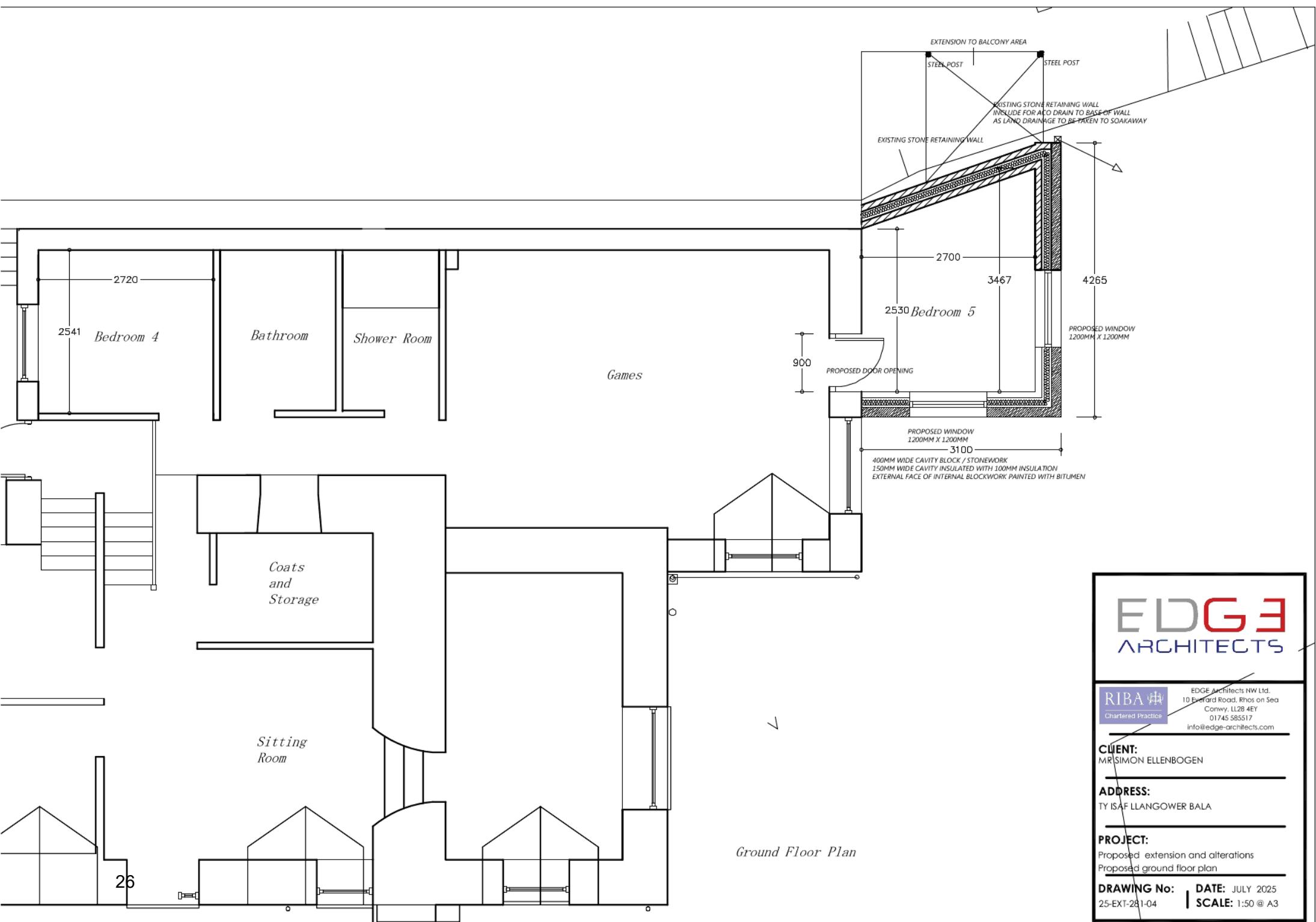
CLIENT:
MR SIMON ELLENBOGEN

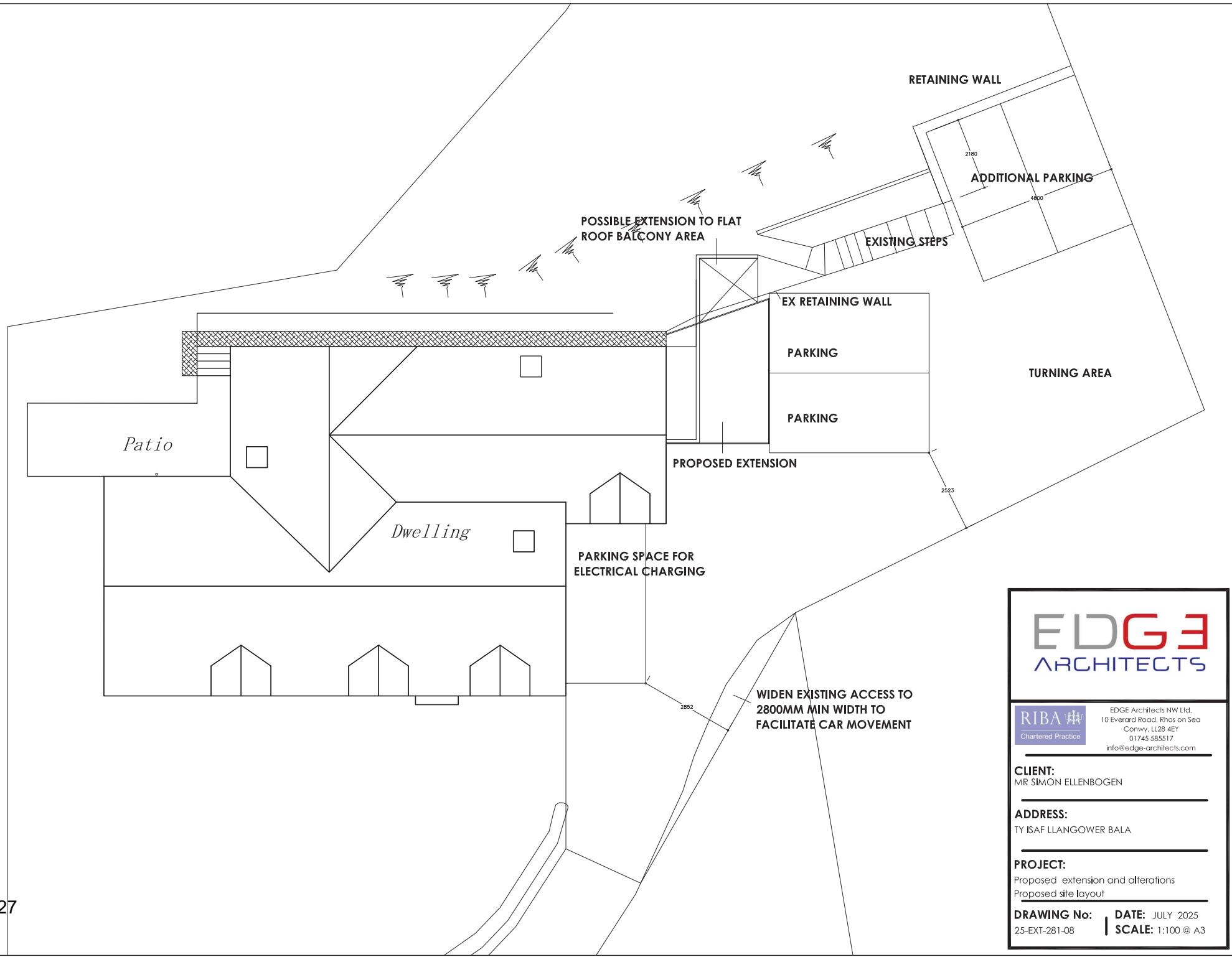
ADDRESS:
TY ISAF LLANGOWER BALA

PROJECT:
Proposed extension and alterations
Proposed elevations

DRAWING No: 25-EXT-281-06 | **DATE:** JULY 2025
SCALE: 1:100 @ A3
REV a









**Eryri National Park Authority –
Planning & Access Committee**

Date: 25-February-2026

Application Number: NP5/73/351C

Date Application Registered: 30/06/2025

Community: Maentwrog

Grid Reference: 265402 3412063

Case Officer: Mr. Aled Lloyd

Location:

Llyn Mair, Tan-y-Bwlch, Maentwrog. LL41 3AO

Applicant:

Eryri National Park Authority,
National Park Office,
Penrhynedd,
Gwynedd.
LL48 6LF

Description:

Refurbishment and installation of a new
siphon system

Summary of the Recommendation:

To **GRANT** permission subject to conditions relating to:

Start work within 5 years.
Accordance with approved plans.
Ecological protections
Planting
Archaeological Investigation

Reason(s) Application Reported to Committee:

Application by ENPA

The development has been subject to a screening opinion which concluded that the development is not EIA development.

