

# NOTICE OF MEETING



*Eryri National Park Authority*

*Jonathan Cawley  
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**Meeting:** Planning & Access Committee

**Date:** Wednesday 9<sup>th</sup> September 2026

**Time:** 10.00 a.m.

**Location:** Eryri National Park Authority Office,  
Penrhyndeudraeth and Via Zoom

*Members are asked to join the meeting 15 minutes before the designated start time*

***Members appointed by Gwynedd Council***  
*Councillor: Elwyn Edwards, Delyth Lloyd Griffiths,  
Annwen Hughes, Louise Hughes, Edgar Wyn Owen,  
Elfed Powell Roberts, John Pughe Roberts,  
Meryl Roberts, Einir Wyn Williams;*

***Members appointed by Conwy County Borough Council***  
*Councillor: Ifor Glyn Lloyd, Jo Nuttall, Nia Owen;*

***Members appointed by The Welsh Government***  
*Mr. Rhys Evans, Salamatu Fada, Mr. Tim Jones,  
Ms. Delyth Lloyd, Ms. Naomi Luhde-Thompson,  
Mr. Wyn Thomas.*

*\*This Agenda is also available in Welsh*

## A G E N D A

1. **Apologies for absence and Chairman's Announcements**  
To receive any apologies for absence and Chairman's announcements.
2. **Declaration of Interest**  
To receive any declaration of interest by any members or officers in respect of any item of business.
3. **Minutes** 3 - 10  
The Chairman shall propose that the minutes of the meeting of this Committee held on the 24<sup>th</sup> June 2026 be signed as a true record (Copy herewith) and to receive matters arising, for information.
4. **Reports by the Director of Planning and Partnerships** 11 - 62  
To submit the reports by the Director of Planning and Partnerships on applications received. (Copy herewith)
5. **Development Management Performance Report –2025/2026** 63 - 67  
To submit a report by the Head of Development Management and Compliance (Copy herewith)
6. **An Update on Compliance Caseload and Performance** 68 -75  
To submit a report by the Principal Planning Officer. (Compliance) (Copy herewith)
7. **Update Reports** 76 - 81  
To submit update reports, for information. (Copies herewith)
8. **Delegated Decisions** 82 - 89  
To submit the list of applications which have been determined in accordance with delegated authority, for information. (Copy herewith)
9. **Appeal Decision** 90 - 94  
To submit an oral report by the Director of Planning and Partnerships on the Inspector's decision to allow an appeal by Mr. & Mrs. J. Potgeiter against the Authority's decision to refuse planning permission to Enclose road side elevation of existing covered area with bifold doors and glazed screens, Hangin' Pizzeria, Unit 1, Station Approach, Betws y Coed. LL24 0AE (A copy of the Inspector's decision is enclosed – Copy herewith)



**MINUTES**  
**PLANNING AND ACCESS COMMITTEE**  
**ERYRI NATIONAL PARK**  
 Wednesday 24 June 2026

**PRESENT:**

**Members appointed by Gwynedd Council**

Councillors Elwyn Edwards, Delyth Lloyd Griffiths, Annwen Hughes, Edgar Wyn Owen, John Pughe Roberts, Meryl Roberts, Einir Wyn Williams;

**Members appointed by Conwy County Borough Council**

Councillors Ifor Glyn Lloyd, Jo Nuttall, Nia Owen;

**Members appointed by the Welsh Government**

Salamatu Fada, Rhys Evans, Mr Tim Jones, Delyth Lloyd, Naomi Luhde-Thompson, Wyn Thomas.

**Officers**

Jon Cawley, Iwan Jones, Bethan Hughes, Keira Sweeney, Iona Roberts, Aled Lloyd, Eva Jones, Dafydd Thomas, Ben Jones, Eifion Jones.

The Director of Corporate Services Designate advised that the meeting would be webcast and would also be available online at a later date.

**1. Chair**

The Director of Corporate Services Designate outlined the procedure for electing a Chair of the Planning and Access Committee. She advised that, in accordance with Standing Orders 5.2 and 5.3, she had received nominations proposing only one name, namely Elwyn Edwards.

**Elwyn Edwards** was *elected* as Chairman of the Planning and Access Committee.

The Chairman thanked the Members for their support.

**2. Vice-chair**

The Director of Corporate Services Designate outlined the procedure for electing a Vice-chair of the Planning and Access Committee. She advised that, in accordance with Standing Orders 5.2 and 5.3, she had received nominations proposing only one name, namely Nia Owen.

**Nia Owen** was *elected* as Vice-chair of the Planning and Access Committee.

The Vice-chair thanked the Members for their support.

**3. Apologies for absence and Chairman's Announcements**

Apologies were received from Councillors Louise Hughes and Elfed Powell Roberts.

The Chairman welcomed all who had attended the Committee meeting for their interest in the matters that were to be discussed.

4. **Declaration of Interest**

Following legal advice received from the Authority, Mr Tim Jones declared a prejudicial personal interest for item 6.1 (*Hydroelectricity production plan in the Cynfal River near Pont yr Afon Gam, Llan Ffestiniog*), as he was a trustee of the charity, *Plantlife*, which had opposed the application. He left the room while the item was being discussed.

Councillor Delyth Lloyd Griffiths declared a personal interest not being a prejudicial interest for Item 6.5 (*Installation of new underground cables and related ancillary work at the Trawsfynydd Decommissioning Site*) due to a close relative of hers working for the Applicants.

5. **Minutes**

The minutes of the Planning and Access Committee meeting held on 13 May 2026 were *adopted* and the Chair signed them as a true record.

6. **Reports from the Director of Planning and Partnerships**

*Submitted* - reports by the Director of Planning and Partnerships on the applications received. Please see the Schedule of Planning Decisions attached.

7. **Update Reports**

7.1 *Submitted* - update reports from the Director of Planning and Partnerships on planning applications and Section 106 Agreements.

7.2 *Submitted* - update reports from the Director of Planning and Partnerships on applications where a decision has not been made on the applications for 13 weeks or more.

8. **Delegated Decisions**

Submitted – a list of applications decided in accordance with delegated authority.

**The meeting closed at 12:15**



## SCHEDULE OF PLANNING DECISIONS – 24 JUNE 2026

### 7. Report by the Director of Planning and Partnerships

*Submitted:*

- (1) NP5/59/495C - Proposed hydro-electric generation scheme to generate up to (600kW) at Afon Cynfal, to include pipe route, intake weir, extraction pond, below ground penstock (circa 1.2km), turbine building, metering building, alterations to existing access and re-positioning of an existing highway access, laydown areas, temporary construction compound, temporary footpath diversion and above and below ground electric power connection to national grid, Land near Pont yr Afon Gam, Llan Ffestiniog. (circa 600m) (Re-submission).

*Submitted* - a report by the Senior Planning Officer - Development Management

*Reported:*

- a description of the application and the history of the application up to the present;
- the relevant legislation and policies considered when assessing the application;
- details of the proposed development including permanent and temporary features and effects;
- it was estimated that the construction period would last 8-10 months, with a gradual recovery under a Biodiversity Enhancement and Monitoring Plan (BEMP);
- that a Habitats Regulations Assessment had been carried out for the application, and that the Authority and Natural Resources Wales (NRW) had agreed that the development was not likely to have a detrimental effect on the integrity of the Special Conservation Area and the Migneint–Arenig–Dduallt Special Protection Area considering the mitigation measures identified in the application;
- that over 1720 comments had been received in response to the publicity the application had received – 1590 raised objections (with approximately 1140 of those being identical following an online campaign) and just under 140 supported the application;
- that Ffestiniog Town Council had originally supported the application but that a letter had been received from them in March stating that they had considered further information and were now opposed to the application (the Authority had not sent any further information after the original decision);
- in terms of effects, it was judged that:
  - while accepting that a work corridor and compounds / machinery would be temporarily present, the effects of the construction work would be minor-moderate adverse;
  - residual effects following restoration would be minor adverse, mainly limited to the immediate vicinity of the powerhouse;
  - there would be major-moderate adverse effects on the landscape within the site and in its immediate vicinity, but this would be limited to a very local area;
  - there would be a moderate-minor effect on the features within the site with the temporary disturbance to the existing grassland/moorland vegetation, but no trees or features of value would be lost;
  - there would be moderate-minor adverse effects on the character areas of the wider landscape;
  - the long-term effects on the landscape during the implementation period would be negligible;

- that a water abstraction licence for the scheme had already been granted by NRW and that abstraction would only take place when there was sufficient water left in the river to maintain what NRW considered to be sufficient flow;
- that a report by an independent Hydrologist and Architect had concluded that the white falls would remain visible at the point of the smallest flow but the more impressive flows would be experienced for a reduced proportion of the year;
- that NRW had concluded that, although a small piece of land fell within a Site of Special Scientific Interest, the work would not leave any significant impact on the site;
- that officers had concluded that:
  - the proposed development would provide additional renewable electricity generation capacity that was in line with the scope of national energy and climate policies;
  - while noting the recommended conditions, that there were no unacceptable visual effects on neighbouring communities or houses, on internationally or nationally designated nature conservation sites or their characteristics, and that biodiversity improvement was being proposed;
  - that all issues raised had been considered, but that none of them, individually or cumulatively, outweighed the benefits;
  - that the application was, on the whole, acceptable and it was recommended that it be approved with the relevant conditions.

It was further reported by the Director of Planning and Partnerships:

- that a late letter had been received from Cymdeithas Eryri which related to a possible legal challenge and that officers were, with legal advice, preparing a formal response to the letter;
- that such a risk (legal challenge) existed with any decision on a planning application and that it should not influence the Members as part of the decision-making process;
- that the letter raised some further issues and that the officers answered them as follows:
  - that the advice received from ARUP which drew attention to potential significant visual effects that could affect the visual grandeur of the waterfall was already discussed in the officers' report; that the report also acknowledged that there would be an *impact* but that did not mean that it would lead to a *significant* visual impact; that the officers had taken this into account when assessing the application but did not consider that any potential impact outweighed other planning considerations when considering the planning balance as a whole;
  - that the report recognized that there was the potential to create a "local energy club" but as it would not be secured through a planning obligation and since a club was not required to make the development acceptable in planning terms, it should not be treated as a material planning consideration when deciding the application;
  - that the letter argued that paragraph 6.4.27 of Planning Policy Wales claimed that all elements of the criteria found in paragraph 6.4.27 must be considered and met and not just "completely exceptional circumstances"; therefore, from the point of view of the policy, it was also necessary that the development was considered appropriate, that it would not likely damage the Site of Special Scientific Interest, and that there was a broad and clear agreement for mitigation and improvement as part of a development plan;

- that the officers, in response to the point above, were satisfied:
  - that the scheme was not likely to damage the Site of Special Scientific Interest,
  - that sufficient information had been received to ensure that impacts would be mitigated, and improvements would be provided, and this could be ensured by setting appropriate planning conditions;
  - that Planning Policy Wales and the exception within the policy, therefore, applied as a whole;
- because of these considerations, there was no intention to change the recommendation.

A *Presentation* was made by Graeme Cotterill objecting to the application. He reported:

- that he was speaking on behalf of an alliance of local associations, and tens of thousands of individual supporters behind those associations, and more than a thousand people who had opposed the application before the previous Planning Committee;
- the Committee should consider the phrase, "completely exceptional circumstances", as Welsh Government policy clearly stated that no development on a Site of Special Scientific Interest could be permitted unless such circumstances existed;
- that he had written to Sian Gwenllian, the Cabinet Minister for Local Government, Housing and Planning, to ask her to confirm whether the Authority's understanding of that phrase was correct, and that the decision should not be continued before receiving her answer;
- that the production of a small amount of renewable energy in itself was not sufficient to meet the requirements;
- that they supported renewable energy, but not here;
- that one modern wind turbine produced the equivalent of 12 similar water schemes;
- there would be a significant, irreversible loss in the fall of the waterfall as the water was diverted to the scheme.

A *Presentation* was given by Moi Dafydd defending the application. He reported:

- that he and his two brothers, who were submitting the application, understood the importance of fighting climate change and protecting the environment from the start;
- that the plan offered the potential of producing two million kW per year powering up to 700 local houses and saving up to 1962 tonnes of carbon each year;
- that they had commissioned a number of experts in the field who had concluded that the plan – following correct mitigation measures – would not have a negative impact;
- that tens of hydro schemes had already been built in Eryri for over a century;
- the scheme would produce electricity when it was most needed, namely in the wet and dark winter months;
- that they were happy to comply with all the conditions imposed on the plan by Natural Resources Wales and the Authority;
- that the application had received strong support from many residents and local organisations.

In response to some of the comments made in the presentations, the Director of Planning and Partnerships explained that the phrase "completely exceptional circumstances" was discussed within the report (2.47 - 2.64):

- that the plan contributed to renewable energy targets, that it responded to the climate crisis, that such a plan, by its nature, must be located in the countryside as it

depended on natural resources, and that it was therefore a "totally exceptional environment".

The application was *discussed* by the Members and the following comments were made:

- That the Authority's purposes and the Sandford principles must be heeded; they clearly stated that the Authority must promote conservation and engage with the public; that paragraph 6.4.27 of Planning Policy Wales claimed that development in a Site of Special Scientific Interest would only be permitted in "completely exceptional circumstances", and that those completely exceptional circumstances must be interpreted in the light of the Authority's Local Development Plan; that paragraph 3.1 of the Local Plan stated that, where appropriate, small-scale renewable energy developments could be supported which supplied local needs without harming the special characteristics of the area, but that:
  - hydro plans, however, produced beyond the local area's energy needs and led to making the area a net exporter;
  - the scheme was not owned by the community, nor was it a co-operative, nor did it ensure a benefit for the local community;
 that the plan, therefore, although offering renewable energy production and combating climate change, did not outweigh the purposes of a national park, the visual impact of the plan, the need to be a completely exceptional circumstance or considerations of the needs of a Site of Special Scientific Interest;
- That there were strict conditions attached to the application and officers would monitor the situation and ensure that the conditions were met;
- Natural Resources Wales was responsible for issuing water abstraction licences;
- It was up to the Members to decide what was "exceptional";
- That the Authority's policies did not require that the energy produced be returned to the community;
- That the decision must be made on the basis of policies, and not on the basis of the number of objections;
- That people had the right to submit comments anonymously.

*Recommended:* – that the Members of the Authority **GRANT consent** for the application subject to the conditions listed.

*Resolved:* — to **accept** the recommendation.

(2) NP5/66/273A – Construction of a new curtilage building for temporary use as a bat roost, Garth, Llanbedr. LL45

*Submitted:* A report by the Building Conservation Planning Officer (Graduate Trainee)

*Reported:*

- that the application had come before the Committee because the Authority was the applicant.

*Recommended:* – that the Members of the Authority **GRANT consent** for the application subject to the conditions listed.