The application has been subject to an assessment under the Habitat Regulations Assessment

Land Designations / Constraints:

Open countryside

Located partly within the Coedydd Derw a Safleoedd Ystlumod Meirion / Meirionnydd Oakwoods and Bat Sites SAC.

Flood Zone 2 & 3

Site Description:

The site subject to this application is located within a ENPA owned and managed Lake. Llyn Mair is a reservoir near the village of Maentwrog accessed off the B410. It is surrounded by woodland. A dam is at the eastern end of the lake. The application site is accessed from the access track which runs in a northerly direction to the lake from an internal road to Plas Tan-y-Bwlch.

The application area is located inside the boundaries of the registered Plas Tan-y-Bwlch historic park and garden and is also inside the boundaries of the Ffestiniog: Its Slate mines and Quarries, 'city of slates' and Railway to Porthmadog section of The Slate Landscape of Northwest Wales – World Heritage Site.

Llyn Mair was created by William Edward Oakeley in the 1880's mainly it seems as a landscape feature, but also for fishing. It was constructed by building a dam across the top of a little valley on the eastern side of the historic park to impound water in an area of some 6.5 hectares.

Proposed Development:

This application is for the refurbishment and installation of a new siphon system, to allow safe discharge of water from the lake in an extreme flooding event.

Relevant Planning Policies:

Eryri Local Development Plan 2016-2031

DP1: General Development Principles

SPD: Natural Environment

SP DD: Climate Change

SP Ff: Strategic Environment

DP6: Sustainable Design and Materials

National Policy

- Future Wales (FW): The National Plan 2040
- Planning Policy Wales (Edition 12) 2024

Technical Advice Notes

• Technical Advice Note 5:	Nature Conservation and Planning
• Technical Advice Note 15	Development, flooding and coastal erosion

Consultations:

Maentwrog Community Council:	No response
Natural Resources Wales:	No objections, subject to conditions
Cadw:	No objection
Heneb:	Recommend conditions
ENPA Ecology:	No objections, subject to conditions

Response to Publicity:

The application has been publicised by way of a site notice and neighbour notification letters to 5 nearby residential properties/

At the time of writing this report no observations had been received.

1. Assessment:

Principle of Development

- 1.1 The relevant policies in this case would be ELDP policies which protect against visual or environmental harm. In this case policy DP1 is considered to be relevant as they seek to protect against any visual harm as a result of a development. Policy SP D is considered relevant as it seeks to protect against harm to matters of ecological concern.
- 1.2 The application is supported by a (Preliminary Ecological Assessment) (PEA) which identified the following impact pathways to features of the site:
 - Pollution risk to lake and downstream SAC.
 - Physical disturbance to ground flora near works.
 - Lighting/noise disturbance to lesser horseshoe bats.
 - Spread of invasive species (rhododendron, Japanese knotweed) .
 - Loss of lower plants in spillway/dry ditch.
- 1.3 NRW have advised that mitigation measures and appropriate ways of working should be set out in a Construction Environmental Management Plan (CEMP) which will be implemented as part of the scheme. The PEA also recommends the implementation of a CEMP.
- 1.4 Having considered the above, and in view that there is a need for the proposal it is considered that there is justification in this instance and that principle of development is acceptable.

Flooding Issues

- 1.5 The area subject to the application is within Flood Zone 2 & 3, where there is more than 1% (1 in 100) chance of flooding from rivers in a given year, including the effects of climate change.
- 1.6 Tan 15 at paragraph 4.13 and 4.14 states "*Reservoirs in Wales are categorised according to the risk they pose to the public and environment in the unlikely event of a breach. The amount of development in the inundation catchment is an important factor in determining a reservoir's risk category.*
- 1.7 *Land use planning can inadvertently lead to a reclassification of risk if new development is located within the inundation area of a reservoir. This brings additional maintenance and insurance implications for owners and operators of reservoirs. The reservoir inundation maps on the Flood Map for Planning should be consulted when preparing Development Plans. Any potential implications for reservoir owners or operators, such as allocating development in inundation areas, should be raised by the planning authorities openly and constructively*".

1.8 Given that the proposal has been designed to ensure greater safety in an major weather event, officers are satisfied that there is justification for the proposal and that it accords with policy.

Design & Visual Impacts

1.9 The proposed works are to provide a siphon, so that the Llyn Mair reservoir is better equipped to deal with a major weather event so it is possible to safely lower the level of the reservoir. The siphon will be located partly inside the reservoir and partly in the area of one of the original reservoir spillways and therefore will not alter the way that this part of the historic landscape is experienced, understood and appreciated .

1.10 There will be no significant visual impact on the area and no impact on the registered Plas Tan-y-Bwlch historic park and garden or on the outstanding universal value of the World Heritage Site.

Biodiversity & Ecological Matters

1.11 The Authority's Ecologist and Natural Resources Wales have raised no objections to this proposal whilst providing comments and advice. In accordance with the requirements of PPW a Green Infrastructure Statement (GIS) has been submitted. The GIS concludes with the provision of biodiversity improvements which will include an Owl Nesting Box and Refugia Creation, through a pile of dead logs.

1.12 A Habitats Regulations Assessment has been carried out with the conclusion being that adverse effect on the integrity of the SAC can be avoided with the submission of a CEMP.

2. Conclusion

2.1 Having considered all the relevant material planning considerations, which includes Local and National Planning Policy and Guidance it is considered that the proposal is acceptable and a recommendation to conditionally approve can be given.

RECOMMENDATION: To **GRANT** permission subject to the following conditions:

1. The development hereby permitted shall be commenced before the expiration of FIVE years from the date of this decision.
2. The development hereby permitted shall be carried out in accordance with the following approved plans:
 - Drawing No SP1 + 01 – Location Plan
 - Drawing no 5224625-ATK-LM-ZZ-DR-C-100 – P02 – Site Location and Hazard Plan
 - Drawing no 5224625-ATK-LM-ZZ-DR-C-101 – P02 – General Arrangement and Longitudinal Section
 - Drawing no 5224625-ATK-LM-ZZ-DR-C-102 – P02 – Cross Section and Details (1/2)
 - Drawing no 5224625-ATK-LM-ZZ-DR-C-103 – P02 – Cross Section and Details (2/2)

- Green Infrastructure Statement – revived 27/08/25
- Drawing No SP1 + 01 00 – Biodiversity Enhancements
- Preliminary Ecological Appraisal (PEA) for Llyn Mair Syphon Replacement Works dated 28th October 2025 by Alison Johnson Ecological Consultant

3. No development or phase of development shall commence until a Construction Environmental Management Plan (CEMP) has been submitted to and approved by means of a formal application to the Local Planning Authority. The CEMP should include:

- Construction methods: details of materials, how waste generated will be managed;
- General Site Management: details of the construction programme including timetable, details of site clearance; details of site construction drainage, containments areas, appropriately sized buffer zones between storage areas (of spoil, oils, fuels, concrete mixing and washing areas) and any watercourse or surface drain.
- Biodiversity Management: details of tree and hedgerow protection; invasive species management; species and habitats protection, avoidance and mitigation measures.
- Soil Management: details of topsoil strip, storage and amelioration for re-use.
- CEMP Masterplan: details of the extent and phasing of development; location of landscape and environmental resources; design proposals and objectives for integration and mitigation measures.
- Resource Management: details of fuel and chemical storage and containment; details of waste generation and its management; details of wastewater use.
- Traffic Management: details of site deliveries, plant on site, wheel wash facilities.
- Pollution Prevention: demonstrate how relevant Guidelines for Pollution Prevention and best practice will be implemented, including details of emergency spill procedures and incident response plan.
- Details of the persons and bodies responsible for activities associated with the CEMP and emergency contact details.
- Landscape/ecological clerk of works to ensure construction compliance with approved plans and environmental regulations.

The CEMP shall be implemented as approved during the site preparation and construction phases of the development.

4. The applicant/developer shall ensure that the Compensation / Biodiversity Enhancement detailed in Section 7.3 of the Preliminary Ecological Appraisal (PEA) for Llyn Mair Syphon Replacement Works dated 28th October 2025 by Alison Johnson Ecological Consultant shall be followed and implemented in full within 3 months following the substantial completion of the development hereby permitted and retained thereafter.

5. No planting shall take place until a landscaping plan indicating the location and specifications of trees has been submitted to and approved by the local planning authority by means of a formal application. Native species planting shall be implemented with a minimum of 5 of each tree is provided (x5 holly, x5 rowan, x5 sessile oak, x5 downy birch, x5 silver birch).

6. All planting, seeding or turfing comprised in the approved details of landscaping subject to condition 5 shall be carried out in the first planting and seeding seasons following the occupation of the buildings or the completion of the development, whichever is sooner; and any trees or plants which within the period of 5 years from the completion of the development die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species.
7. No development (including demolition, groundworks, site clearance and infilling) shall take place until a specification for archaeological work has been submitted by the applicant (or their agent or successors in title) and approved by means of a formal application to the Local Planning Authority. The development shall be carried out and all archaeological work completed in accordance with the approved specification.
8. A detailed report on the archaeological work required by condition 7 shall be submitted by means of a formal application to the Local Planning Authority within 6 months of completion of archaeological fieldwork and must then be approved by the Local Planning Authority.

Reasons:

1. To Comply with Section 91 (as amended) of the Town and Country Planning Act 1990.
2. To define the permission and for the avoidance of doubt.
3. To ensure appropriate management of the environmental impacts during the construction phase of the development and protect amenity.
4. To ensure a satisfactory standard of development and to minimise the risk of unacceptable harm or disturbance to protected species in accordance with Eryri Local Development Plan Policies and in particular Policy D.
5. To preserve and enhance the visual amenities of the area, in accordance with Eryri Local Development Plan Policies and in particular Policy 1.
6. To preserve and enhance the visual amenities of the area, in accordance with Eryri Local Development Plan Policies and in particular Policy 1.
7. To ensure the implementation of the appropriate programme of archaeological mitigation in accordance with the requirements of Planning Policy Wales 2021 and TAN 24: The Historic Environment.
8. To ensure that the work will comply with MORPHE/Management of Archaeological Projects (MAP 2) and the Standards and Guidance of the Chartered Institute for Archaeologists (ClfA)

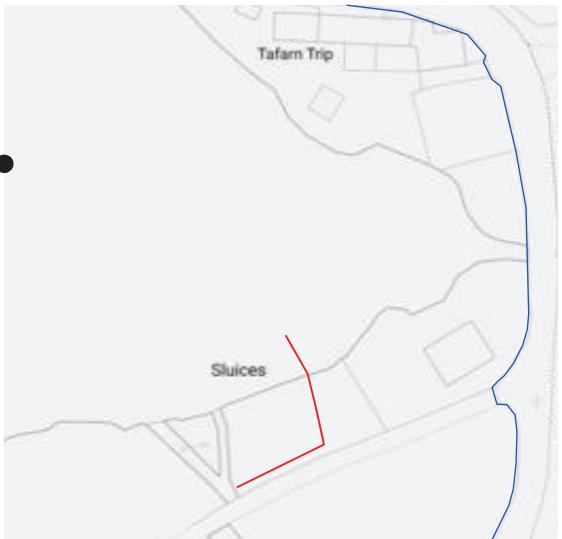
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Cynllun Lleoliad

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35

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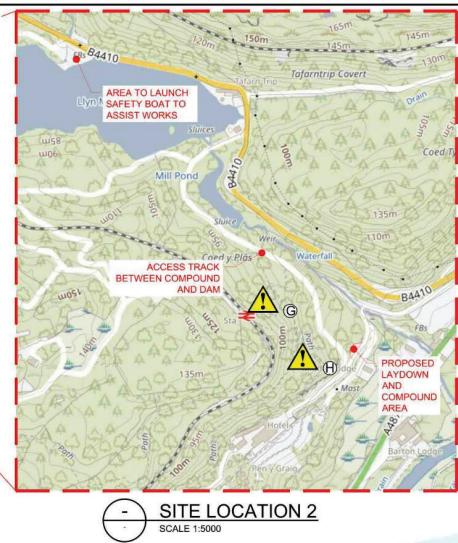
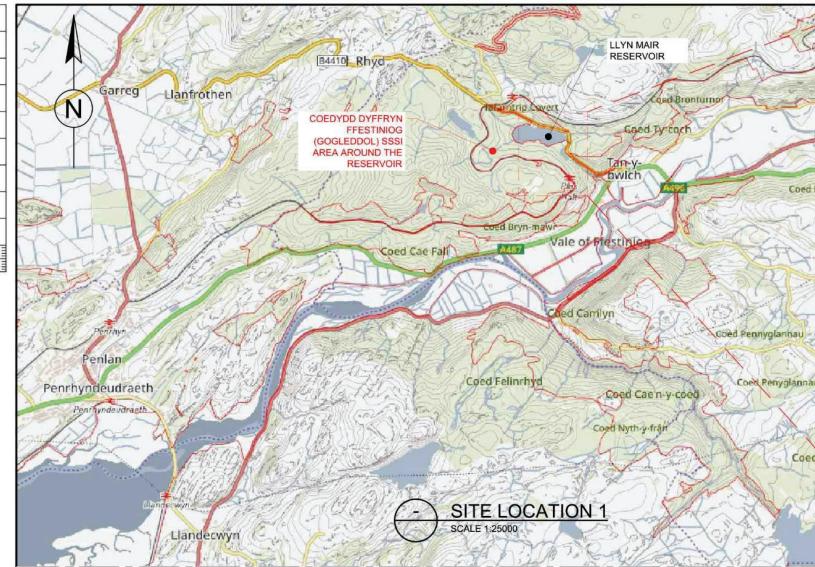