*Resolved:* — to **accept** the recommendation.

(3) NP5/66/LB273B – Listed Building Consent for significant repair works, installation of a warm box for bats, creation of a new entrance for bats, and associated minor alterations, Garth, Llanbedr, LL45 2HS

*Presented:* A report by the Building Conservation Planning Officer (Graduate Trainee)

*Reported:*

- that the application had come before the Committee because the Authority was the applicant;
- that the Old Cottage was "*a rare unmodernised example of a small traditional cottage, retaining early fabric and detail, notably its fireplace hood, a rare type in NW Wales*".

The application was *discussed* by the Members and the following was *noted*:

- that the report (on page 224 of the agenda) stated that there had been no response from a Local Councillor, but that Llanfair did not have a Local Councillor, and the record should be removed.

*Recommended:* – that the Members of the Authority **GRANT consent** for the application subject to the conditions listed.

*Resolved:* — to **accept** the recommendation.

(4) NP2/11/52T – Removal of Condition 3 (Use of mast by emergency services only) attached to Planning Permission NP2/11/52L dated 06/12/2023, Pen-y-Pass Car Park, Nant Gwynant. LL55 4NU

*Submitted:* a report by the Senior Planning Officer - Development Management

*Reported:*

- that the application had come before the Committee because it was located on land in which ENPA had an interest;
- that the existing mast provided for emergency services only and that the applicant wished to extend the provision to provide a commercial service to the surrounding area;
- that another mast would not be needed;
- that there was poor telecommunications service in the area and that this was an opportunity to improve communication and security in the area.

A *presentation* was given by Mr Norman Gillan of EE

- the application would provide EE customers with a 4G connection and enable them to connect with others on their phones; it would also allow those who were not EE customers to be able to contact the emergency services;

The application was *discussed* by the Members and the following was *noted*:

- that the report (on page 251 of the agenda) stated that there had been no response from a Local Councillor, but that Beddgelert did not have a Local Councillor, and the record should be removed.

*Recommended:* – that the Members of the Authority **GRANT consent** for the application subject to the conditions listed.

*Resolved:* — to **accept** the recommendation.

(5) NP5/73/287V – Installation of new underground cables, and cable sealing ends, shunt reactor, gantry and the widening of part of the existing access road within the fenced compound at Trawsfynydd substation and associated ancillary works as part of the Pentir to Trawsfynydd Reinforcement Project, Decommissioning Site, Trawsfynydd LL41 4DT

*Submitted:* a report by the Senior Planning Officer - Development Management

*Reported:*

- that the application had come before the Committee because it was one that required an Environmental Impact Statement;

- that it was part of a large project of laying cables from Pentir to Trawsfynydd to increase the capacity of the network between Pentir sub-station and Trawsfynydd sub-station.

The application was *discussed* by the Members and the following was *noted*:

- that the recommendation stated that permission be granted, "subject to the publicity period ending without any objections", that this was normal and the application would return to the Committee if any objection was raised.

*Recommended:* – that the Members of the Authority **GRANT consent** for the application subject to the conditions listed.

*Resolved:* — to **accept** the recommendation.

| <b><u>Rhif Eitem /<br/>Item No.</u></b> | <b><u>Cyfeirnod /<br/>Reference No.</u></b> | <b><u>Disgrifiad / Description.</u></b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  | <b><u>Swyddog<br/>Achos / Case<br/>Officer</u></b> |
|-----------------------------------------|---------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------|
| 1.                                      | NP5/55/60L                                  | Datblygiad preswyl (yn cynnwys 8 annedd marchnad agored a 4 annedd forddiadwy) a datblygiadau cysylltiedig gan gynnwys mannau agored, parcio, mynediad a seilwaith draenio (cynlluniau diwygiedig & gwybodaeth cefnogol) Tir yn Ffordd-y-Felin, Brynchrug. / Residential development (comprising 8 open market dwellings and 4 affordable dwellings) and associated development, including open space, parking, access and drainage infrastructure (amended plans & supporting Information). Land at Ffordd-y-Felin, Brynchrug. LL36 9NT | Mr. David Jones                                    |
| 2.                                      | NP5/73/L184B                                | Dymchwel tŷ a phenty presennol a chodi tŷ deulawr newydd ynghyd a gosod tanc septig (Ail-gyflwyniad), Gelli Dywyll, Cwm Cynfal, Llan Ffestiniog. LL41 4RA / Demolition of existing dwelling and lean-to and the erection of a new replacement 2 storey dwelling and installation of septic tank (Re-submission), Gelli Dywyll, Cwm Cynfal, Llan Ffestiniog. LL41 4RA                                                                                                                                                                     | Mr. Aled Lloyd                                     |

**Eryri National Park Authority – Planning  
& Access Committee****Date: 09/09/2026****Application Number:** NP5/55/60L**Date Application Registered:** 14/11/2025**Community:** Bryncrug**Grid Reference:** 260801 303066**Case Officer:** Mr. David Jones**Location:**

Land at Ffordd-y-Felin, Bryncrug. LL36 9NT

**Applicant:**Mr. Daniel Jones, Towyn Marine Properties  
Ltd.Glasfryn, Cemmaes, Machynlleth,  
Powys, SY20**Description:**Residential development (comprising 8  
open market dwellings and 4 affordable  
dwellings) and associated development,  
including open space, parking, access and  
drainage infrastructure (amended plans &  
supporting Information).**Summary of the Recommendation:**

To Approve subject to the completion of a legal agreement requiring the  
provision of 4 affordable dwellings.  
and subject to the following conditions:

1. Commence within 5 years.
2. Approved plans.
3. Development Enabling Assessment.
4. Restriction of surface water discharge to public sewer.
5. Construction Traffic Management Plan.
6. Construction Environmental Management Plan.
7. Estate Road Construction.
8. Completion of Estate Road.
9. Parking.
10. No surface water to be discharged onto the highway.
11. Pedestrian Footpath Scheme.
12. Amenity open space / Proposed Community Orchard
13. Maintenance of Landscaping
14. Implementation of the means of enclosure.
15. Installation of bat tubes.
16. Specification of use class.
17. Removal of permitted development rights on the affordable dwelling plots.
18. Slate roofs.

- 19. Colour of the external render
- 20. Gigabit-capable broadband infrastructure
- 21. Welsh name for the houses & estate road

**Reason(s) Application Reported to Committee:  
Scheme of Delegation**

The proposal amounts to a major development under the Town and Country Planning (General Procedure Order) 2102 (as amended) and under the authority's scheme of delegation. It needs to be considered by the Planning and Access Committee.

**Environmental Impact Assessment (EIA):**

The development has been subject to a screening opinion, which concluded it is not an EIA development.

**Land Designations / Constraints:**

Within the settlement boundary  
Setting a listed building

**Site Description:**

The site is located on the western edge of the settlement. Access to the site through the village can be gained from the A493, which has a junction with Mill Road.

The first section of Mill Road nearest the A493 has two carriageways, and a footway is present on one side. Mill Road then narrows and becomes a single carriageway with no pedestrian footway present to and past the junction for Ffordd y Felin. Mill Road is a dead end, and beyond the junction with Ffordd y Felin, it serves relatively few properties, one of which is a farm.

Ffordd y Felin is a residential cul-de-sac. There is a pedestrian footway present from the junction with Mill Road and along the eastern side of the cul-de-sac. There is no footpath present along the bottom or south end of the cul-de-sac.

There is a grassed landscaped verge on the western side of the cul-de-sac, which bounds the eastern boundary of the application site. It is understood that this verge is in private land ownership separate from the application site. To the north, adjacent to the junction with Mill Lane, there is a field access from the application site through this verge and onto Ffordd y Felin estate road.

Most of the application site comprises flat pastureland. The southern part of the application site encompasses the private access, parking and garden area of the two residential properties at the bottom of the cul-de-sac. The total area of the application site amounts to around 0.6 hectares.

The western boundary of the application site is defined from the agricultural land to the west by a hedgerow. The northern boundary of the application site abuts the rear boundaries of two residential properties which face Mill Road.

There is a cast-iron water lift pump situated on the highway verge to the north alongside Mill Road. This is designated a Grade II listed building.

### **Proposed Development:**

The planning application seeks full planning permission for the erection of 12 dwellings and associated development, including access, parking and drainage infrastructure.

The proposal comprises a Major development as defined in Article 2 of the Town and Country Planning (Development Management Procedure) (Wales) Order 2012 (as amended) because the proposal entails more than 10 dwellings. As a Major development, the proposal has been subject to Pre-Application Consultation (PAC) before submitting any planning application. This necessitates consultation with statutory consultees and the local community. A PAC report accompanies this planning application, detailing the consultation arrangements and explaining how comments received during the PAC consultation were considered in finalising the scheme.

The development would connect with the public highway at the bottom or southern end of the Ffordd y Felin cul-de-sac. The proposed estate road would extend north through the middle of the new estate development. This road would serve the two existing dwellings at the bottom of the cul-de-sac, whose land is within the application site.

Following the submission of the planning application, the type and tenure of some of the houses in the development have been changed. Eight open market dwellings are now proposed. Four intermediate-type affordable dwellings are proposed as part of the development. These will be 4-person 2-bedroom houses (74 m<sup>2</sup> floor area).

Initially, all dwellings in the development were 5-person 3-bedroom dwellings. These were predominantly houses but included bungalows and varying floor areas. The housing mix has now been changed, and the following is proposed:

- Four two-bedroom houses, in two pairs of semi-detached houses (Floor areas 74 m<sup>2</sup>). These are the intermediate-type affordable dwellings for sale.
- Three 3-bedroom and one 4-bedroom semi-detached houses (Floor areas 94m<sup>2</sup> & 105m<sup>2</sup>)
- Four 3-bedroom (2 detached & 1 semi-detached pair) dormer-type bungalows (Floor areas 110m<sup>2</sup> & 121.25 m<sup>2</sup>)

The two-story dwellings are located along the western side of the estate road through the development. The dormer bungalow designs are sited on the eastern side along the boundary with Ffordd y Felin.

Externally, the proposed dwellings would be finished with smooth or textured render finishes. Doors, windows and soffits would be UPVC. The pitched roofs would be covered with natural slate in a grey/blue colour. The one-and-a-half-storey dormer bungalows on the eastern side of the development initially included flat-roof dormers at first-floor level on the front elevation facing the estate road. These dormers have now been changed to a pitched roof design.

An open space including orchard planting and a slate picket fence boundary is proposed in the northeastern corner of the development. A pedestrian path extends through this area to Ffordd y Felin. The proposed layout plan shows dropped kerbs on the verge area alongside the eastern boundary of the development. These kerbs are outside the red line area of the application site. It is understood that the verge area is in separate private ownership, and the applicant would require the consent of the landowner to construct the footpath on this verge area. The applicant has advised that, should consent not be forthcoming, pedestrian access at this point will not be constructed. Pedestrian access from the development will then be solely along footways in the development and then through Ffordd y Felin.

Foul drainage from the development will be discharged into the public sewer. A pumping station is proposed in the northern part of the development, which would be adopted by Welsh Water. A rising main would extend from the pumping station through the open space, the verge and then along Ffordd y Felin/Mill Lane into a combined public sewer on the A493, and this would be adopted by Welsh Water.

Surface water from the development, including the highway, would be disposed of via soakaways. Surface water attenuation measures include rain gardens for individual plots, which are small, landscaped depressions for surface water infiltration. Individual houses will also be provided with an above-ground water butt to enable surface water to be reused.

The proposal is accompanied by full fencing and landscaping details, the latter of which include formal and native planting proposals. The existing hedgerow along the western boundary of the site would also be retained and enhanced. The landscaping proposals, including the orchard in the open space and the installation of bat tubes, comprise the proposed biodiversity enhancements for the development.

## **Development Plan Policies:**

*Future Wales 2040*

*Eryri Local Development Plan 2016-2031 (ELDP)*

- SP A: National Park Purpose and Sustainable Development
- SP C: Spatial Development Strategy
- SP Ff: Historic Environment
- SP D: Natural Environment
- DP 1: General Development Principles
- DP 2: Development and the Landscape
- DP 6: Sustainable Design and Materials
- DP 7: Listed and Traditional Buildings
- DP 8: Protection of Non-Designated Sites
- SP G: Housing
- DP 30: Affordable Housing
- DP 18: The Welsh Language and the Social and Cultural Fabric of Communities

*Supplementary Planning Guidance*

- SPG Affordable Housing
- SPG Sustainable Design in National Parks
- SPG General Development Considerations
- SPG Planning and the Welsh Language
- SPG Nature Conservation and Biodiversity
- SPG Landscapes and Seascapes of Eryri
- SPG Landscape Sensitivity and Capacity Assessment

## **National Policy/Guidance:**

- Planning Policy Wales (Edition 12)
- Technical Advice Note 2 Affordable Housing
- Technical Advice Note 5 Nature Conservation and Planning
- Technical Advice Note 12 Design
- Technical Advice Note 15 Development, Flooding and Coastal Erosion
- Technical Advice Note 18 Transport

- Technical Advice Note 20 Planning and the Welsh Language
- Technical Advice Note 24 The Historic Environment