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DOBSON:OWEN																			
PENSEIRI + ARCHITECTS																			
3 Thomas Buildings, Pwllheli LL53 5HH																			
T: (0) 1758 614181 • F: (0) 1758 614388																			
e: post@dobsonowen.com																			
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SAFETY, HEALTH AND ENVIRONMENTAL INFORMATION						
In addition to the hazards/risks normally associated with the types of work detailed on this drawing, note the following:						
CONSTRUCTION						
A. DIFFICULT ACCESS TO THE WORKS AREA, WHICH NEEDS TO BE CONSIDERED IN THE RAMS						
B. WORKS ARE WITHIN A NATIONAL PARK AND CLOSE TO RESIDENTIAL PROPERTIES, DISRUPTION TO PUBLIC (NOISE, ACCESS, EGRESS). CONTRACTOR TO LIASE WITH SNPA TO OBTAIN FERRIES AND NOTIFICATION REQUIREMENTS FOR THE WORKS						
C. CONSIDERATIONS FOR PLACEMENT OF WORKS IN WATERBODY						
D. WORK IN THE PROXIMITY AND WITHIN OF A WATERBODY						
E. CONTRACTOR TO USE QUALIFIED DIVERS AND A BOAT/BARGE TO ASSIST CONSTRUCTION OF UPSTREAM LEG OF SIPHON						
F. FLOOD RISKS DURING CONSTRUCTION RAMS TO BE SUBMITTED TO CCE FOR REVIEW 2 MONTHS BEFORE CONSTRUCTION						
G. STABILITY OF DAM WALL, EXISTING CULVERT AND INSTALLED SIPHON PIPE. AVOID OVERLOADING						
H. LAYDOWN AND COMPOUND AREA REMOTE FROM THE SITE						
I. TRAFFIC CONTROL MEASURE LIKELY TO BE REQUIRED AS ACCESS TRAFFIC WILL BE DIVERTED						
J. HAIRPIN BEND WITH ADVERSE CAMBER AND WITH AN INADEQUATELY PROTECTED DROP ON THE OPPOSITE SIDE						
CONTRACTOR TO LIASE WITH THE QCE. RAMS TO BE SUBMITTED TO CCE FOR REVIEW 2 MONTHS BEFORE CONSTRUCTION						
CONTRACTOR SHALL REFER TO THE DESIGNER'S RISK ASSESSMENT (5224625-ATK-ZZ-LM-DRA-C-1001) FOR FULL ASSESSMENT OF SITE HAZARDS AND THE RESERVOIR ON-SITE EMERGENCY FLOOD PLAN PRIOR TO COMMENCEMENT OF CONSTRUCTION WORKS						
MAINTENANCE/CLEANING						
AS ABOVE						
DECOMMISSIONING/DEMOLITION						
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It is assumed that all works will be carried out by a competent contractor working, where appropriate, to an approved method statement						
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P01 21/11/2023 ISSUED FOR INFORMATION MU JRC AL						
Rev Date Description By Chkd Asptd						
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Member of the SNC-Lavalin Group Tel: +44 (0)1454 662000						
Fax: +44 (0)1454 663333 www.atkinsglobal.com						
C: SNC-Lavalin (2023)						
Project Title SNOWDONIA NATIONAL PARK						
Drawing Title LLYN MAIR RESERVOIR NEW SIPHON DETAILED DESIGN						
Scale 1:100 Drawn DM Checked CRV Reviewed MWH Authorised AL						
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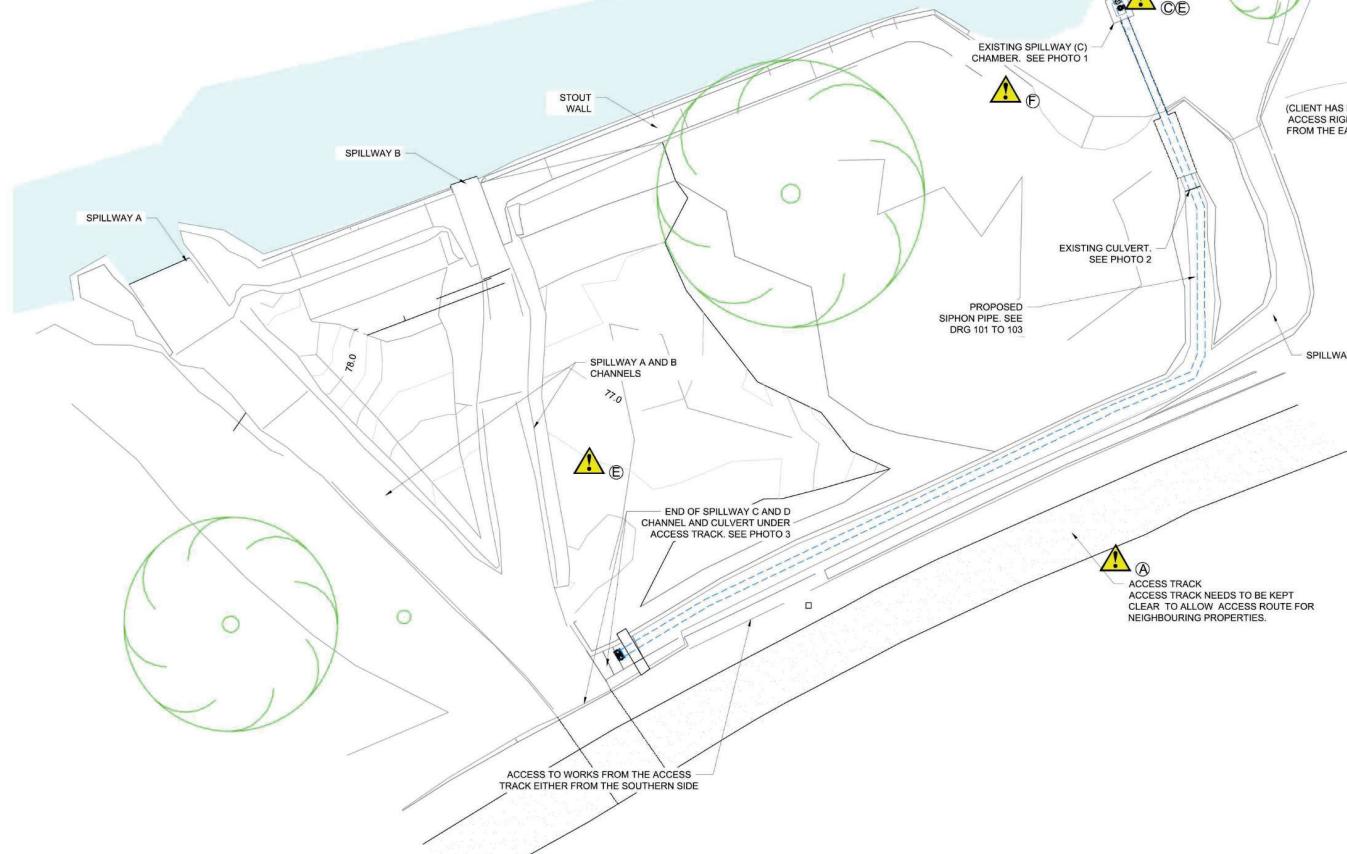


PHOTO 1



PHOTO 2



PHOTO 3

DO NOT SCALE

SAFETY, HEALTH AND ENVIRONMENTAL INFORMATION

In addition to the hazards/risks normally associated with the types of work detailed on this drawing, note the following:

CONSTRUCTION

- A. DIFFICULT ACCESS TO THE WORKS AREA, WHICH NEEDS TO BE CONSIDERED IN THE RAMS
- B. WORKS ARE WITHIN A NATIONAL PARK AND CLOSE TO RESIDENTIAL PROPERTIES, DISRUPTION TO PUBLIC (NOISE, ACCESS/EGRESS). CONTRACTOR TO LIASE WITH SNPA TO OBTAIN FERRIES AND NOTIFICATION REQUIREMENTS FOR THE WORKS
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- G. LAYDOWN AND COMPOUND AREA REMOTE FROM THE SITE
- TRAFFIC CONTROL MEASURE LIKELY TO BE REQUIRED AS ACCESS TRAFFIC IS APPROXIMATELY 1000 VEHICLES PER DAY
- H. HAIRPIN BEND WITH ADVERSE CAMBER AND WITH AN INADEQUATELY PROTECTED DROP ON THE OPPOSITE SIDE

CONTRACTOR TO LIASE WITH THE QCE. RAMS TO BE SUBMITTED TO QCE FOR REVIEW 2 MONTHS BEFORE CONSTRUCTION.

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MAINTENANCE/CLEANING

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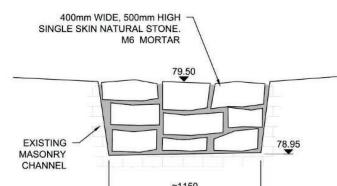
DECOMMISSIONING/DEMOLITION

AS ABOVE

It is assumed that all works will be carried out by a competent contractor working, where appropriate, to an approved method statement

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008	265454.24	341157.90

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2. ALL LEVELS ARE IN METRES TO ORDNANCE SURVEY DATUM (NEWLYN) AND BASED ON THE TOPOGRAPHIC SURVEY FROM OCTOBER 2023.
3. SETTING OUT OF WORKS TO BE APPROVED BY THE SUPERVISOR (APPOINTED BY THE CLIENT).
4. CONTRACTOR TO CHECK THE PRESENCE OF SERVICES IN THE AREA OF THE WORKS PRIOR TO THE COMMENCEMENT OF THE WORKS.
5. WORKS SHALL BE IN ACCORDANCE WITH THE CIVIL ENGINEER'S SPECIFICATION FOR THE WATER INDUSTRY (CESWI) 7TH EDITION.
6. PIPE, VALVES AND FITTINGS TO BE INSTALLED IN ACCORDANCE WITH SUPPLIER RECOMMENDATIONS
7. ANGLES TO BE CONFIRMED BY THE CONTRACTOR SETTING OUT TEAM: * CURVES ACHIEVED WITH COLD (FIELD) BENDING. MINIMUM RADIUS TO BE 14m (50xDN)
8. CONTRACTOR TO CHECK FOR LEAKS IN THE SIPHON. THE CHANNEL TO CHECK FOR LEAKS AFTER JOINTS. THE SIPHON SHALL BE FILLED WITH WATER AND KEPT FULL DURING 24H. EACH JOINT SHALL BE THOROUGHLY INSPECTED TO CHECK FOR LEAKS. FOLLOWING INFILLING OF THE CHANNEL, THE SIPHON SHALL BE OPERATED DURING 20 MIN. STOPPED AND RESTARTED DURING ANOTHER 10MIN. VIDEOS OF THE SIPHON OPERATION SHALL BE RECORDED.
9. CONTRACTOR TO LEAVE THE SIPHON PRIMED FOR FUTURE OPERATION.



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Rev	Date	Description	By	Chas	Appld

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www.atkinsglobal.com
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 SNOWDONIA NATIONAL PARK

Project Title

LLYN MAIR RESERVOIR
NEW SIPHON DETAILED DESIGN

Drawing Title

GENERAL ARRANGEMENT
AND LONGITUDINAL SECTION

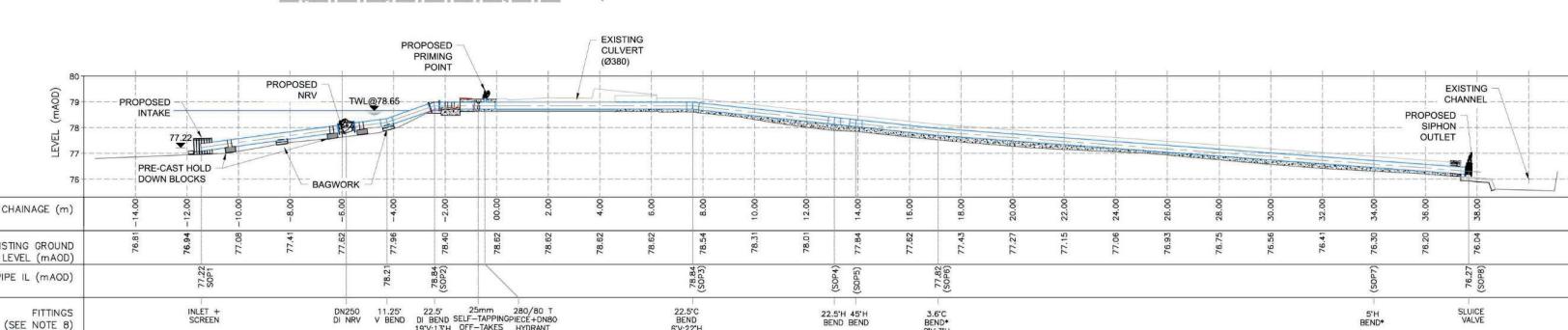
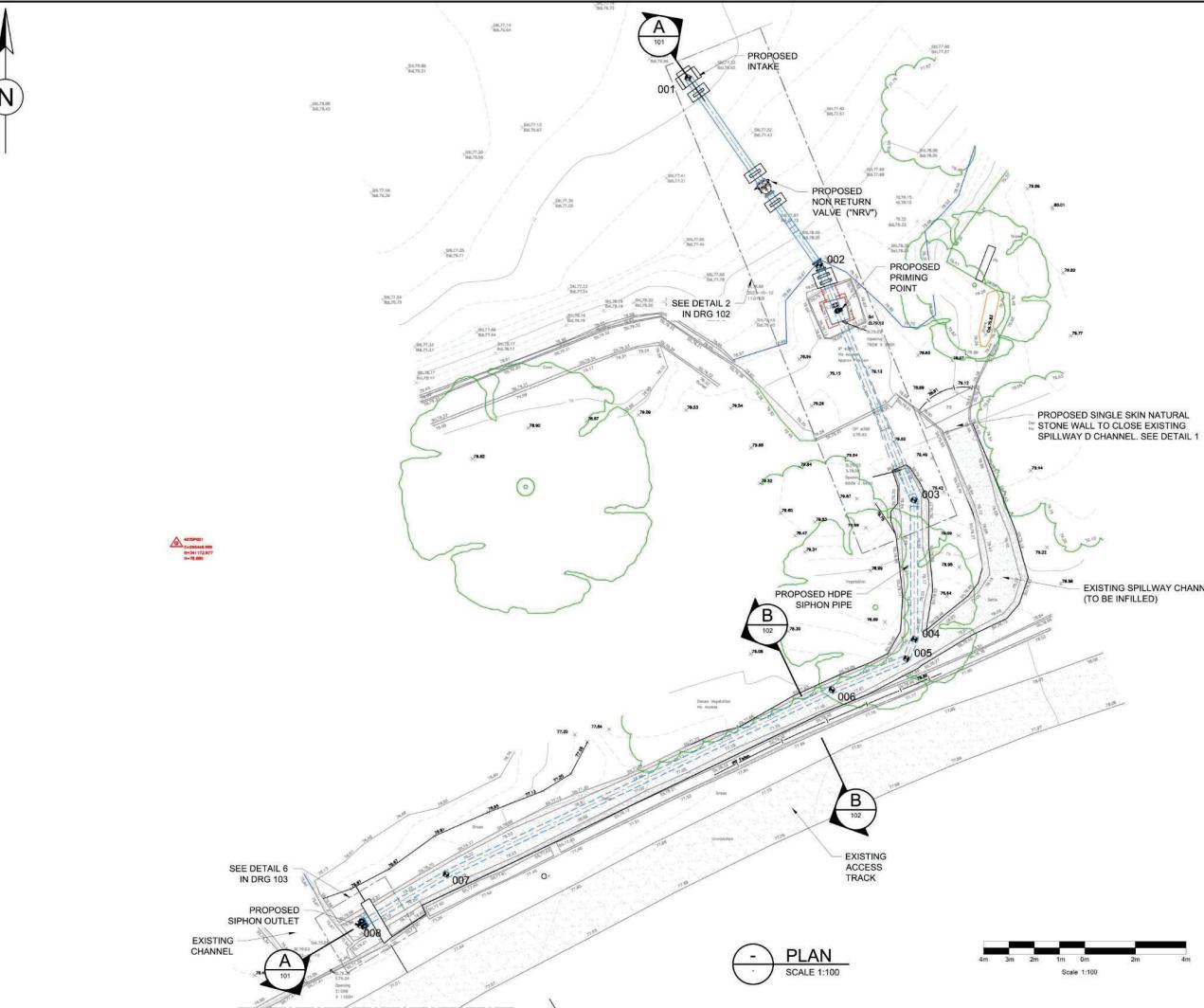
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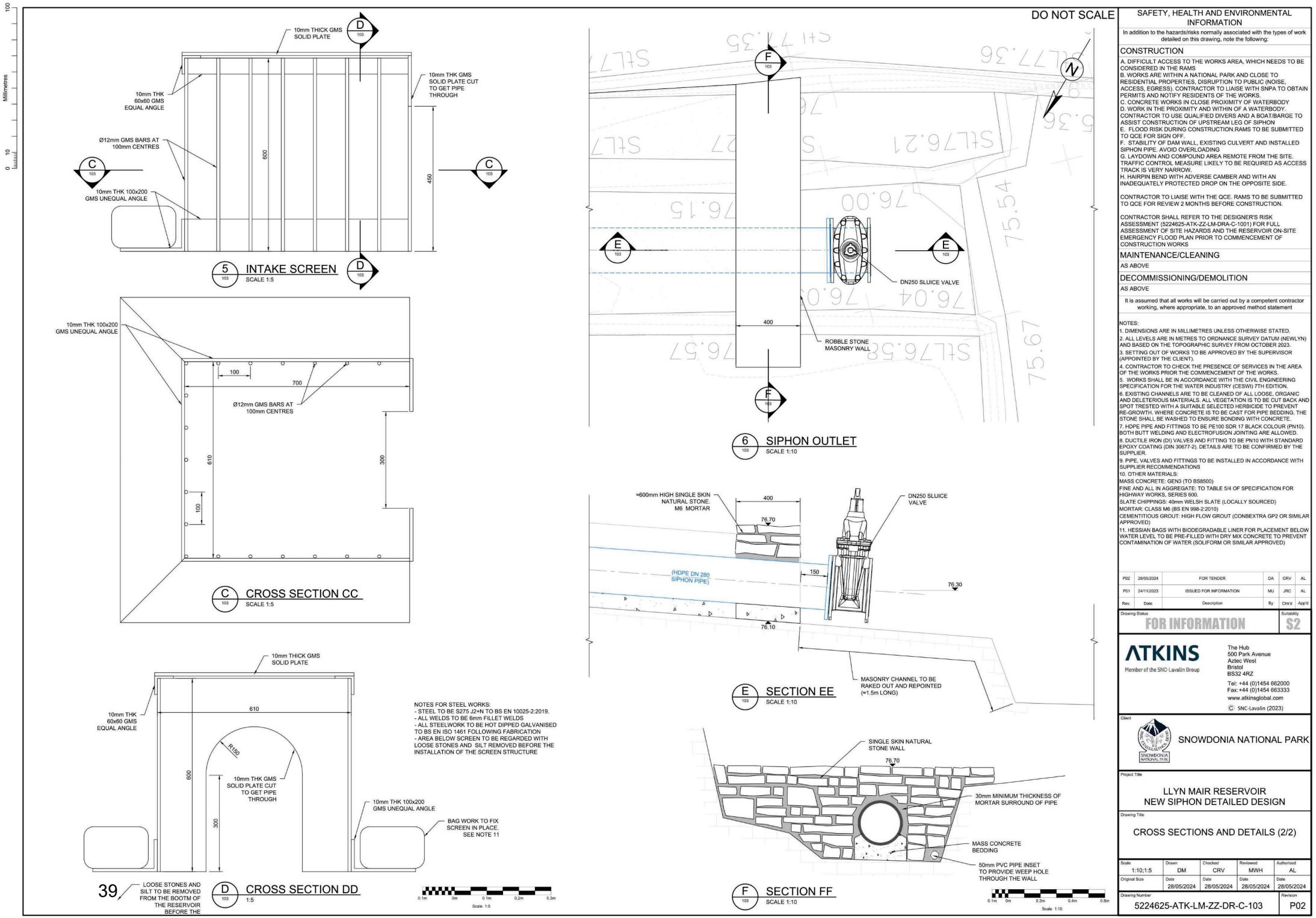
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NOTES: ANGLES TO BE CONFIRMED BY THE CONTRACTOR SETTING OUT TEAM; * CURVES ACHIEVED WITH COLD (FIELD) BENDING. MINIMUM RADIUS TO BE 14m (50xDN)

A LONGITUDINAL SECTION
101 SCALE 1:100;1:100V



Rhif cais NP5/73/351C / Application No.