### Consultations:

|                             |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |
|-----------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Bryncrug Community Council: | <p>The community council considered a letter from a resident expressing numerous concerns about drainage, sewerage, flooding, access points and traffic impact. These concerns were commented on in the previous application for this site. The community council unanimously supports and agrees with the concerns in the letter and considers that the application should be refused.</p> <p>In further representations, an objection is raised to the scale of the development, which would impact the highway infrastructure, access and parking of existing residents. The concerns of the residents of Ffordd y Felin are relevant, and the objection is supported.</p>                                                                |
| Gwynedd Council - Highways  | <p>Due to uncertainties regarding land ownership, it was noted that the applicant may not be able to implement the footpath connection, which is shown on the plans. They have requested that the applicant demonstrate that an alternative footpath to join the existing footway network on the public highway can be provided.</p> <p>The applicant confirmed that they were relying on the proposed footpath alongside the roadway to the development connecting to the existing highway at the southern end of the Ffordd y Felin. On balance, the Highway Authority has confirmed that this arrangement is acceptable subject to a planning condition requiring detailed design details of on and off-site pedestrian connectivity.</p> |

|                           |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |
|---------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|                           | Other planning conditions are also recommended concerning highway construction and completion, parking and lighting arrangements.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| Eryri Ecologist           | The Preliminary Ecological Assessment (PEA) confirms no negative impacts due to a loss of habitat, and the mitigation measures in section 9 should be secured with a planning condition. Biodiversity enhancements include the installation of bat tubes and soft landscaping, and subject to the plans aligning with the PEA, these are acceptable and should be secured by a planning condition.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |
| Tree and Woodland Officer | Overall, the landscaping plans are acceptable, but recommendations are made about the size and species of plants.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| Natural Resources Wales   | <p>Protected landscape - Our advice relates to the development's potential impacts on the landscape character and visual amenity of the Eryri National Park, and the statutory purpose of the designation to conserve and enhance its natural beauty.</p> <p>Our previous advice dated 9 September 2024 (our ref: CAS-263340-L3S7) highlighted that: <i>"The visual representations do not illustrate the vertical extent. The commentary on Viewpoint 1 towards the western edge of the development confirms that the most noticeable element will be the roofscape of the 8 properties (plots 10-17) located along this boundary above the hedge-line, comprising pitched dark grey slate roofs rising away from the receptor."</i> The applicant provided additional information to address this point, but did not include visualisations or illustrations.</p> <p>NRW take the view that without visualisations or illustrations, it is difficult to ascertain the effects of the height of the development on both the landscape</p> |

|                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |
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|                                | <p>character and visual amenity of receptors within the national park. The suggestion that 12 specimen trees be planted between the site fencing and site ownership boundary as mitigation of these impacts is welcomed and should be included within the landscape proposals, together with management and maintenance requirements.</p> <p>Protected Species – PEA identifies that bats are not roosting or foraging on the site, and the development is not likely to be detrimental to the species. The PEA recommends that a lighting plan be provided, and you should consult the authority's ecologist on this matter.</p>                                                                                                                                                     |
| Welsh Water                    | <p>It is unlikely that sufficient capacity exists to accommodate the development within the immediate public sewerage system. No objections are raised, subject to conditions recommended, requiring a development enabling assessment, and no surface water to be discharged into the public sewer. A development enabling assessment is a foul hydraulic modelling assessment which requires that the developer commissions Welsh Water to assess the effect of the proposed foul flows from the development, including any solutions and reinforcements which are required to the public sewer. The development enabling assessment, any solution and reinforcements would be funded by the developer.</p> <p>It is confirmed that capacity exists in the water supply system.</p> |
| YGC Water and Environment Unit | <p>Due to the size and nature of the development, a SuDS application for the surface water drainage scheme will be required for approval by the SuDS Approving Body (SAB).</p> <p>It is confirmed that soakaways are a viable option, and no objections are raised.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |

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|------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Gwynedd Council Public Protection              | No observations received.                                                                                                                                                           |
| Gwynedd Archaeological Planning Service (GAPS) | A programme of archaeological evaluation was completed, and no remains were observed. The potential for archaeology to be present is low, and no further mitigation is recommended. |
| CADW                                           | No response was received.                                                                                                                                                           |
| Fire & Rescue Service                          | Requirements for access for fire appliances and water supplies are explained.                                                                                                       |

### **Response to Publicity:**

Being a major planning application, it has been publicised through a site notice, neighbour notification letters and a press notice on 3 occasions.

10 objections were received, three of which are signed by residents of Ffordd y Felin. One of the objections has been received from Cymdeithas Eryri. These can be summarised as follows:

- The scale of the development has no regard for local infrastructure capacity, and it does not provide the claimed community benefits.
- There is a need for affordable housing. 50% affordable housing is not provided in accordance with policy requirements. Concern is expressed about the precedent of providing fewer affordable housing units than required by policy.
- The probability that the market housing, which comprises the majority of the proposal, will be purchased as second homes or holiday lets.
- The proposed access already serves existing residential properties. Utilising this access road for the development would result in a conflict and be detrimental to highway safety.
- Questioned whether a suitable traffic impact and safety assessment has been undertaken.
- Junction A493 with Mill Road from the Tywyn side is a partially blind, tight turn, and the road then narrows. There have been collisions here in the past.
- Issues are described in relation to parking and manoeuvring arrangements and the width of the proposed access road into the development.
- A footpath is proposed in the northeastern corner of the development onto the junction of Ffordd y Felin and Mill Lane. There is no pavement here until Swn y Nant. Safety concerns are expressed as pedestrians will have to navigate the junction and along the public highway in conjunction with vehicles, including agricultural traffic.

- The footpath will have to cross a grass verge, which is within private ownership. Evidence has been submitted of ownership, and it is stated that consent for the proposed footpath, foul sewer or any other services to cross this verge will not be granted.
- Loss of trees and vegetation which were planted by residents in commemoration of the Queen's jubilee to create the proposed vehicular access to the development.
- It describes how the verge has been landscaped and used by residents of the estate for social activities and by children to play on.
- Existing foul sewerage infrastructure is inadequate.
- There are 4 septic tanks in the field adjacent which overflow.
- Ffordd y Felin is regularly flooded. The adjacent fields also have standing water after heavy rain, and the suitability of infiltration as a method of surface water disposal is questioned.
- A sustainable drainage system needs to be assessed at this stage or should be refused on this basis.
- Design and siting are not suitable in an edge-of-settlement location in the national park. It does not integrate with existing development and effectively turns it back on the existing community, having minimal frontages. It thus fails to conserve and enhance the special qualities of the national park.
- There are no proposals to renew the stock-proof fencing between the site and the verge.
- The current plans are incorrect as they do not show the trees which were shown in the previous planning application, which was withdrawn NP5/55/60J.
- Objections are made to the community linguistic assessment as submitted as part of the proposal. Matters raised include the decline in Welsh-speaking households following the developments in rural communities such as Bryncrug, and there is disagreement over pedestrian accessibility to the development.

## **Assessment:**

### *1. Background*

- 1.1. Planning permission for residential development on the site has been granted in the past. Full planning permission for 4 dwellings (2 affordable and 2 open market) under reference NP5/55/60G was approved on the 7<sup>th</sup> of October 2019 on the western part of the site. Access was via the cul-de-sac at the bottom of Ffordd y Felin.
- 1.2. A planning application under reference NP5/55/60J for fifteen open market dwellings and associated works was withdrawn on the 21<sup>st</sup> of December 2023.

The application subject to this report comprises an amended resubmission of this application. Notably, the number of residential units has been reduced.

## *2. Principle of Development and policy context*

- 2.1. Strategic policy A states that policies in the ELDP seek to ensure that new development promotes the principles of sustainable development in ways which further the National Park's purposes whilst conserving and enhancing its special qualities.
- 2.2. Strategic policy C provides a spatial development strategy based on a sustainable hierarchy of settlements. The supporting text for the policy explains that the policy is based on a sustainability appraisal, which demonstrates that organising and focusing development in this hierarchical way is the most efficient. Furthermore, the higher-order settlements are consistent with the Wales Spatial Plan and the development plans of neighbouring authorities. This is intended to facilitate sustainable communities by ranking them based on the availability of local facilities, services, and public transport provision. The policy is consistent with national planning guidance in Planning Policy Wales (Edition 12) and Technical Advice Note 18 (Transport).
- 2.3. Bryncrug is identified as a Secondary Settlement under the settlement hierarchy of strategic policy C. This is one of the lower-order settlements in the settlement hierarchy. This is reflected in the limited services and community facilities present in the settlement, which include a primary school and a public house. Occupants of the development would likely be dependent on most of their retail and community services and transport facilities in higher-order settlements.
- 2.4. Tywyn is a higher-order settlement which is in proximity to Bryncrug. It has a range of retail and other facilities. There is a multimodal footpath between Bryncrug and Tywyn. Bus stops are present along the A493, which are within walking distance of the development. The bus services available provide access to higher-order settlements, including Tywyn. There is a railway station in Tywyn which provides access to the Cambrian Railway and the national rail network.
- 2.5. Paragraph 2.17 of the ELDP states that some limited development will be permitted in secondary settlements to support their sustainability and the maintenance of existing services and facilities, such as the village school and to help meet rural needs. Under criterion XI of Strategic Policy C, small-scale open market and affordable housing for local needs is permitted within the settlement boundaries of secondary settlements.

- 2.6. SP G (Housing) has a plan requirement for 770 dwellings (which includes the 375 affordable housing targets referred to below) and makes provision for 885 dwellings in the plan period. The Eryri Local Development Annual Monitoring Report (October 2025) states that housing permissions and completions have been below the average annual requirement target for several years in a row. There is a shortfall of -41% for the cumulative required build rate from the start of the plan period, 2016-17, up to 31<sup>st</sup> March 2025, and the plan is falling significantly short of what is intended. The 12 dwellings proposed would contribute towards the reduction of the significant shortfall in the housing trajectory set out in the ELDP, and this weighs in favour of the proposed development.
- 2.7. In delivering sustainable development, SP A seeks to promote development which meets the housing needs of local communities through a mix of dwelling types and tenures, predominantly through affordable housing to meet local needs. Although an article 4 direction is in place within the Authority area, it is considered reasonable to impose a condition on any consent given to ensure that the first use of the dwellings is restricted to a C3 use to ensure compliance with SP A. Strategic Policy G also states that new housing in the National Park will be required to meet the needs of local communities. Further proposals must take account of local needs in terms of size, type and tenure of dwellings, and house types should reflect the results of the Local Housing Market Assessment or appropriate local needs surveys. The SPG Affordable Housing also guides these requirements.
- 2.8. The Gwynedd Local Housing Market Assessment has been prepared for the period 2018 to 2023 (LHMA), and it is understood that an update is currently being prepared. The LHMA provides an assessment of the housing market across Gwynedd and includes several key findings. The LHMA “recommends that the mix of all new developments should be 40% 1- or 2-bedroom properties, 30% 3-bedroom and 30% 4+ bedroom properties”. This mix does not apply to affordable dwellings, which should instead be informed by the local housing register.
- 2.9. The housing mix initially proposed as part of this application comprised 5-person 3-bedroom units, which were all market housing. This has now been changed, and there is a broader range of housing, including 2-, 3-, and 4-bedroom dwellings. Whilst no 1-bedroom units are proposed, the housing mix proposed broadly aligns with that recommended in the LHMA. On this basis, it is considered that the mix of the open market housing proposed meets the requirements of SP A, SP G and SPG Affordable Housing, which require that development proposals meet local needs.

- 2.10. Turning to affordable housing needs, the LHMA confirms that demand for social housing remains high, with the need for 1-bedroom units not being met by the current available stock. 707 additional social housing is required each year for 5 years, and 104 additional intermediate housing units for the same period. The LHMA includes Brynchrug within an area which encompasses Tywyn and the wider rural hinterland. Whilst it is acknowledged that the age of the LHMA means that it does not reflect the increase that has occurred in house prices over recent years. Over 60% of residents in the Tywyn area are indicated in the LHMA as being priced out of the market.
- 2.11. Based on Gwynedd Council's social housing waiting list and the Tai Teg figures, it is confirmed that there is a demonstrable need for affordable and intermediate housing in Brynchrug and the adjacent community councils.
- 2.12. Policy DP 30 (Affordable Housing) of the ELDP has a target of 375 dwellings in the plan period, and within Secondary Settlements, such as Brynchrug, affordable housing contributions of 50% will be sought. The policy also states that if it can clearly be demonstrated that the indicative criteria of 50% cannot be met due to viability, the authority will negotiate an affordable housing contribution, which could include a commuted sum.
- 2.13. There is a requirement in the ELDP for 375 affordable housing units as part of the overall housing target. The Eryri Local Development Annual Monitoring Report (October 2025) "Monitoring Report" states that affordable housing delivery is heavily dependent on housing associations; not many private allocations are coming forward and do not therefore provide affordable housing.
- 2.14. An off-site contribution was initially proposed as part of the proposal, with no on-site affordable housing. The authority commissioned the Valuation Office Agency (VOA) to provide a report to verify information provided by the applicant in their viability assessment (VOA Report). The VOA Report essentially verified the results of the applicant's viability assessment, except that it was concluded that a slightly higher off-site contribution could potentially be paid.
- 2.15. Following further engagement, the proposal was amended to include four two-bedroom units of intermediate-type affordable housing. A further affordable housing viability assessment was submitted in light of this, and the authority sought external specialist advice to assess the applicant's affordable housing viability assessment.

- 2.16. It was confirmed that it is not viable to provide 50% of the development as affordable housing in accordance with the requirements of policy DP 30. However, it was advised that it is viable to provide four 2-bedroom dwellings. Although the provision of 4 affordable dwellings is below the policy requirement of 50%, it is considered that the provision of 4 on-site dwellings is preferential to a financial contribution as it will secure affordable dwellings as part of the development. Paragraph 9.32 of the supplementary planning guidance (SPG) for affordable housing states 'where genuine difficulties with site viability can be proven without doubt, the Authority will consider, through negotiation, reducing the percentage contribution of affordable housing'
- 2.17. The applicant has agreed to the affordable dwellings being secured by a legal agreement, thus complying with policy DP30. To ensure the dwellings are affordable a discount off the open market value will be included within the agreement. This has been agreed at 30%. Although it is lower than what the SPG requires, the discount impacts the viability of the development. Based on the current estimated open market values of the affordable houses it should bring the sales price to between £130,000 and £140,000. It is acknowledged that this is higher than the identified sales price required within the SPG of £119,360. However, it should firstly be remembered that although the SPG is a material planning consideration, it is guidance and not policy. Furthermore, the estimated sales prices expected within each settlement is based on the area's median income for the area. Whilst the sales price will not be within reach of all people recognised as being in need of an affordable dwelling, it will still ensure that the dwellings are within reach of a proportion of people that are in need of an intermediate affordable dwelling. On balance, it is considered that a discount of 30% is acceptable in this instance.

### *3. Siting, Design and Landscape*

- 3.1. The site comprises predominantly flat pastureland, which is located on the western edge of the settlement. The western boundary of the site is defined by the countryside beyond an existing hedgerow. In this context, NRW initially explained that they had concerns about the landscape impact of the development, primarily due to the height of the two-storey dwellings along the western boundary. Whilst visualisations of these impacts were initially requested, NRW's concerns were addressed by the planting of specimen trees between the site fencing and the site ownership boundary as mitigation of these impacts. The inclusion of specimen-type trees as part of the landscaping proposals also aligns with the suggestions made on the landscaping proposals by the authority's Tree and Woodland Officer.

- 3.2. SP G states that residential development should make the best use of land. Further, a density of 30 per hectare will be sought unless there are local circumstances that suggest a lower density is appropriate. The density proposed is closer to 20 per hectare, which is lower than expected under SP G. The development is on the edge of a rural settlement in a national park and the density respects the general development pattern and density of the existing settlement. On this basis, it is considered that a lower density is appropriate.
- 3.3. Turning to the detailed design and the external appearance of the development. Two-storey dwellings and dormer bungalows are proposed, in detached and semi-detached form. Externally, the proposed dwellings would be finished with smooth or textured render finishes, and the roofs would be covered with slate. All this aligns with policies DP1 and DP6 of the ELDP, which relate to design and external appearance.
- 3.4. The dormer-type bungalows previously included a large flat-roof dormer on the front elevation. The design has been amended to a pitched-type roof design; the scale of the dormers remains the same. However, the design of the dormers was only amended for plots 20 and 21 and not for plots 18 and 19. This would result in an inconsistent design approach and would lower the visual quality of the development as a whole. If the application is supported by the planning committee it is recommended that the decision should be subject to the receipt of amended plans to rationalise the design of the dormers across all 4 plots to ensure consistency.
- 3.5. When looking at the character and appearance of Brynchrug as a settlement as a whole it is evident that that is a wide mix of architectural styles and designs. This includes modern & older properties with both pitched and dormer roofs and also bungalows. Given this, the proposed design is considered in keeping with the locality. The dormers would also be located on the front of the dwellings facing the estate road and as a consequence, would not be a significant feature visible in the wider landscape. The authority's Design Guide: Extensions illustrates that oversized dormers can unacceptably impact the main roof, and these design principles are considered applicable in terms of attaining the standard of design sought by policies. Whilst these dormers (pitched or flat roof) could be smaller, the degree of harm is not such that an objection is raised on this basis providing that there is consistent style across all 4 bungalows.
- 3.6. Objections received contend that the dwellings on the eastern part of the site should face Ffordd y Felin. Given the existence of the verge in private ownership, it is not considered that this would be practical or desirable, as the rear elevations would then face the access road serving

the development. It is also considered that the retention of the existing stock-proof fencing between the development and the verge does not raise any objection to visual amenities.

- 3.7. Objections contend that all the trees previously shown on the verge are not plotted on the current planning application. As this area is outside the application site, it is not a matter which raises any planning concerns.

#### *4. Highway and Pedestrian Safety*

- 4.1. Many of the grounds of objection relate to the adequacy of the highway leading to the development and highway and pedestrian safety issues. These matters have been brought to the attention of Gwynedd Highways, who have considered road safety issues along the route of the development to the A494. Gwynedd Highways are content with the development subject to the planning conditions. These conditions include requirements for a Construction Environmental Management Plan (CEMP) and a Construction Traffic Management Plan (CTMP) to mitigate impacts on residents and the use of the public highway in the construction of the development.
- 4.2. The Fire and Rescue Service raise no objections in terms of access to appliances to the development. The Fire & Rescue Service requirements set out in their consultation response are matters for the Building Regulations.
- 4.3. Pedestrian connectivity from the development to the settlement is a material consideration, and planning policies seek to ensure that safe and convenient routes are provided as part of any development proposals. The proposal shows a pedestrian footway connecting the development and Ffordd y Felin. Dropped kerbs in connection with this pedestrian path are shown outside of the application site on the verge and on the pedestrian footpath on the opposite side of Ffordd y Felin. This verge is within private ownership, and objections have been received from the landowner stating that consent will not be granted for this footway crossing. The applicant has confirmed that if they cannot obtain the consent of the landowner to complete this footpath, they will use the proposed footpath alongside the roadway in the development instead. This connects with the public highway at the bottom or southern end of the Ffordd y Felin cul-de-sac. The Highway Authority has confirmed that, on balance, this arrangement is acceptable subject to a detailed design being approved using a planning condition.

## 5. Foul and Surface Water Drainage

- 5.1. Objections have been received in relation to the adequacy of the foul and surface water drainage arrangements in connection with the proposal, notably that the current foul drainage infrastructure is inadequate.
- 5.2. Foul drainage from the development is proposed to be discharged into the public sewer. Welsh Water confirm that it is unlikely that sufficient capacity exists to accommodate the additional loading from the development. On this basis, Welsh Water recommend a planning condition requiring a development enabling assessment (or a hydraulic assessment) to identify solutions and reinforcement. This could entail the removal of surface water discharging into the public sewer to offset the additional loading generated by the development. Welsh Water explain that the enabling assessment and any solutions/reinforcements required would be undertaken by Welsh Water and funded by the developer. Welsh Water are the statutory consultee, and they are content for the development to proceed on this basis. A Grampian-type condition of this type (which requires an action to occur before development can proceed) in these circumstances is considered acceptable to enable the development to proceed on foul drainage grounds.
- 5.3. The foul drainage proposals show that the rising main from the development will cross the verge alongside Ffordd y Felin, which is within third-party ownership. It is understood that Welsh Water have statutory powers to requisition a public sewer across such third-party land, which would provide a means for implementation of the scheme, subject to this planning application.
- 5.4. Surface water from the development, including the highway into the site, will be disposed of via soakaways. Objections received contend that the site is prone to flooding. YGC has confirmed that infiltration and the use of soakaways are a suitable method of surface water disposal. NRW has raised no concerns on the grounds of flooding or the existence of any septic tanks in proximity. On this basis are no planning grounds to object to the development on flooding or surface water grounds. A separate SuDS application for the surface water drainage scheme will need to be submitted for the approval of the SuDS Approving Body (SAB).

## 6. *Loss of Agricultural Land*

- 6.1. The PAC Report explains that the Welsh Government Agricultural Land Classification (WGALC) confirmed that the site is classified as ALC Subgrade 3a (Best Most Versatile “BMV” agricultural land) in the Predictive ALC Map for Wales. WGALC stated that due to the small size of the site (0.6 hectares), a field survey was not recommended and that the predictive map could be relied on. Further, as the site is likely to contain BMV, it will be for this authority to apply guidance in paragraph 3.59 of PPW (12). The planning application is also accompanied by an “Agricultural Land Quality Considerations” report, which concludes that the small size of the site and its isolation from other good quality land mean that the area cannot be used to its potential and that its loss to agriculture is negligible, such that there should be no objections to its loss for non-agricultural development.
- 6.2. The authority would only be required to consult WGALC if the loss of agricultural land amounted to 20 hectares or more under the Town and Country Planning (Development Management Procedure) (Wales) Order 2012 (as amended). On this basis, it is agreed that the site area is small, having regard to these regulatory requirements.
- 6.3. PPW (12) (paragraphs 3.58 and 3.59) states that ALC 1, 2 and 3a are the best and most versatile and should be conserved as a finite resource. Further, ALC 1, 2 and 3a should only be developed if there is an overriding need for the development and either previously developed land or lower-grade agricultural land is unavailable. In this case, the loss of agricultural land area would be small. The site is also within the settlement boundary under the provisions of the ELDP. Planning permission has also been granted for residential development on the site previously. Having regard to all these material considerations, it is not considered that the loss of agricultural land is a matter which leads to objection.

## 7. *Welsh Language*

- 7.1 Development Policy 18 acknowledges that in determining planning applications the Authority must take into consideration the needs and interests of the Welsh language. The Welsh Language is a key material consideration and as such, the implications of the proposal for the language and the local Welsh speaking community must be considered when assessing this application.
- 7.2 A Community & Linguistic Assessment has been submitted in support of the application that assesses the development's likely impact on the Welsh Language and overall community impact. The conclusion of the

CLIS states – “that the proposed development would have an overall neutral to positive impact on the community and the Welsh language of the area”.

- 7.3 Officers are content that the all the requirements of the CLA have been addressed within the submitted report. It is noted that the assessment has found 8 positive impacts, 9 neutral impacts and no negative impacts. Officers do not disagree with these conclusions and agree that due to the size of the development, when compared to the overall housing stock of Brynchrug, any change would be minimal. It is considered therefore that there would be no harm to the character and language balance of the community, and therefore no conflict with Development Policy 18.
- 7.4 It is possible to secure additional improvements by conditioning any permission given to ensure that the dwellings and estate road have Welsh names in accordance with policy DP18.

## **8. Ecology matters**

- 8.1 The application is accompanied by a Preliminary Ecological Assessment (PEA) which confirms that there would be no negative impacts from the development due to a loss of habitat. Mitigation measures are recommended in the report, and these can be secured by a planning condition. There is also an obligation to incorporate biodiversity enhancement with any application as required by paragraph 6.4.5 of Planning Policy Wales (PPW) - Edition 12, February 2024. These enhancements include the installation of bat tubes and soft landscaping. These will also be secured by condition.
- 8.2 The proposal is also accompanied by a proportionate Green Infrastructure Statement, which demonstrates how the “Stepwise” approach has been applied as required in PPW (12).

## **9. Conclusion**

- 9.1. In Secondary Settlements, small-scale open market and affordable housing for local needs is permitted. The scale of the development in terms of the number of residential units is larger than would be expected in Brynchrug, which is a designated smaller settlement. In the planning balance, Brynchrug is in proximity to Tywyn, which is a higher-order settlement. Tywyn is accessible by walking, cycling and public transport. The provision of 12 dwellings would contribute positively to addressing the shortfall in open market and affordable dwellings in line with the trajectory of the ELDP. The site is also located within the development boundary and makes a logical extension to the settlement without adversely impacting the landscape.

The delivery of housing requirements identified in the ELDP is a significant material consideration.

- 9.2. Policy DP requires that 50% of the units should be affordable; in this instance, it has been assessed that this is not viable. It is, however, considered viable to provide 4 2-bedroom dwellings on site out of 12 which can be secured by legal agreement.
- 9.3. Brynchrug is home to a wide mix of architectural styles and designs. Given this, the proposed designs and use of materials for the dwellings are considered in keeping with the locality. However, amended plans will need to be sought to secure a consistent style of the proposed dormers across all 4 bungalows.
- 9.4. Matters arising in respect to highways and drainage matters can be secured by condition. This is also the case in respect of securing additional improvements to the Welsh Language by ensuring the dwellings and estate road have Welsh names.
- 9.5. The decision to recommend approval has been taken in accordance with Section 38 of The Planning and Compulsory Purchase Act 2004, which requires that, in determining a planning permission the development must be in accordance with the Development Plan unless material considerations indicate otherwise. The Development Plan for the area comprises Future Wales 2040 and the adopted Eryri Local Development Plan 2016-2031.
- 9.6. It is considered that the decision complies with the Authority's well-being objectives and the sustainable development principle in accordance with the requirements of the Well-being of Future Generations (Wales) Act 2015.

#### **Background Papers in Document Bundle No.1: Yes/No**

**RECOMMENDATION: To delegate the right to the Director of Planning & Partnerships to approve the application subject to:**

- **Receipt of amended plans, to agree on and ensure consistent design for the dormer windows.**
- **The completion of a legal agreement securing the provision of 4 affordable dwellings**
- **and subject to the following conditions (which may be subject to change upon receipt of amended plans):**

1. The development hereby permitted shall be commenced before the expiration of FIVE years from the date of this decision.
2. The development hereby permitted shall be carried out in accordance with the following approved plans and documents:
  - Site Location 1:1250 @ A4
  - Proposed Block Plan NR.PBP/B
  - Plot 10 & 11 NR.46/1B
  - Plot 10 & 11 NR.46/2C
  - Plot 12 & 13 NR.46/3A
  - Plot 12 & 13 NR.46/4B
  - Plot 14 & 15 NR.46/5A
  - Plot 14 & 15 NR.46/6B
  - Plot 16 & 17 NR.46/7
  - Plot 16 & 17 NR.46/8
  - Plot 18 NR.46/9
  - Plot 19 NR.46/10
  - Plot 20 & 21 NR.46/11A
  - Plot 20 & 21 NR.46/12A
  - Section NR.46/13A
  - Traditional Welsh Slate Fencing NR.468/14
  - (Close Boarded Fence) NR.468/15
  - Landscape Strategy (March 2024) Tirlun Barr Associates
  - Landscape Maintenance and Establishment Operations
  - Green Infrastructure Statement (March 2024) Tirlun Barr Associates
  - Soft Landscaping Proposals including Ecological Mitigation 01.24.ELP.01.1
  - Proposed Highway Dimensions 007 P02
  - Drainage Strategy (March 2024) P01 Mon Civils
  - Proposed Drainage Layout 005 P03
  - Existing Flood Routing Plan 004 P02
  - Soakaway Catchment Plan 003 P02
  - Proposed Pump Station Section 006 P01
  - Design and Access Statement (November 2025) NJ Planning
  - Community and Linguistic Assessment (March 2026) NJ Planning
  - Preliminary Ecological Assessment (Amended) 19/03/2024 Cambrian Ecology Ltd
  - Geotechnical Ground Investigation Report (November 2022) e-geo Solutions Ltd
3. No development shall take place until a foul water drainage scheme (Scheme) to satisfactorily accommodate the foul water discharge from the development hereby approved has been submitted to and approved in writing

by the local planning authority by way of a formal application. The Scheme shall be informed by a Development Enabling Assessment (being a Foul Hydraulic Modelling Assessment) and shall identify:

- a) A point of connection on the public sewerage system, and
- b) Where necessary, removal of surface water to offset the introduction of the new foul water generated by the development, and
- c) Where necessary, the extent of reinforcement works required to accommodate the development.

No dwelling shall be occupied until the approved Scheme has been completed in accordance with the details as may be approved in writing under the provisions of this condition.

- 4. No surface water and/or land drainage shall be allowed to connect directly or indirectly with the public sewerage network.
- 5. No development shall commence until a Construction Traffic Management Plan "CTMP" has been submitted to and approved in writing by the Local Planning Authority by way of a formal application. The CTMP shall include highway provisions relating to the construction of the development hereby approved and, as a minimum, shall include details of:
  - a) the parking of vehicles of site operatives and visitors;
  - b) loading and unloading of plant and materials;
  - c) storage of plant and materials used in constructing the development;
  - d) wheel washing facilities;
  - e) Measures to minimise and mitigate the risk to road users, in particular non-motorised users;
  - f) Details of measures to be implemented to prevent mud and debris from entering the public highway network;
  - g) Proposals for communicating information and advance notice relating to the development to stakeholders;

The construction of the development hereby approved shall be undertaken in accordance with the approved CTMP.

- 6. No development shall commence until a Construction Environmental Management Plan "CEMP" has been submitted to and approved in writing by the Local Planning Authority by way of a formal application. The CEMP shall include general environmental provisions relating to the construction of the development hereby approved and, as a minimum, shall include details of:
  - a. Full specification(s) of external lighting (if any).
  - b. Working hours during the construction

- c. Dirt and dust control measures and mitigation
- d. Noise, vibration and pollution control impacts and mitigation;
- e. Water quality and drainage impacts and mitigation.
- f. Height, specification and colour of all safety fencing and barriers to be erected in the construction of the development hereby approved.

The construction of the development hereby approved shall be undertaken in accordance with the approved CEMP.

- 7. The estate road and footways shall be surfaced to basecourse standard before any dwelling(s) which it serves are occupied.
- 8. The estate road(s) shall be kerbed, and the carriageway and footways finally surfaced and lighted before the last dwelling on the estate is occupied or within 2 years of the commencement of the development, whichever is sooner.
- 9. The scheme for parking and manoeuvring of vehicles indicated on the approved plans shall be laid out before the initial occupation of dwelling(s) which it serves, and that area shall thereafter be kept available for parking and manoeuvring of vehicles.
- 10. No surface water from the development hereby approved shall discharge onto the public highway.
- 11. Notwithstanding the plans hereby approved, no development shall commence until a scheme showing pedestrian footpath(s) connecting the development with Ffordd y Felin (Scheme) has been submitted to and approved in writing by the local planning authority by way of a formal application. The Scheme shall include as a minimum:
  - a. Construction level drawings.
  - b. Kerb-lines and sight lines at the pedestrian footway(s) termination or crossing point(s).
  - c. Modification(s) to the existing pedestrian footway(s) along Ffordd y Felin.
  - d. Timetable for the completion of the Scheme.