PLANNING AND ACCESS COMMITTEE
25 FEBRUARY 2026

SECTION 106 AGREEMENTS

**SNOWDONIA NATIONAL PARK AUTHORITY
PLANNING AND ACCESS COMMITTEE 25 FEBRUARY 2026**

SECTION 106 AGREEMENTS

Rhif	Application No.	Date application was received	Location	Development	Present Position
1.	NP3/15/T173C	01/08/2024	Yr Helfa, Llanberis. LL55 4UW	Change of use of short-term holiday letting dwelling (Use Class C6) to open market dwellinghouse (Use Class C3)	Draft agreement sent 08/01/2025, waiting for a response from the solicitors. Discussions are being held with the applicants. Last correspondence 13/11/2025
2.	NP5/58/646	17/03/2023	Land near Pentre Uchaf, Dyffryn Ardudwy.	Erection of a special adapted bungalow and a two-storey dwelling	Waiting for the mortgage company to be removed from the Land Registry title.
3.	NP5/61/647A	12/03/2024	Ty'n y Gwater, Harlech. LL46 2UW	Demolition of existing buildings and construction of a rural enterprise dwelling (Re-submission).	Waiting for the solicitors to confirm the details of the ownership of the land.

Number of applications on committee list 21 January = 7

**APPLICATIONS SUBJECT TO A SECTION 106 AGREEMENT AND WHICH HAVE BEEN COMPLETED SINCE
PLANNING & ACCESS COMMITTEE 21 JANUARY 2026**

Application No.	Location	Development
NP4/31/127	Land adjoining Hendre Ifan, Ysbyty Ifan. LL24 0NT	Erection of 2 two storey affordable dwellings.
NP5/55/46G	Geufron Farm, Bryncrug, LL36 9RW	Conversion of barn and stable to short-term holiday let accommodation.
NP5/58/363K	Nant Eos, Dyffryn Ardudwy. LL44 2HX	Conversion of outbuilding into open market dwelling and installation of sewage treatment plant.

**APPLICATIONS SUBJECT TO A SECTION 106 AGREEMENT WHICH HAVE BEEN REFUSED, WITHDRAWN, OR
DISPOSED, OR WHERE AN AGREEMENT IS NO LONGER NECESSARY SINCE PLANNING & ACCESS
COMMITTEE 21 JANUARY 2026**

Application No.	Location	Development
NP5/65/256B	Bontddu Hall, Bontddu. LL40 2UF	Demolition of part of former hotel and erection of 5 new open market dwellings (1 detached and 4 town houses), provision of 4 affordable dwelling with 3 being accommodated with a new build terrace and 1 within the former staff accommodation on the lower ground floor of the hall, Bontddu Hall, Bontddu. (Revised application)



PLANNING AND ACCESS COMMITTEE
25 FEBRUARY 2026

**OUTSTANDING APPLICATIONS
WHERE MORE THAN 13 WEEKS HAVE
ELAPSED**

SNOWDONIA NATIONAL PARK AUTHORITY

PLANNING AND ACCESS COMMITTEE 25 FEBRUARY 2026
OUTSTANDING APPLICATIONS WHERE MORE THAN 13 WEEKS HAVE ELAPSED

Awaiting Ecology Information / Response / Resolutions

NP2/16/LB194J	08/07/25	Erw Suran, Cwm Ystradlllyn, Garndolbenmaen. LL51 9BQ	Variation of Conditions 02 (Approved plans), 14 (Bat habitats), and 15 (Mitigation) attached to Planning Permission NP2/16/LB194G dated 13/02/2024, and for the change of use of coal store to bat habitat.
NP2/16/LB194K	08/07/25	Erw Suran, Cwm Ystradlllyn, Garndolbenmaen. LL51 9BQ	Variation of Condition 02 (Approved plans) attached to Listed Building Consent NP2/16/LB194F dated 13/02/2024.
NP3/15/246	02/10/25	Barn adjacent to 1 Mur Mawr, Llanberis, LL55 4TG	Conversion and alteration works to an existing outbuilding in order to form new self-contained holiday accommodation (falling under Use Class 6)
NP4/19/25H	23/06/25	Llechen Uchaf, Llechwedd, Conwy. LL32 8LX	Change of use of dwelling (Use Class C3) to short term holiday letting unit (Use Class C6) and change of use of annex to main and permanent dwelling (Use Class C3), erection of extensions, extension of domestic curtilage and erection of timber garage and workshop/storage building.
NP4/26/334D	13/12/24	Moel-yr-Iwrch Uchaf, Nebo, Llanrwst. LL26 0TF	Extension to existing agricultural outbuildings,
NP5/58/141B	27/08/25	Llwyn Ynn Cottage, Talybont. LL43 2AH	Erection a new detached garage/workshop,
NP5/58/227E	23/10/24	Land adjoining Tan-y-Foel, Dyffryn Ardudwy.	Erection of 3 detached dwellings (1 affordable and 2 open market).
NP5/72/254	22/01/24	Ddol Hir, Fron Goch, Bala, LL237NT	Construction of a rural enterprise dwelling and installation of a package treatment plant.

Awaiting Details from Agent / Applicant

NP2/11/46U	18/02/25	Bryn Gwynant Hostel, Nant Gwynant.	Partial demolition of coach house, demolition of adjacent modern single storey staff house, conversion of coach house to storage/operational facility, erection of new accommodation block, erection of single storey storage/operational facility, erection of six single storey timber classrooms, bin store, car parking, reinstated access road, creation of access to lakeshore, canoe racking to lakeshore, single storey extension to main house, decked area to main house, refurbishment of existing youth hostel, landscaping, waste treatment plant and associated works. (Re-submission).
NP4/11/337E	15/01/25	Land adjacent to Hendre Farm, Pentre Du, Betws-y-Coed. LL24 0BN	Discharge Conditions 3 (Details Relating to Private Sewerage System), 4 (Slate Details), 6 (Stonework Sample) & 10 (Details of External Lighting) attached to Planning Consent NP4/11/337D dated 05/01/2024.
NP4/11/398B	05/08/24	Land to rear of Medical Surgery, Betws-y-Coed. LL24 0BP	Discharge of Conditions 4 (Roofing slates) and 5 (Stone sample) attached to Planning Permission NP4/11/398 dated 17/01/2022,
NP4/31/124B 45	13/06/25	Coed Blaen y Coed, Ysbyty Ifan. LL24 0NY	Retrospective application for construction of two temporary access off the B4407, temporary access track and loading area and associated works for forestry purposes.

NP5/50/LB59F	29/08/25	14 Glandyfi Terrace, Aberdyfi. LL35 0EB	Listed Building Consent to replace existing dormer windows, internal alterations, removal of existing rear structure, and replace with new single and two storey extensions.
NP5/53/T154N	17/06/24	National Westminster Bank Buildings, 44-46 High Street, Bala. LL23 7NE	Change of use of the ground floor from A2 use (Financial and professional services) to A1 use (Retail shops and stores), omit the previously consented semi-detached dwellings (2) and omit the previously consented single storey extension to the rear of the existing building.
NP5/56/153D	13/11/24	Dyfi Bike Park, Pantperthog. SY20 9AS	Retrospective application for the construction of café/admin block, erection of uplift shelter, additional tracks and associated jumps and amendments to opening hours,
NP5/56/153E	12/02/25	Dyfi Bike Park, Pantperthog. SY20 9AS	Re-instatement of track and extension to existing site boundary
NP5/57/LB406A	18/08/25	Brym Mair, Dolgellau. LL40 1SR	Listed Building Consent to convert the outbuilding into an annexe accommodation in connection with the Bed and Breakfast use, internal and external alterations and the installation of an air-source heat pump
NP5/63/281	15/05/24	Gorseddau, Cwmtirmynach, Bala. LL23 7EB	Part retrospective application for replacement roof with increased eaves height to rear creating additional accommodation at first floor level, removal of 2 chimneys and addition of 2 new chimneys, installation of 4 dormer windows and 4 rooflights, alteration/addition of windows and doors, and landscaping including creation of hardstanding for parking and turning area
NP5/64/86J	13/10/25	Nant Y Cynog Farm, Llanegryn, LL36 9LN	Erection of manure store (revised application to that refused under reference NP5/64/86H)
NP5/67/352	07/08/25	Coed y Fedw, Abergynolwyn.	Vehicular access to public highway and construction of access track for forestry purposes.
NP5/68/100G	28/02/24	Creua, Llanfrothen. LL48 6SH	Change of use of building and erection of single storey extension to existing building for use in association with existing pottery business.
NP5/73/440	05/09/25	Land opposite 1 & 2 Cefn Llys, Gellilydan.	LL41 4ED Outline application for the erection of a single detached dwelling (open market dwelling) with all matters reserved,