The Scheme shall be completed in accordance with the details as may be approved in writing under the provisions of this condition.

- 12. The amenity open space / Proposed Community Orchard shown on the plans hereby approved shall be laid out in accordance with the details specified thereon, as part of the estate as a whole and shall thereafter be retained as such as an integral part of the development and shall not thereafter be used for any other purpose.

13. Any tree or shrub which forms part of the approved Soft Landscaping Proposals including Ecological Mitigation 01.24.ELP. 01.1, which within a period of five years from planting fails to become established, becomes seriously damaged or diseased, dies or for any reason is removed shall be replaced in the next planting season by a tree or shrub of a species, size and maturity to be approved by the Local Planning Authority.
14. The approved means of enclosure as shown on the plans hereby approved shall be constructed or erected before the occupation of the dwelling(s) or part of the development to which it relates, and it shall thereafter be retained in the lifetime of the development hereby approved, and any replacement wall or fencing shall be to an equivalent specification.
15. Within 3 months of the substantial completion of a dwelling, the bat tubes shall be installed in accordance with the plans and the Preliminary Ecological Assessment (Amended) 19/03/2024 Cambrian Ecology hereby approved. The bat tubes shall thereafter be maintained in accordance with the manufacturer's instructions and shall be retained for the lifetime of the development; any replacements shall be of an equivalent specification.
16. The dwellinghouse hereby approved shall not be occupied other than in accordance with the Town and Country Planning (Use Classes) (Amendment) (Wales) Order 2022, Use Class C3: Dwellinghouse (used as sole or main residence) or any Order revoking or re-enacting that Order).
17. The provisions of Schedule 2, Part 1, Classes A, B and E of the Town and Country Planning (General Permitted Development) Order 1995 (as amended) (or any Order revoking or re-enacting that Order) are hereby excluded for the affordable dwellings on plots 11, 10, 13 and 12.
18. The roof of the dwellinghouses shall be covered with blue-grey slates from the Blaenau Ffestiniog area, or slates with equivalent colour, texture and weathering characteristics, details of which shall be provided and approved in writing by the Local Planning Authority by way of a formal application. The development shall be completed in accordance with the details as may be approved in writing under the provisions of this condition, and the approved slates shall thereafter be retained.
19. No above ground development shall take place until the colour of the external render on the external walls of the dwellings has been submitted to and approved by the local planning authority by means of formal application. The development shall be carried out in accordance with the details as may be approved in writing under the provisions of this condition.

20. No development shall take place until a scheme to enable the provision of gigabit-capable broadband infrastructure from the site boundary to the dwellings hereby permitted has been submitted to and agreed in writing by the local planning authority by way of a formal application. The development shall be carried out in accordance with the details as may be approved in writing under the provisions of this condition.
21. Welsh names must be provided for the dwellings and street/estate hereby approved. Any new name/s should be derived from historical, geographical or local links to the area where possible.

Reasons –

1. To comply with Section 91 (as amended) of the Town and Country Planning Act 1990.
2. To define permission for the avoidance of doubt.
3. To prevent hydraulic overload of the public sewerage system and pollution of the environment, in accordance with Eryri Local Development Plan Policies and in particular policy 1.
4. To prevent hydraulic overloading of the public sewerage system, to protect the health and safety of existing residents and to ensure no pollution of or detriment to the environment, in accordance with Eryri Local Development Plan Policies and in particular policy 1.
5. To safeguard against any impact the construction of the development may have on the environment and local amenity, in accordance with Eryri Local Development Plan Policies and in particular policy 1.
6. To minimise danger and inconvenience to highway users, in accordance with Eryri Local Development Plan Policies and in particular policy 1.
7. To minimise danger and inconvenience to highway users, in accordance with Eryri Local Development Plan Policies and in particular policy 1.
8. To enable vehicles to draw off, park and turn clear of the highway to minimise danger, obstruction and inconvenience to users of the adjoining highway, in accordance with Eryri Local Development Plan Policies and in particular policy 1.

9. To minimise danger and inconvenience to highway users, in accordance with Eryri Local Development Plan Policies and in particular policy 1.
10. To minimise danger and inconvenience to highway users, in accordance with Eryri Local Development Plan Policies and in particular policy 1.
11. To minimise danger and inconvenience to pedestrian and highway users, in accordance with Eryri Local Development Plan Policies and in particular policy 1.
12. In the interests of amenity, biodiversity and to provide open space for occupants of the development in accordance with Eryri Local Development Plan Policies and in particular policies D and 1.
13. To preserve and enhance the visual amenities of the area, in accordance with Eryri Local Development Plan Policies, and particularly Policy 1.
14. To safeguard the visual appearance of the overall development and to preserve the amenities of the area in accordance with Eryri Local Development Plan Policies and in particular Development Policy 1.
15. To provide biodiversity enhancements in accordance with Strategic Policy D of the adopted Eryri Local Development Plan and Planning Policy Wales.
16. To define permission for the avoidance of doubt.
17. To ensure that the approved dwellings are affordable to those in need of housing and to comply with relevant policies and in particular Strategic Policy G and SPG 4 of the Eryri Local Development Plan.
18. To ensure a satisfactory standard of appearance of the development and the use of appropriate local building materials, in accordance with Eryri Local Development Plan Policies and in particular policies A, 1, 6.
19. To ensure a satisfactory appearance of the development in accordance with Eryri Local Development Plan Policies and in particular Policy 1.
20. To support the roll-out of digital communications infrastructure across Wales in accordance with Policy 13 of Future Wales.

21. To ensure that appropriate dwelling/street names are adopted in the interests of the Welsh Language and in accordance with Eryri Local Development Plan Policies and in particular Policy 18.



CYNLLUN SAFLE  
Site Location 1:1250 @ A4

Safle ger Clydfan  
Ffordd y Felin  
Bryncrug

Bryne-frog  
Thick broken line indicates Traditional Welsh  
Slate fence. For detail see drawing 469/14

Swh-y-nant

Drop kerb to footpath

Gelys Fa  
Clyvan  
House

Capel

Reform

Villa

Bronheirion

Play Area

Min-y-marian

Thick brown broken line indicates timber  
boundary fence. For detail see drawing 469/15

#### AMENDMENTS

- A. Plots 10, 11, 12, 13 now block of 4 2 bedroom house  
plot 15 now 4 bedroom house 16.8.25  
B. Plots 10, 11 & 12, 15 now 2 bed semis 14, 10, 25

Thick brown broken line indicates timber  
boundary fence. For detail see drawing 469/15

Existing carriageway width where proposed new road ties  
with existing is 4.8m wide

3 Nr 4.8mx2.4m parking area

Existing vegetation and wall to be removed so as not to  
obstruct visibility

Safle ger Clydfan  
Ffordd y Felin  
Bryncrug

CYNLLUN GWAITH working drawing  
GRADDFA scale: 1:500 @ A3  
RHIF CYNLLUN drawing Nr:469/PBP.B

**IWAN JONES**  
GWASANAETHAU / PENSAERNIOL Architectural Services  
GELLUWYDD, TALYBONT, CEREDIGION SY24 5HJ  
FFON tel 01970 832760

For Sections see drawing 469/13.

10 0 10  
metres

**CYNLLUN BLOC ARFAETHEDIG**  
Proposed Block Plan



Any exterior security or decorative lights shall be less than 3m from the ground, and fitted with hoods to direct the light below the horizontal plane, at an angle of less than seventy degrees from vertical, and shall not be fixed to or directed at, bat roost access points or gables or eaves. Lighting must be less than 3 lux at ground level and there shall be no light splay exceeding 1 lux along buildings, eaves or roof or adjacent hedgerows or trees. Any lighting shall be Passive Infrared (PIR) triggered.

#### AMENDMENTS

- A. bat tubes re-located to Rear Elevation 6.8.24
- B. Plot 10 & 11 now 2 bed 3.6.25
- C. Layout amended 14.10.25

**Safle 10 ac 11**  
**Plot 10 & 11**

**Safle ger Clydfan**  
**Ffordd y Felin**  
**Bryncrug**

CYNLLUN GWAITH working drawing  
GRADDFA scale: 1:100 @ A3  
RHIF CYNLLUN drawing Nr:469/2C

**IWAN JONES**

GWASANAETHAU PENSAERNIOL Architectural Services  
GELLIMANNYDD, TALLYBONT, CEREDIGION SY24 5HJ  
FFON tel 01970 832760



Any exterior security or decorative lights shall be less than 3m from the ground, and fitted with hoods to direct the light below the horizontal plane, at an angle of less than seventy degrees from vertical, and shall not be fixed to or directed at, bat roost access points or gables or eaves. Lighting must be less than 3 lux at ground level and there shall be no light splay exceeding 1 lux along buildings, eaves or roof or adjacent hedgerows or trees. Any lighting shall be Passive Infrared (PIR) triggered.

#### AMENDMENTS

A. bat tubes re-located to Rear Elevation 6.8.24  
B. Plot 12&13 now 2 Bed 14.10.25

**Safle 12 a 13**  
**Plot 12 & 13**

**Safle ger Clydfan**  
**Ffordd y Felin**  
**Bryncrug**

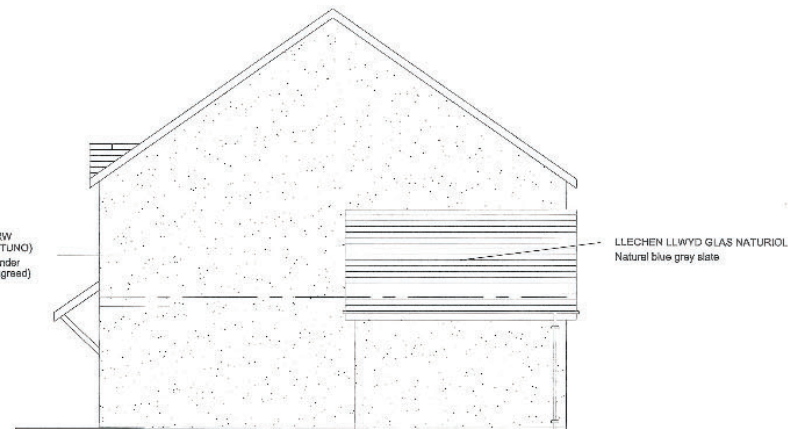
CYNLLUN GWAITH working drawing  
GRADDFA scale:1:100 @ A3  
RHIF CYNLLUN drawing Nr:469/4B

**IWAN JONES**  
GWASANAETHAU PENSAERNIOL Architectural Services  
GELLUMANNYDD, TALLYBONT, CEREDIGION SY24 5HJ  
**FFON tel 01970 832760**



EDRYCHIAID BLAEN  
Front Elevation

DRYSAU A FFENESTRI PVC GWYN  
White PVC windows and door



EDRYCHIAD OCHR  
Side Elevation



EDRYCHIAID CEFN  
Rear Elevation

DRYSAU A FFENESTRI PVC GWYN  
White PVC windows and door



EDRYCHIAD OCHR  
Side Elevation

#### AMENDMENTS

- A. bat tubes re-located to Rear Elevation 6.8.24
- B. Plot 15 now 4 bed 3.6.25

Safle 14 a 15  
Plot 14 & 15

Safle ger Clydfan  
Ffordd y Felin  
Bryncrug

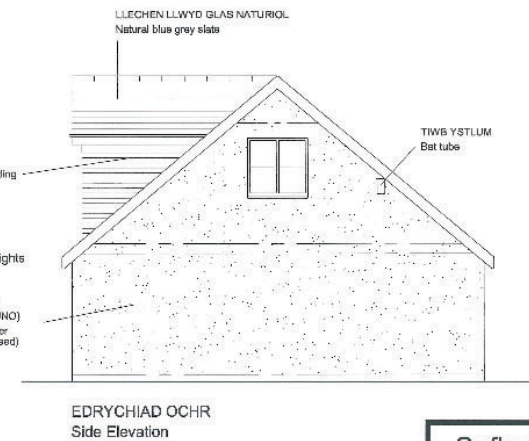
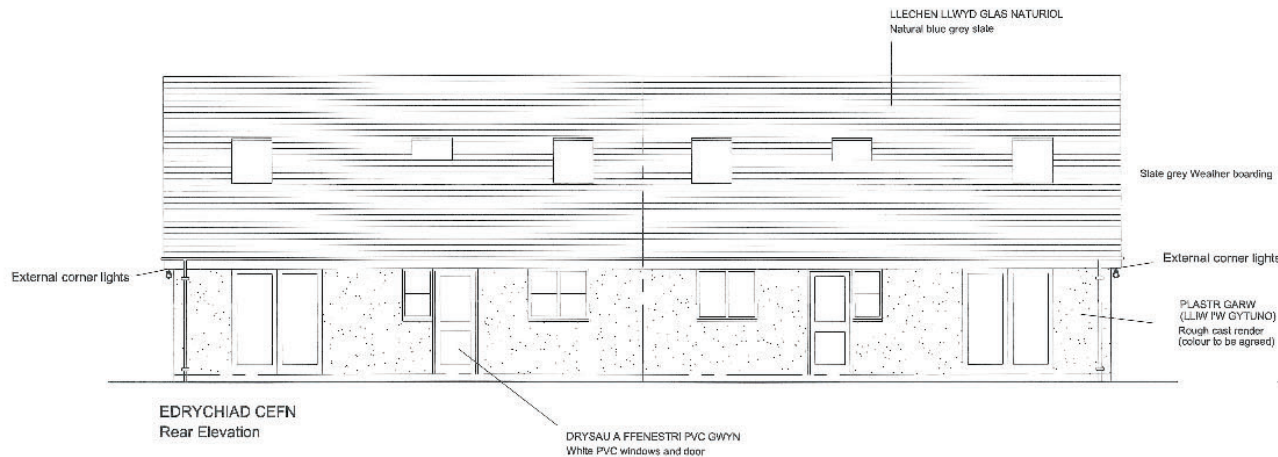
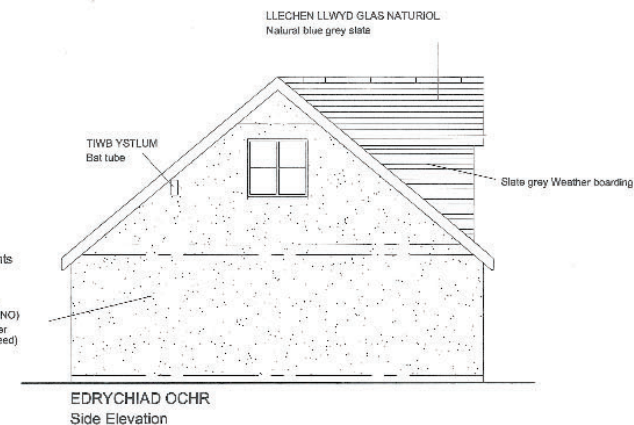
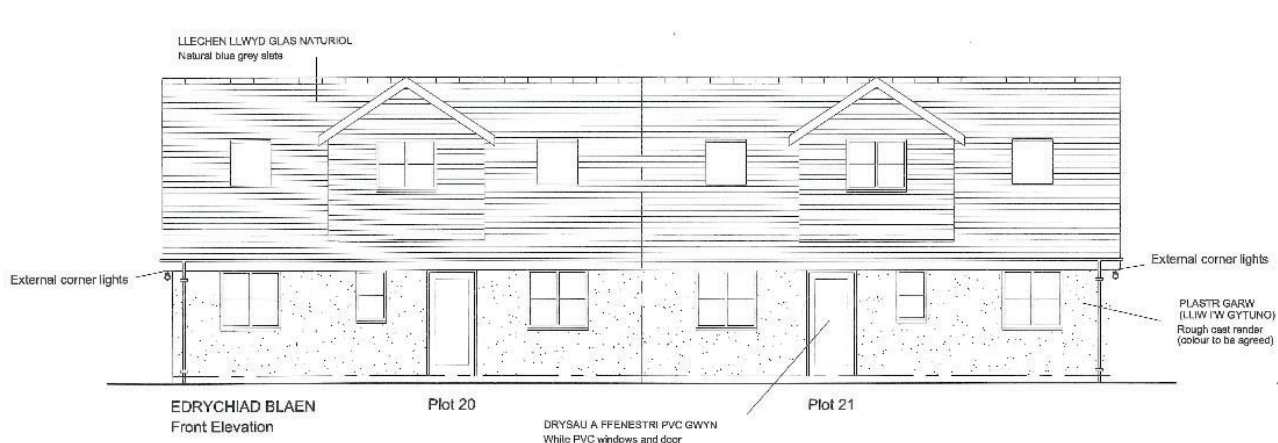
CYNLLUN GWAITH working drawing  
GRADDFA scale:1:100 @ A3  
RHIF CYNLLUN drawing Nr:469/6B

IWAN JONES

GWASANAETHAU PENSAERNIOL Architectural Services  
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FFON tel 01970 832760

Any exterior security or decorative lights shall be less than 3m from the ground, and fitted with hoods to direct the light below the horizontal plane, at an angle of less than seventy degrees from vertical, and shall not be fixed to or directed at, bat roost access points or gables or eaves. Lighting must be less than 3 lux at ground level and there shall be no light splay exceeding 1 lux along buildings, eaves or roof or adjacent hedgerows or trees. Any lighting shall be Passive Infrared (PIR) triggered.





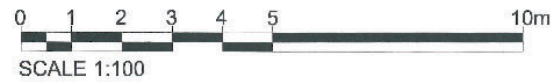
Safle 20 a 21  
Plot 20 & 21

Safle ger Clydfan  
Ffordd y Felin  
Bryncrug

CYNLLUN GWAITH working drawing  
GRADDFA scale:1:100 @ A3  
RHIF CYNLLUN drawing Nr:469/12 A

IWAN JONES  
GWASANAETHAU PENSAERNIOL Architectural Services  
GELLIWANNYDD, TALLYBONT, CEREDIGION SY24 5HJ  
FFON tel 01970 832760

Any exterior security or decorative lights shall be less than 3m from the ground, and fitted with hoods to direct the light below the horizontal plane, at an angle of less than seventy degrees from vertical, and shall not be fixed to or directed at, bat roost access points or gables or eaves. Lighting must be less than 3 lux at ground level and there shall be no light splay exceeding 1 lux along buildings, eaves or roof or adjacent hedgerows or trees. Any lighting shall be Passive Infrared (PIR) triggered.



AMENDMENTS  
A. Dormer amended 3.6.25



0 1 2 3 4 5 10m  
SCALE 1:250

**Safle ger Clydfan**  
**Ffordd y Felin**  
**Bryncrug**

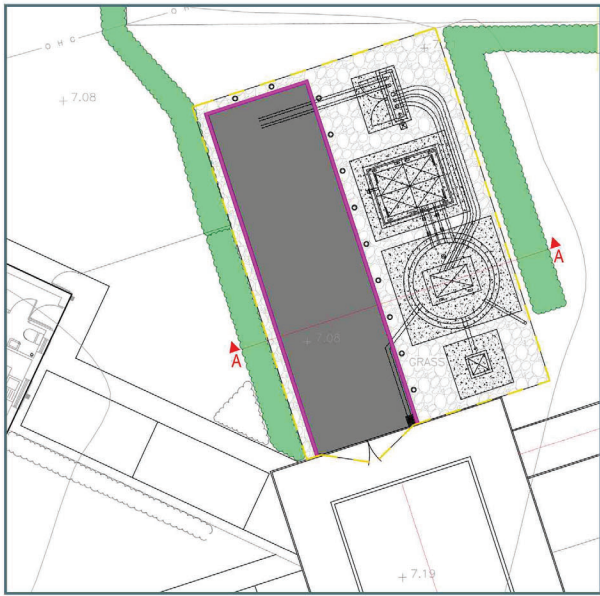
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GRADDFA scale:1:250 @ A3  
RHIF CYNLLUN drawing Nr:469/13 A

#### AMENDMENTS

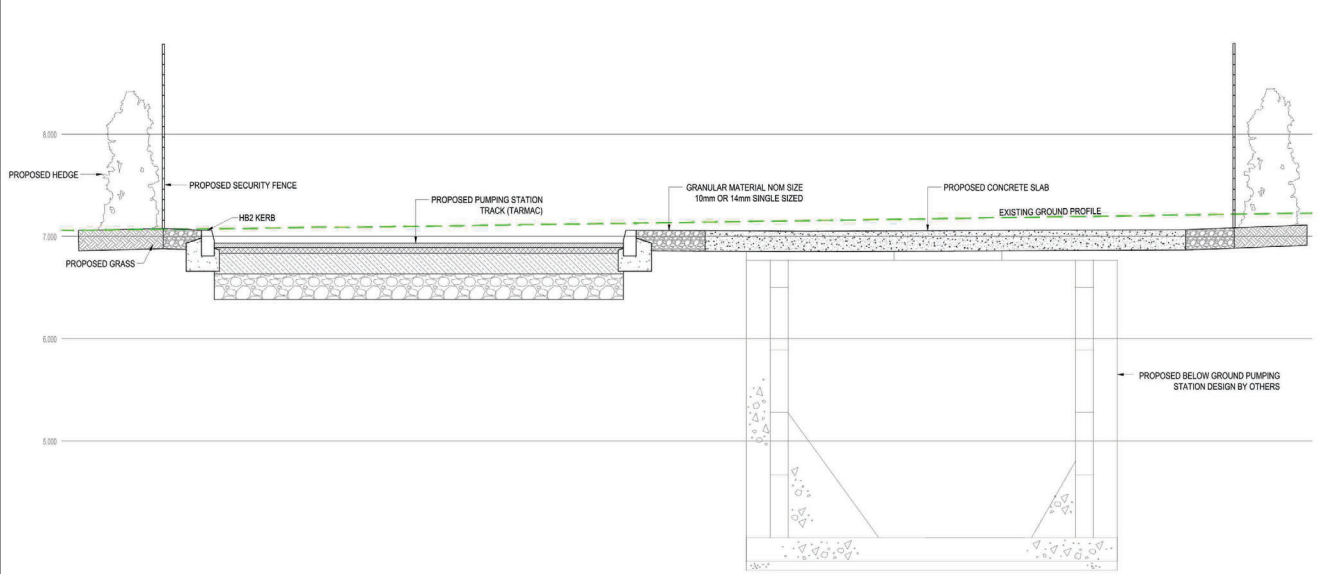
A. Amended to reflect new scheme 14.10.25

For location of sections see drawing 469/PBP

**IWAN JONES**  
GWASANETHAU PENSAERNIOL Architectural Services  
GELLIMANNYDD, TALYBONT, CEREDIGION SY24 5HJ  
FFON tel 01970 832760



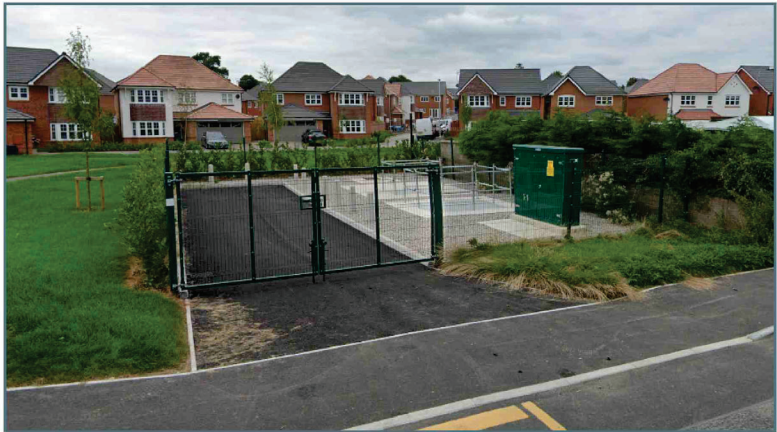
PUMPING STATION PLAN  
SCALE: 1:100



SECTION A-A THROUGH PUMPING STATION  
SCALE: 1:20

LEGEND

- HALF BATTERED KERB - TYPE HB2
- PROPOSED TARMAC PUMP TRACK
- PROPOSED SINGLE SIZED STONE
- PROPOSED CONCRETE SLAB
- PROPOSED HEDGE
- PROPOSED SECURITY FENCE



| REV                               | DATE        | DESCRIPTION | BY       | CHK       | APP      |
|-----------------------------------|-------------|-------------|----------|-----------|----------|
| P01                               | 20.05.2024  | FIRST ISSUE | KB       | BT        | BT       |
| DRAWING STATUS:                   |             |             |          |           |          |
| PRELIMINARY                       |             |             |          |           |          |
| CLIENT:                           |             |             |          |           |          |
| TOWYN MARINE PROPERTIES LTD       |             |             |          |           |          |
| ARCHITECT:                        |             |             |          |           |          |
| IWAN JONES ARCHITECTURAL SERVICES |             |             |          |           |          |
| PROJECT:                          |             |             |          |           |          |
| LAND AT FFORD-Y-FELIN, BRYNCRUG   |             |             |          |           |          |
| TITLE:                            |             |             |          |           |          |
| PROPOSED PUMP STATION SECTION     |             |             |          |           |          |
| STATUS:                           | PROJECT No: | REV:        |          |           |          |
| S2                                | 360         | 006         |          |           | P01      |
| SCALE @ A1:                       | DESIGNED:   | DRAWN:      | CHECKED: | APPROVED: | DATE:    |
| STATED                            | BT          | KB          | BT       | BT        | MAY 2024 |

**MÔN CIVILS**  
LIMITED

**Eryri National Park Authority –  
Planning & Access Committee**

**Date:** 09/09/2026

**Application Number:** NP5/73/L184B

**Date Application Registered:** 22/04/2026

**Community:** Maentwrog

**Grid Reference:** 268686 341042

**Case Officer:** Mr. Aled Lloyd

**Location:**

Gelli Dywyll, Cwm Cynfal, Llan Ffestiniog.  
LL41 4RA

**Applicant:**

Mr. & Mrs. Kevin Carby,  
Gelli Dywyll, Cwm Cynfal, Llan Ffestiniog.  
LL41 4RA

**Description:**

Demolition of existing dwelling and lean-to  
and the erection of a new replacement 2  
storey dwelling and installation of septic  
tank (Re-submission)

**Summary of the Recommendation:**

To **REFUSE** permission for the following reasons;

Lack of Justification for the demolition of a locally listed historic building  
Design and massing of the replacement dwelling  
Lack of details to inform a Habitat Regulations Assessment

**Reason(s) Application Reported to Committee:**

Called in at the request of a Member of the Authority

**Land Designations / Constraints:**

Open countryside  
Locally Listed Building  
Dark Skies

**Habitats Regulations Assessment (HRA):**

As the 'Competent Authority' for the purposes of the Conservation of Habitats  
and Species Regulations 2017 this Authority is required to undertake a Habitats  
Regulations Assessment.

To inform the HRA process, further details in the form of a compensatory roost is required for the loss of the current roosts.

## Site and Surroundings

Fferm Gelli Dywyll is located in a remote rural area above the Afon Dwryd valley. Former dwelling located near modern agricultural buildings, with views of the Vale of Ffestiniog.

Gelli Dywyll is recognised by this Authority as a locally listed building since c.1994. Buildings designated as 'locally listed', whilst not achieving the status of a listed building, are historic buildings that retain their original historic form and external features on all major elevations and/or have been sympathetically altered.

## Proposed Development

The proposal is for the demolition of an established dwelling and lean to and the erection of new 2 storey dwelling.