Awaiting Amended Plans

NP2/11/53A	22/08/25	Eryri National Park Authority Car Park, Pont Bethania, Nant Gwynant.	Installation of package treatment plant, campervan cartridge disposal tank, construction of gabion retaining walls and associated works
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Waiting Response from Consultee's on recent submitted details

NP5/52/LB65G	14/07/25	Hen Ddol Cottage, Y Friog. LL38 2TJ	Installation of air-source heat pump to west elevation.
NP5/58/596B	24/07/25	Station House, Station Road, Dyffryn Ardudwy. LL44 2EU	Change of Use of former railway waiting room from A1 (shops) to C3 (residential) as an extension to the existing station house
NP5/68/T187B	05/11/25	The Drum House, Croesor. LL48 6SP	Conversion of building to a self-catering holiday let (C6 Use) as part of a rural enterprise scheme together with the insertion of solar panels, and installation of new septic tank.
NP5/62/LB297B	05/10/22	Capel Gwynfryn, Llanbedr. LL45 2PA	Conversion of chapel to dwelling, alterations to existing access (Relocate plinth), and installation of package treatment plant and associated drainage.

NP5/70/123D	28/07/25	Garth Lwyd, Rhosygwaliau. LL23 7PL	Demolition of existing single storey garage and construction of two storey extension, and conversion of barn into a swim spa, changing and bathroom facilities, and storage space for disabled user. Construction of a single storey link extension between the house and barn.
NP5/71/L277B	03/07/25	2 Pont Afon Fechan, Llanuwchllyn. LL23 7DE	Retrospective application for installation of boiler flue and replacement cladding [AMENDED FLUE]

Awaiting Applicants Response to S.106 Request Letter

NP4/12/228C	01/10/24	Ysgol Tal-y-Bont, Tal-y-Bont. LL32 8QF	Demolition of former classroom cabin and conversion of former school and headmaster's lodge into two dwellings and new double garage / workshop (Repeat Application).
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Called in by Welsh Government

NP5/59/495C	17/07/24	Land Near Pont yr Afon Gam, Llan Ffestiniog	Proposed hydro-electric generation scheme to generate up to (600kW) at Afon Cynfal, to include pipe route, intake weir, extraction pond, below ground penstock (circa 1.2km), turbine building, metering building, alterations to existing access and re-positioning of an existing highway access, laydown areas, temporary construction compound, temporary footpath diversion and above and below ground electric power connection to national grid (circa 600m) (Re-submission).
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Total applications on list = 31

Total applications on list Committee 21 January 2026 = 30



PLANNING AND ACCESS COMMITTEE
25 FEBRUARY 20026

DELEGATED DECISIONS

SNOWDONIA NATIONAL PARK AUTHORITY

PLANNING AND ACCESS COMMITTEE 25 FEBRUARY 2026

DELEGATED DECISIONS

Applications Approved

	Application No.	Proposed	Location	Decision Date	Case Officer
1.	NP2/16/453A	Demolition of existing single storey side and rear additions, erection of two storey side and single storey rear extensions and insertion of two new roof windows to rear roof slope	Tyn Rallt, Penmorfa. LL49 9SD	14/01/26	Mr Richard Thomas
2.	NP3/10/15E	Single storey and two storey extensions, demolition of detached workshop and erection of detached garage	Tanrallt, Abergwyngregyn. LL33 0LG	19/01/26	Mr Richard Thomas
3.	NP3/15/202E	Variation of Condition No.6 (external lighting) attached to Planning Consent NP3/15/202C dated 03/05/2023 to add external lighting.	Blaen-y-Nant, Nant Peris. LL55 4UL	29/01/26	Mrs. Alys Tatum
4.	NP4/13/LB98E	Discharge Condition 4 (Timber repair schedule) attached to Listed Building Consent NP4/13/LB98C dated 25/07/2025	St. Julitta's Church, Capel Curig. LL24 0ET	19/01/26	Miss Eva Jones
5.	NP4/16/256	Retrospective application for erection of single storey side extension	3 Castle Terrace, Dolwyddelan, LL25 0NJ	27/01/26	Mr. Gavin Roberts
6.	NP4/26/345A	Demolition of existing boundary wall for extension of curtilage for proposed new parking area adjacent to existing residential property and construction of new boundary wall	4 & 5 Foelas Terrace, Capel Garmon, LL26 0RW	22/01/26	Mrs. Alys Tatum
7.	NP4/30/180	Alterations to existing single storey side structure, including increase in roof height and variations to windows	Bwthyn Carreg Cysgu, Fairy Glen Road, Capelulo. LL34 6SR	05/01/26	Mrs. Alys Tatum
8.	NP5/50/109K	Construction of extension to create new entrance area	Neuadd Dyfi, Aberdyfi. LL35 0NR	06/01/26	Mr David Jones
9.	NP5/50/75V	Replacement conservatory	Panteidal Farm, Aberdyfi. LL35 0RG	03/02/26	Mr David Jones
10.	NP5/53/114D	Construction of rear extension and alterations to existing access	Pen y Dalar, 18 Craig y Fron, Bala. LL23 7UW	29/01/26	Mr Ben Jones

11.	NP5/53/545A	Refurbishment of existing building to include new roof, PV panels on roof, replacement fascias and rainwater goods, new windows and doors, new external wall insulation, and chimneys to be refurbished with new beaded post and ventilator caps.	1-6 Rhandai Tegid, Berwyn Street, Bala, LL23 7AA	16/01/26	Mr Ben Jones
12.	NP5/55/T21K	Discharge Condition 3 (Details of slate) attached to Planning Permission NP5/55/T21J dated 12/12/2025	Tyn Llwyn Hen, Bryncrug. LL36 9RE	22/01/26	Mr David Jones
13.	NP5/56/169	Installation of air source heat pump to front of property	Y Felin, Pantperthog, SY20 9AS	16/01/26	Mr Ben Jones
14.	NP5/56/LB110B	Listed Building Consent for works to the roof, to include replacement roof timbers, repairs to the ceiling, alterations to the cupola, and installation of loft insulation	Village Hall, Pantperthog. SY20 9AS	16/01/26	Mr David Jones
15.	NP5/57/1190	Erection of two storey side extension	14 Ardd Fawr, Dolgellau. LL40 2YD	06/01/26	Mr David Jones
16.	NP5/58/505D	Discharge Conditions 2 (Removal of existing paved areas), 3 (Surfacing of parking areas) & 4 (Landscaping scheme) attached to Planning Permission NP5/58/505C dated 14/10/2025	Llecheiddior Isaf, Talybont. LL43 2BA	03/02/26	Mr Aled Lloyd
17.	NP5/59/749A	Demolition of existing equipment hut and erection of new larger hut	Llan Ffestiniog Cemetery, Llan Ffestiniog.	14/01/26	Mr Aled Lloyd
18.	NP5/59/814A	Change of use from C5 dwellinghouse to dwellinghouse (C5) and commercial short-term letting accommodation (C6)	Garreg Lwyd, Bont Newydd, Ffestiniog. LL41 4PT	21/01/26	Mr Aled Lloyd
19.	NP5/61/LB3Z	Listed Building Consent to replace storm damaged windows and doors with new double-glazed aluminium windows and doors to match existing.	Coleg Harlech, Harlech. LL46 2PU	08/01/26	Miss Eva Jones
20.	NP5/62/368C	Conversion of part of garage and erection of an extension to form a ground floor annexe accommodation	Y Geulan, Llanbedr. LL45 2PE	30/01/26	Mr Aled Lloyd
21.	NP5/62/63L	Discharge Condition Nos. 3 (foul and surface water drainage), 4 (Desk-based study to assess the potential of contamination) and 8 (details of the colour and finishes to be used in the construction of the external surfaces of the building) attached to planning appeal decision APP/H9504/A/21/3270953 dated 28/06/21	Cymru Lan, Nantcol Kennels, Pentre Gwynfryn, Llanbedr. LL45 2PB	19/01/26	Mr Aled Lloyd