## Planning History

|              |                                                                                                                                                                                 |                                |
|--------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------|
| NP5/73/L184A | Demolition of established dwelling and lean to and the erection of a new 2 storey dwelling and installation of septic tank                                                      | Refused 21/01/2026             |
| NP5/73/LU184 | Certificate of Lawfulness for use of the building as a dwellinghouse.<br><br>The Certificate of Lawfulness did not include the brick lean-to extension attached to the building | Certificate Granted 06/03/2007 |

## Documents

The following documents were submitted as part of the application and are available on the Authority's Website during consideration of the application

- Bat Survey Report
- Green Infrastructure Statement
- Structural Survey and Condition Report

## Planning Legislation and Policy

### Eryri Local Development Plan 2016-2031

| <b>Policy No</b>     | <b>Policy</b>                    |
|----------------------|----------------------------------|
| Development Policy 1 | General Development Principles   |
| Development Policy 2 | Development and the Landscape    |
| Development Policy 6 | Sustainable Design and Materials |

|                       |                                                                      |
|-----------------------|----------------------------------------------------------------------|
| Development Policy 7  | Listed and Traditional Buildings                                     |
| Development Policy 16 | Replacement of Existing Dwellings                                    |
| Development Policy 18 | The Welsh Language and the Social and Cultural Fabric of Communities |
| Strategic Policy A    | National Park Purposes and Sustainable Development                   |
| Strategic Policy C    | Spatial Development Strategy                                         |
| Strategic Policy D    | Natural Environment                                                  |
| Strategic Policy Ff   | Historic Environment                                                 |
| Strategic Policy G    | Housing                                                              |
| Strategic Policy H    | A Sustainable Rural Economy                                          |

### Supplementary Planning Guidance

- SPG 1: Sustainable Design in the National Parks of Wales
- SPG 2: General Development Considerations
- SPG 6: Nature Conservation & Biodiversity
- SPG 14: Obtrusive Lighting

### National Policy

- Future Wales (FW): The National Plan 2040
- Planning Policy Wales (Edition 12) 2024

### Technical Advice Notes

|                           |                                  |
|---------------------------|----------------------------------|
| Technical Advice Note 5:  | Nature Conservation and Planning |
| Technical Advice Note 12: | Design                           |
| Technical Advice Note 24: | The Historic Environment         |

### Consultees and Responses

|                             |                                                                                                                                                                                                                                                                                                                                                                                                                |
|-----------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Maentwrog Community Council | No response                                                                                                                                                                                                                                                                                                                                                                                                    |
| Natural Resources Wales     | <p>We have concerns with the application as submitted. However, we are satisfied that these concerns can be overcome if the document identified below is included in the approved plans and documents condition on the decision notice:</p> <p>Cambrian Ecology (25/06/2025(v2) Bat Survey Report</p> <p>Please note, without the inclusion of this document we would object to this planning application.</p> |

|                    |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |
|--------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Heneb              | <p>Comments – Gelli Dywyll has been entered on the Historic Environment Record as part of a high-level thematic register of historic farmsteads, intended to inform future rural land management. It is on the First Edition Ordnance Survey map published in 1889, illustrating the building that is subject to this application in its current arrangement. The building appears to be mostly unaltered, retaining its original fabric and character as a farmhouse with detached outbuildings that is typical of 19<sup>th</sup> century farmsteads for this region. The proposed demolition will inevitably be a loss to the historic landscape and to the historic environment.</p> <p>The building proposed for demolition may be an 18th-century cottage and could retain original internal features, such as a croglift.</p> <p>Traditional structures of this nature are increasingly rare and are considered to be of significant historical and archaeological importance; as such, they warrant preservation. At present, neither the regional Historic Environment Record (HER) nor the national database contains any information relating to this building or the wider farmstead. In light of this, it is advised that, prior to determination of this application, that a level 2/3 historic building record is undertaken to ensure that the structure is adequately documented and to inform any decisions regarding this case.</p> |
| Adfer Conservation | <p>Whilst not listed, Gelli Dywyll is likely to date from the late C18, and despite its current condition, is of historic value. The total demolition of this building should be resisted as its loss would damage the historic environment.</p> <p>I acknowledge that partial demolition and rebuilding may be necessary to ensure its future, I cannot support demolishing it and replacing it with a wholly inappropriate new building, of considerable size, which bears no resemblance to the building it proposes to replace.</p> <p>The existing building should be repaired following accepted conservation principles. The building does not need to resist passage of moisture, only to manage it properly. The use of a limecrete floor, with glass foam aggregate, with original slabs on top, would greatly improve the u values.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |

|  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
|--|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|  | <p>New double glazed sash windows, or timber casements would greatly improve the thermal performance of the building. Internally, the building should be lime plastered to ensure that the building manages moisture properly. A pre 1919 building, of traditional construction and not be expected to behave in the same way as a new build. Exemptions can be supported if the applicant has demonstrated that everything reasonable has been done to improve energy efficiency as referenced in Approved Document L.</p> <p>I acknowledge that partial demolition and rebuilding may be necessary to ensure its future, I cannot support demolishing it and replacing it with a wholly inappropriate new building, of considerable size, which bears no resemblance to the building it proposes to replace. An independent structural condition report, with detailed costings is suggested as a starting point.</p> <p>Notwithstanding the above, The proposed design of the new dwelling is not appropriate. The scale and massing is too big, the fenestration pattern on both the principal elevation and rear elevation looks awkward and is a result of the overlarge floorplan.</p> <p>The principal elevation has the appearance of a terrace. The building needs to be reduced in size, and designed similar to what is existing, with similar sized openings. The design should include traditional design elements such as chimney(s). If we were to allow the demolition of this building then a detailed building record needs to be produced equivalent to a Level 2 record as defined by Historic England's Best Practice Guidance: <i>Understanding Historic Buildings: a guide to good recording practice</i>.</p> <p>A modest, subservient extension to the existing building should be the course taken. The existing historical building is not beyond repair, and should be repaired following accepted conservation principles, using traditional materials. I cannot support the demolition and replacement of the existing building without substantive justification, coupled with an appropriate design.</p> |
|--|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

|                                     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |
|-------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| National Park – Ecology             | <p>We are in receipt of ecological report 'Fferm Gelli Dywyll, Cwm Cynfal, Proposed Building Demolition, Bat Survey Report, 25th July 2025 (v2)' by Cambrian Ecology Ltd, for which we have the following comments.</p> <p>The report confirms the presence of several species of roosting bat, therefore a licence from NRW/CNC will be required in order to proceed with the proposed works. The presence of nesting birds was also discovered during the course of the works, so a timing restriction to avoid nesting season will also be required.</p> <p>Mitigation for the site is listed within section 8 of the report, this must be followed and implemented in full as per the ecological report, please ensure this is secured by condition.</p> <p>A compensatory roost is required for the loss of the current roosts, this must be shown on a site plan indicating its location as well as on elevation drawings clearly illustrating its design, internally and externally including dimensions/specifications as per the ecological report. This will also be required in order to inform the HRA process.</p> <p>Enhancement to the site is listed in section 9 of the report in the form of native planting on site in order to improve connectivity, this will need to be shown on a site plan indicating location and specifications as per the ecological report.</p> <p>Due to the presence of Protected Sites, a HRA will be required for this application.</p> |
| North Wales Fire and Rescue Service | The Fire Authority does not have any observations regarding access for appliances and water supplies.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |

### Responses to Publicity:

The application has been publicised by way of a site notice and neighbour notification letter to two nearby residential dwellings.

At the time of writing this report no observations have been received.

## 1.0 Principle of Development

- 1.1 It is appropriate to consider the proposal against Strategic Policy A, C, F and Development Policies 1, 6, and 16.

- 1.2 The proposal would require the demolition of a dwelling of significant local historical interest and replace with a modern 2 storey dwelling.
- 1.3 LDP Strategic Policy Ff (Historic Environment) and Development Policy 16 – Replacement Dwelling are the most relevant ones to be used in determining the principle of this development. In line with these policies the demolition and subsequent replacement of a ‘traditional dwelling’ which can be repaired, extended or improved in an appropriate manner will not normally be permitted; neither would any development that would adversely affect any heritage assets (which would include traditional buildings) in any way. The principle of the development is therefore not acceptable.
- 1.4 Each application is considered on its own merits and in this case officers consider that there are material planning considerations to refuse planning permission.
- 1.5 The full assessment of the policies will be detailed in this report.

## **2.0 Assessment**

- 2.1 Gelli Dywyll is likely to date from the late C18 And, despite its current condition, is of historic value and local interest. The building is of traditional vernacular character and is within the open countryside.
- 2.2 Gelli Dywyll is a locally listed building (similar to traditional buildings), and whilst these buildings do not have any formal recognition or statutory protection, they are acknowledged by the local authority as buildings of special local interest. Inclusion on the traditional list allows the Authority to manage change through the planning system so that local historic assets continue to contribute to the character of the area
- 2.3 A similar application for Demolition of established dwelling and lean to and the erection of a new 2 storey dwelling and installation of septic tank, was refused by notice dated 21/02/2026 for the following reasons:
  1. *The applicant has failed to provide substantive justification for the demolition and subsequent replacement of a traditional building. The proposal is therefore contrary to Strategic Policy Ff of the adopted Eryri Local Development Plan which seeks to protect heritage assets, which includes traditional buildings, and Development Policy 16 which states the demolition and subsequent replacement of a traditional building which can be repaired, extended or improved in an appropriate manner will not normally be permitted.*
  2. *The proposed two-storey dwelling, because of its design and massing, would not be compatible with the capacity and character of the site and locality within which it is located. As such, the proposal conflicts with Development Policy 1 and 6 of the adopted Eryri Local Development Plan.*

- 2.4 Strategic policy A states that policies in the ELDP seek to ensure that new development promotes the principles of sustainable development in ways which further the National Park's purposes whilst conserving and enhancing its special qualities. Considerations which should be considered are listed, and there are several strategic and other policies in the ELDP which reflect these statutory and policy requirements. In particular criteria v states "Respecting and enhancing the historic environment."
- 2.5 The policy context of Development Policy 7, states at paragraph 4.20, *"The character of Snowdonia owes much to its Listed Buildings and to the rich tradition of construction styles and variety of materials which reflect and characterise the local architectural vernacular. Whilst not achieving the 'special' status of Listed Buildings these traditional buildings still require protection from inappropriate change."*
- 2.6 At paragraph 4.21 states *"Where planning consent is required for an alteration to a building that in the opinion of the Authority displays features which reflect the local architectural tradition or building style of the area, the Authority will ensure that the scale, design, and proposed construction materials and methods used for the work are in keeping with the character of the original building. Any proposal which is of a scale, design, or relies upon materials that are considered inappropriate will not be permitted."*
- 2.7 The National Park Authority has compiled a list and photographic record of buildings which, whilst not meriting the qualities of a Listed Building, are still considered to be of significance because they contribute to the local architectural character and traditions of the area. This list is not definitive, and additional properties are added to it periodically. For the purposes of the policy, they are termed as traditional buildings because of their significance and contribution to local vernacular.
- 2.8 Officers fully concur with the comments made by the external conservation consultant, on the significance of the existing building in whilst not listed, Gelli Dywyll is likely to date from the late C18, and despite its current condition, is of historic value. The total demolition of this building should be resisted as its loss would damage the historic environment.
- 2.9 Officers acknowledge that partial demolition and rebuilding may be necessary to ensure its future, however demolishing it and replacing it with a wholly inappropriate new building, of considerable size, which bears no resemblance to the character and appearance of the historic building it proposes to replace is clearly contrary to established policy.
- 2.10 Development Policy 7, states - *An independent structural survey will be required where there is any doubt over the structural stability of the building or it is considered that the proposed works would result in major or substantial reconstruction.*

- 2.11 Although a Structural Survey and Condition Report has been submitted by the agent acting on behalf of the applicant, in this context the report is not considered to be independent and therefore cannot be considered to meet the requirements of the policy.
- 2.12 Development Policy 16 states *“the demolition and subsequent replacement of a ‘traditional dwelling’ which can be repaired, extended or improved in an appropriate manner will not normally be permitted”*.
- 2.13 The Authority is not aware of any attempts having been made to repair the existing building, and its condition has been allowed to deteriorate. There has also not been any substantive justification submitted that the existing dwelling could not be repaired, extended or improved to justify its demolition.
- 2.14 Within the context of the location of the site, the proposed development would result in a dominant structure that would visually upset the existing proportional relationship between the built and natural environments. Moreover, it would not be representative of how, historically, rural buildings and farmsteads such as Gelli Dywyll developed.
- 2.15 The proposed dwelling would have a floor area of approximately 262m<sup>2</sup> compared to the existing building which has a floor area of approximately 98m<sup>2</sup>. Development Policy 16 states, “The replacement of an existing but substandard or poorly designed dwelling outside the main built-up area of a settlement where the new dwelling is of an improved design, complements the landscape setting of the locality and its footprint is no more than 50% greater than that of the original.”
- 2.16 Its size is alien and out of character with the farmstead setting and rural area. The dwelling would, if approved, be dominant and detrimental to the landscape of the area. The proposed development would therefore be contrary to Development Policies 1 and 16.
- 2.17 The proposed dwelling would appear incongruous and jarring within the landscape that is visible from the public vantage points. In doing so, it would detract from the area's relative tranquillity and undermine the expectation of a largely undeveloped landscape.
- 2.18 Even if long views of the proposed dwelling would be limited due to the existing agricultural building to the front, the proposal would be unacceptable in design would have a visually harmful effect on the immediate surrounding area and therefore fail to conserve the remote rural character of the landscape.
- 2.19 Ecology
- The application includes a Bat Survey Report, which states at paragraph 8.1.1 that a new compensatory night roost will be created. Although the report details the location of the compensatory night roost, no details in the form of a

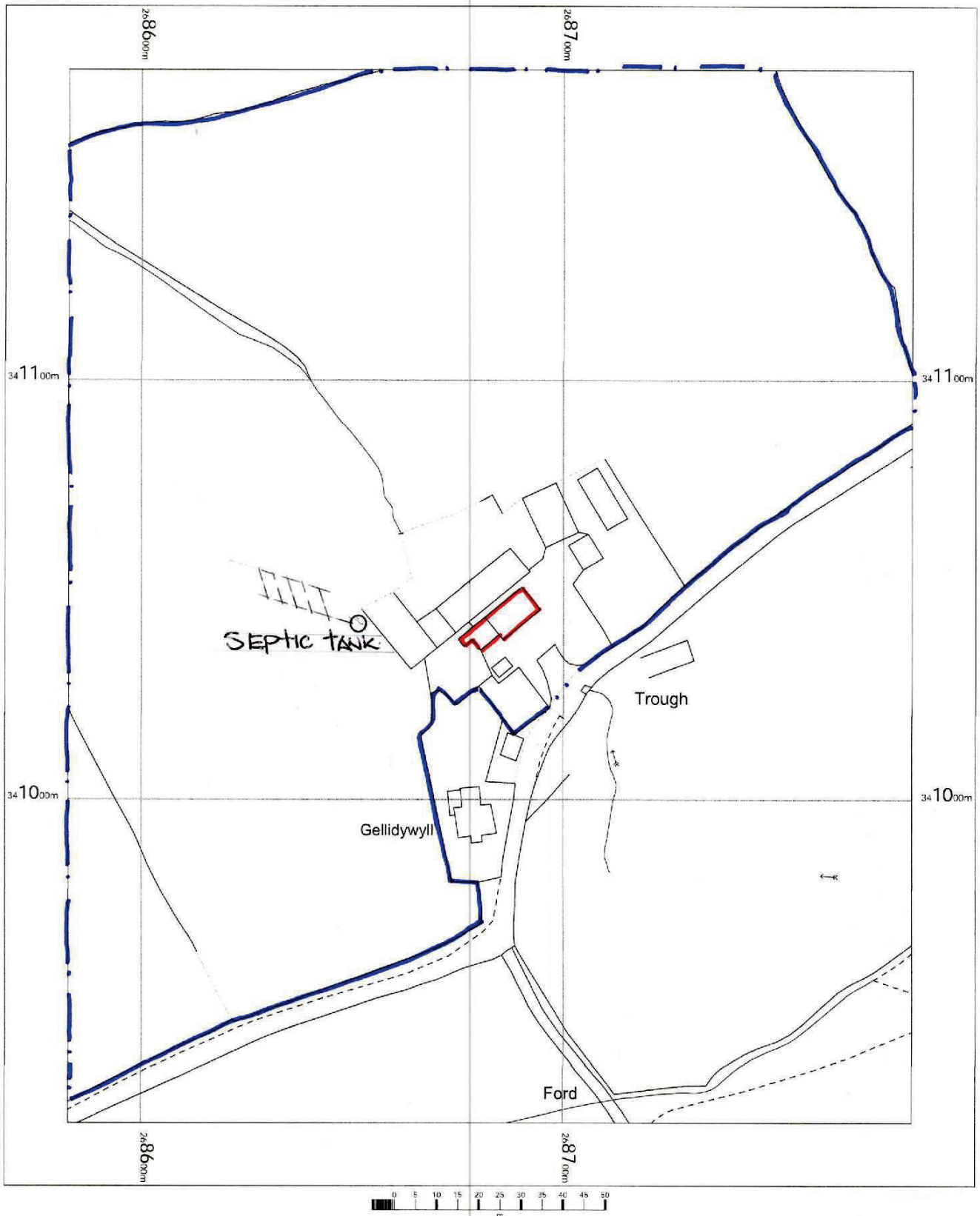
site plan indicating its location, or elevation drawings clearly illustrating its design, internally and externally including dimensions/specifications as per the ecological report, have been submitted. Without this detail, the Authority is unable to carry out an assessment under the Habitat Regulations. Consequently, it has not been possible for the Authority to determine whether 'likely significant effects' on the Meirionnydd Oakwoods and Bat Sites SAC could or could not be ruled out alone or in combination. As a result, the application conflicts with Strategic Policy D of the adopted Eryri Local Development Plan.