22.	NP5/64/LB58D	Discharge Condition Nos. 3 (lime rendering and harling method statement) & 4 (breathable paint details) attached to Listed Building Consent NP5/64/LB58C dated 04/06/2025	Bodegrynn, Llanegrynn. LL36 9SN	14/01/26	Mr David Jones
23.	NP5/72/223G	Conversion of outbuildings to form annexe to existing dwelling & associated works	Blaen-y-Cwm-Isaf, Parc. LL23 7YS	22/01/26	Ms. Sophie Berry
24.	NP5/77/34J	Erection of rear extension, alterations to fenestration and insertion of rooflights	Y Bwthyn, Maes-y-Neuadd, Talsarnau. LL47 6YA	30/01/26	Mr Aled Lloyd
25.	NP5/77/LB67	Listed Building Consent for repairs and renovation work, including replacing a corrugated sheet roof with slate, following extensive fire damage	Tyddyn Siôn Wyn, Talsarnau. LL47 6UY	15/01/26	Miss Eva Jones
26.	NP5/77/LB67A	Repairs and renovation work, including replacing a corrugated sheet roof with slate, following extensive fire damage	Tyddyn Siôn Wyn, Talsarnau. LL47 6UY	20/01/26	Miss Eva Jones
27.	NP5/77/LB67B	Listed Building Consent for repairs and renovation work, including replacing a corrugated sheet roof with black tin sheet roof, following extensive fire damage	Tyddyn Sion Wyn, Talsarnau. LL47 6UY	15/01/26	Miss Eva Jones
28.	NP5/77/LB67C	Repairs and renovation work, including replacing a corrugated sheet roof with black tin sheet roof, following extensive fire damage	Tyddyn Sion Wyn, Talsarnau. LL47 6UY	20/01/26	Miss Eva Jones
29.	NP5/78/603	Installation of ground-based air source heat pump to rear	4 Bro Islyn, Trawsfynydd. LL41 4PD	08/01/26	Mr Ben Jones

Applications Refused

	App No.	Proposed	Location	Reason for Refusal	Case Officer
1.	NP4/12/184B	Creation of first floor balcony terrace to side elevation, with associated balustrade; and conversion of window to door on side elevation (to provide access to balcony)	1 Tan-yr-Ywen, Llanbedr-y-Cennin. LL32 8UN	<p>03/02/26</p> <p>The proposed development, by reason of its design and positioning, would represent an incongruous addition to the dwelling, detracting from its traditional setting, and having an adverse impact on the setting of a grade II* listed building, St Peter's Church. The proposal is therefore considered contrary to Development Policy 1 and 6, and Strategic Policy Ff of the adopted Eryri Local Development Plan.</p> <p>By reason that the application proposed no biodiversity enhancements and was not supported by a Green Infrastructure Statement, the application is in conflict with ELDP policy SP D and paragraph 6.4.5 and 6.2.12 of Planning Policy Wales (Edition 12, February 2024), and the Environment (Wales) Act 2016</p>	Mrs. Alys Tatum
2.	NP4/32/343B	Stationing of mobile catering van within car park.	Saw Bench Car Park, Gwydr, Llanrwst. LL27 0YZ	<p>21/01/26</p> <p>By reason of insufficient details of the proposed catering van upon which a fully informed decision can be made this application is in conflict with ELDP policies DP1 and DP6.</p> <p>By reason of the proposed catering van utilising existing car parking spaces which if lost will exacerbate an existing identified problem at peak times of sporadic parking and in the vicinity. This places this application in conflict with ELDP Policy DP1.</p> <p>This application, if approved, would represent an unwarranted intrusion into and have an adverse visual impact on the character of the National</p>	Mr Richard Thomas

				Park and would be to the detriment of the Special Qualities of the National Park, placing it in conflict with ELDP polices SPA, SPD, DP1 & DP6.	
3.	NP4/32/78E	Stationing of mobile catering van within car park.	Llyn Geirionnydd, Llanrhychwyn. LL27 0YZ	<p>21/01/26</p> <p>By reason of insufficient details of the proposed catering van upon which a fully informed decision can be made this application is in conflict with ELDP policies DP1 and DP6.</p> <p>By reason of the proposed catering van utilising existing car parking spaces which if lost will exacerbate an existing identified problem at peak times of sporadic parking and vehicle movements in the vicinity. This places this application in conflict with ELDP Policy DP1.</p> <p>This application, if approved, would represent an unwarranted intrusion into and have an adverse visual impact on the character of the National Park and would be to the detriment of the Special Qualities of the National Park, placing it in conflict with ELDP polices SPA, SPD, DP1 & DP6.</p>	Mr Richard Thomas
4.	NP5/55/T21L	Non-material amendment to Planning Consent NP5/55/T21J dated 12/12/2025 to clad the Southeast elevation of the dwelling	Tyn Llwyn Hen, Bryncrug. LL36 9RE	<p>23/01/26</p> <p>In the opinion of the Snowdonia National Park Authority the amendments proposed are considered to be 'material' amendments in nature as they will result in a material form of change to the original planning permission. As such the changes proposed cannot be deemed a 'non-material' change and will require the benefit of a new planning application.</p>	Mr David Jones
5.	NP5/57/1176J	Non-material Amendment to Planning Consent NP5/57/1176 dated 10/11/2023 to add details of external lighting to the approved plans	Dolfeurig Centre, Dolgellau. LL40 1EL	<p>21/01/26</p> <p>In the opinion of the Snowdonia National Park Authority the amendment proposed are considered to be 'material' in nature as they will result in a material form of change to the original</p>	Mr David Jones

				planning permission. As such the changes proposed cannot be deemed a 'non material' change and will require the benefit of a new planning permission.	
6.	NP5/57/LB170C	Change of use of use and conversion of former office into dwellinghouse	Old Police Station, Lombard Street, Dolgellau. LL40 1SB	14/01/26 Policy DP 30 (Affordable Housing) of the Eryri Local Plan 2016-2031 requires all conversions and changes of use of buildings where new or additional residential units are proposed to make a 50% affordable housing contribution. The applicant has declined to complete an agreement under section 106 of the Town and Country Planning Act 1990 (as amended) to meet this requirement. The proposal is therefore considered to contravene the provisions of policy DP 30 (Affordable Housing) of the Eryri Local Plan 2016-2031 and Supplementary Planning Guidance 4: Affordable Housing (January 2020).	Mr David Jones
7.	NP5/66/L20C	Change of use from Use Class C3 (dwelling) to dual use of C3 (dwelling) and C6 (short-term holiday let).	Rose Cottage, 2 Tanrhiw, Llanfair, LL46 2RR	20/01/26 By reason of this application proposing the change of use of a main dwelling falling in Use Class C3 to a dual use of C3 and C6 short-term holiday letting unit in a settlement where the percentage of second and short-term holiday homes are above 15% of the total housing stock, this Authority considers that if approved it would further erode the balance and sustainability of the community. As such this application is in conflict with Planning Policy Wales Edition 12, Strategic Policy A of the adopted Eryri Local Development Plan 2016-2031 and Supplementary Planning Guidance 16: Managing the use of dwellings as holiday home.	Mr Aled Lloyd

8.	NP5/69/337E	Erection of an affordable dwelling, including drainage, access and car parking facilities	Land adjacent to Maes Lledfan, Rhoslefain.	<p>03/02/26</p> <p>The applicant is not considered to be in affordable housing need. The proposal, therefore, contravenes the provisions of policy DP 30 of the Eryri Local Plan 2016 – 2031 and Supplementary Planning Guidance Affordable Housing (January 2020), which would only permit single units of affordable housing for local needs within a smaller settlement.</p> <p>It is considered that the siting of the proposal would not be well integrated with the existing settlement pattern of the village to the detriment of the character and appearance of this part of the national park. The proposal, therefore, contravenes the provisions of policies SP A and DP 1 of the Eryri Local Plan 2016 – 2031</p> <p>The submission does not include a Drainage Statement, and therefore, insufficient information is available in relation to surface water drainage to enable the Authority to make an informed decision. In the absence of this information, the proposal would contravene the provisions of policy DP 1 of the Eryri Local Plan 2016 – 2031, Planning Policy Wales Edition 12 and Technical Advice Note 15 Development Flooding & Coastal Erosion.</p>	Mr David Jones
9.	NP5/73/L184A	Demolition of established dwelling and lean to and the erection of a new 2 storey dwelling and installation of septic tank	Gelli Dywyll, Cwm Cynfal, Llan Ffestiniog. LL41 4RA	<p>20/01/26</p> <p>The applicant has failed to provide substantive justification for the demolition and subsequent replacement of a traditional building. The proposal is therefore contrary to Strategic Policy Ff of the adopted Eryri Local Development Plan which seeks to protect heritage assets, which includes traditional buildings, and Development Policy 16 which states the demolition and subsequent replacement of a traditional building</p>	Mr Aled Lloyd

			<p>which can be repaired, extended or improved in an appropriate manner will not normally be permitted.</p> <p>The proposed two storey dwelling, because of its design and massing, would not be compatible with the capacity and character of the site and locality within which it is located. As, such, the proposal conflicts with Development Policy 1 and 6 of the adopted Eryri Local Development Plan.</p>	
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