### **3.0 Conclusion**

- 3.1 To conclude the demolition of the existing building and its replacement by the new building currently proposed would be harmful both to the character and the appearance of the area and due to lack of information, the Authority is unable to assess the application under the Habitats Regulations.
- 3.2 The proposed design fails to demonstrate a landscape-led approach. As a consequence, it would lead to a largely unsympathetic development which would cause harm to the character and appearance of the area and, in regard to dark skies, relative tranquillity and landscape character, causing harm to the experiential qualities of the Eryri National Park.
- 3.3 The proposal conflicts with Strategic Policy Ff of the Eryri Local Development Plan, which states that development will not be permitted that will adversely affect heritage assets, including conservation areas, listed buildings and traditional buildings, and Development Policy 16 which would not support the demolition and subsequent replacement of a traditional dwelling without strong supporting evidence.
- 3.4 The development proposal relates to the demolition of a local building entered on the Historic Environment Register as part of a high-level thematic register of historic farmsteads. Its demolition is clearly contrary to DP7. After assessing the relevant material conditions of the proposed development and noting that the development conflicts with the policies identified above, it is considered that the application be refused.
- 3.5 The decision to refuse planning permission has been taken in accordance with Section 38 of The Planning and Compulsory Purchase Act 2004, which requires that, in determining a planning permission the development must be in accordance with the Development Plan unless material considerations indicate otherwise. The Development Plan for the area comprises Future Wales 2040 and the adopted Eryri Local Development Plan 2016-2031.
- 3.6 It is considered that the decision complies with the Authority's well-being objectives and the sustainable development principle in accordance with the requirements of the Well-being of Future Generations (Wales) Act 2015.

**RECOMMENDATION: TO REFUSE Permission, for the following reasons;**

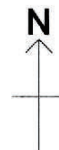
- 1. The proposal would result in the loss of a building of local historic value. The application has failed to provide substantive justification for the demolition and subsequent replacement of a traditional building. The proposal is therefore contrary to Strategic Policy Ff of the adopted Eryri Local Development Plan which seeks to protect heritage assets, which includes traditional buildings, and Development Policy 16 which states the demolition and subsequent replacement of a traditional building which can be repaired, extended or improved in an appropriate manner will not normally be permitted.**
- 2. The proposed two storey dwelling, because of its design and massing, would not be compatible with the capacity and character of the site and locality within the open countryside. As, such, the proposal conflicts with Development Policy 1 and 6 of the adopted Eryri Local Development Plan by introducing a large, incongruous and jarring feature within the landscape, harmful to both the character and the appearance of the area.**
- 3. No details of the compensatory roost have been submitted to enable the Authority to carry out an assessment under the Habitat Regulations. In the absence of this information, it cannot be concluded that the proposal would not have a significant effect on the Meirionnydd Oakwoods and Bat Sites SAC, either alone or in combination. As, such, the proposal conflicts with Strategic Policy D of the adopted Eryri Local Development Plan.**

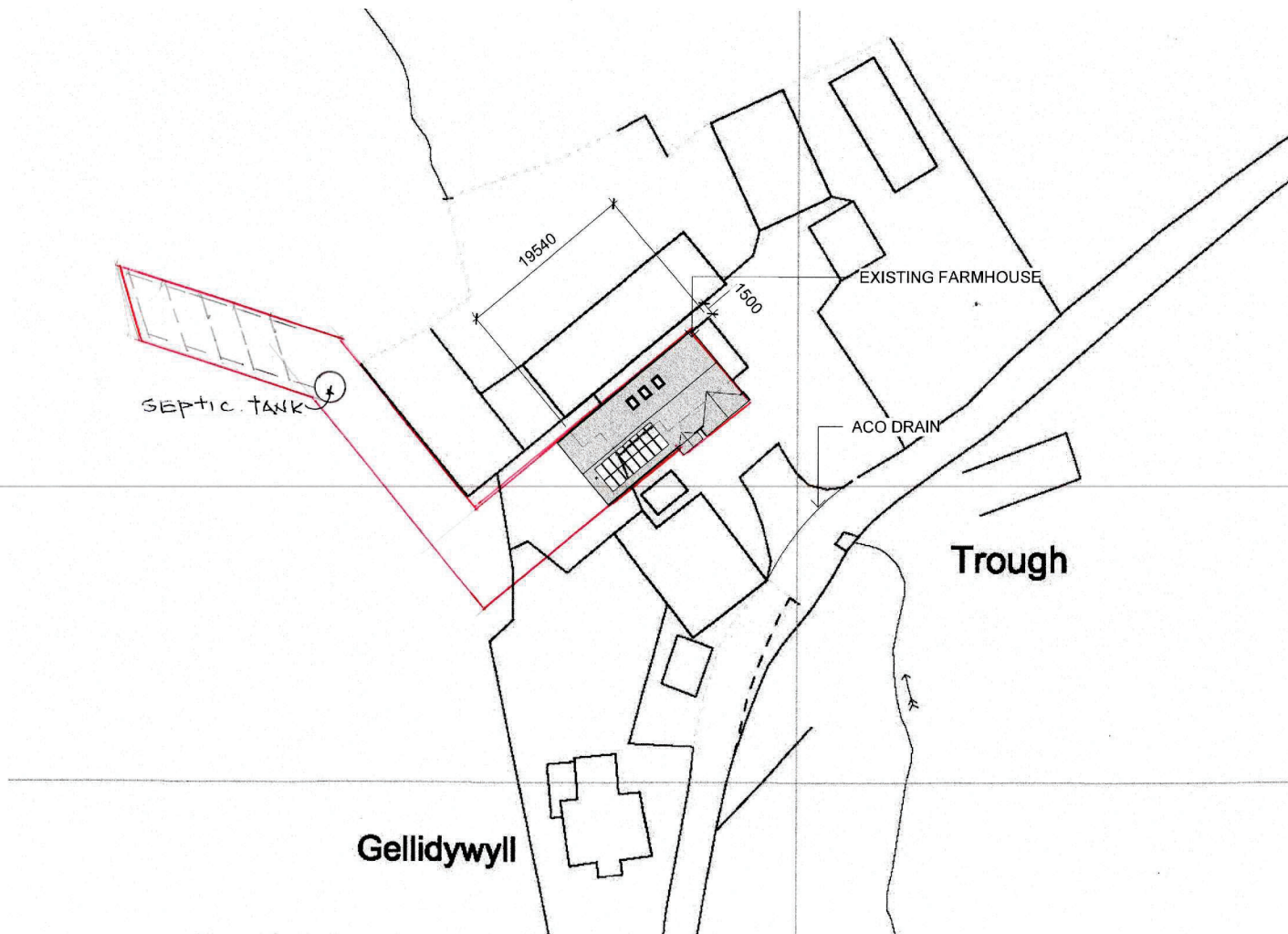


OS MasterMap 1250/2500/10000 scale  
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## PROPOSED SITE PLAN

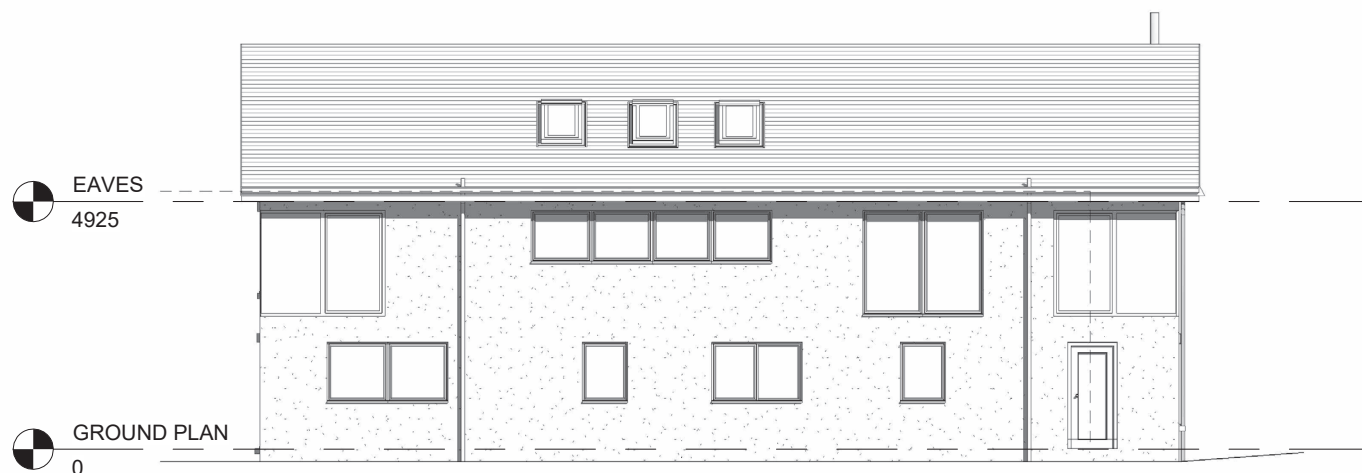
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| AMENDMENTS                                                                                                                                                                                                                          |                                                |        |
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| <b>JOB</b><br><br>DEMOLITION OF EXISTING<br>FARMHOUSE AND RE<br>BUILDING NEW DWELLING                                                                                                                                               |                                                |        |
| <b>TITLE</b><br><br>GELLIDYWYLL<br>FFESTINIOG                                                                                                                                                                                       |                                                |        |
| <b>REF</b><br><br>C.3/23                                                                                                                                                                                                            | <b>DRAWING</b><br><br>01 PROPOSED<br>SITE PLAN |        |
| <b>SCALE @A3</b> 1 : 500                                                                                                                                                                                                            |                                                |        |
| <b>DRAWN</b> GLA                                                                                                                                                                                                                    | <b>DATE</b>                                    | NOV 24 |
| <b>GERAINT LEWIS</b><br><b>ASSOCIATES</b><br><br>ARCHITECTURAL DESIGNERS,<br>PLANNING CONSULTANTS<br>BUILDING SURVEYORS & PROJECT MANAGERS<br><br>BRYN RHEDYN, LLANELLYD<br>DOLGELLAU, GWYNEDD, LL40 2SU<br>TELEPHONE: 01341 422370 |                                                |        |



## PROPOSED FRONT ELEVATION

1 : 100



## PROPOSED REAR ELEVATION

1 : 100

| AMENDMENTS                                                                                |                           |        |
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| JOB                                                                                       |                           |        |
| DEMOLITION OF EXISTING<br>FARMHOUSE AND RE<br>BUILDING NEW DWELLING                       |                           |        |
| TITLE                                                                                     |                           |        |
| GELLIDYWYLL<br>FFESTINIOG                                                                 |                           |        |
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| SCALE @A3 1 : 100                                                                         |                           |        |
| DRAWN GLA                                                                                 | DATE                      | NOV 24 |
| GERAINT LEWIS<br>ASSOCIATES                                                               |                           |        |
| ARCHITECTURAL DESIGNERS,<br>PLANNING CONSULTANTS<br>BUILDING SURVEYORS & PROJECT MANAGERS |                           |        |
| BRYN RHEDYN, LLANELLYD<br>DOLGELLAU, GWYNEDD, LL40 2SU<br>TELEPHONE: 01341 422370         |                           |        |



## PROPOSED SIDE ELEVATION

1 : 100



## PROPOSED SIDE ELEVATION

1 : 100

### AMENDMENTS NO

Date By

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### JOB

DEMOLITION OF EXISTING  
FARMHOUSE AND RE  
BUILDING NEW DWELLING

### TITLE

GELLIDYWYLL  
FFESTINIOG

### REF

C.3/23

### DRAWING

04 PROPOSED  
ELEVATIONS

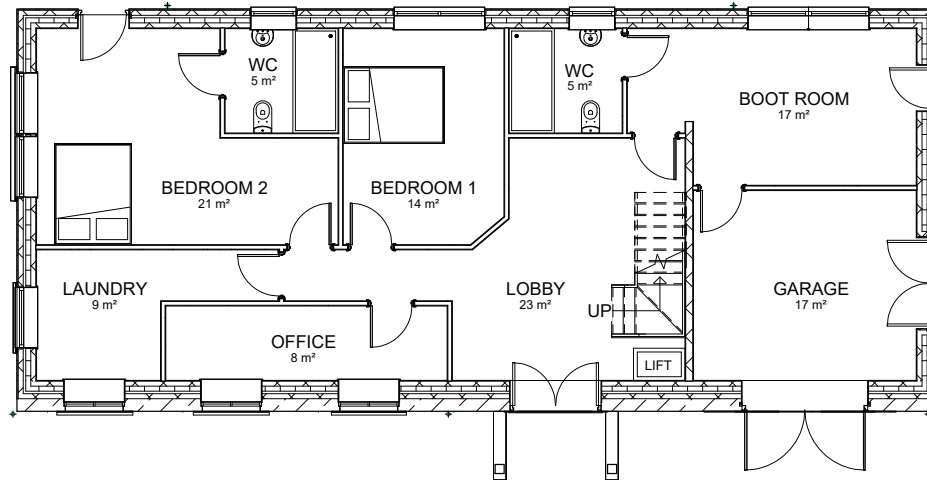
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**GERAINT LEWIS**  
ASSOCIATES

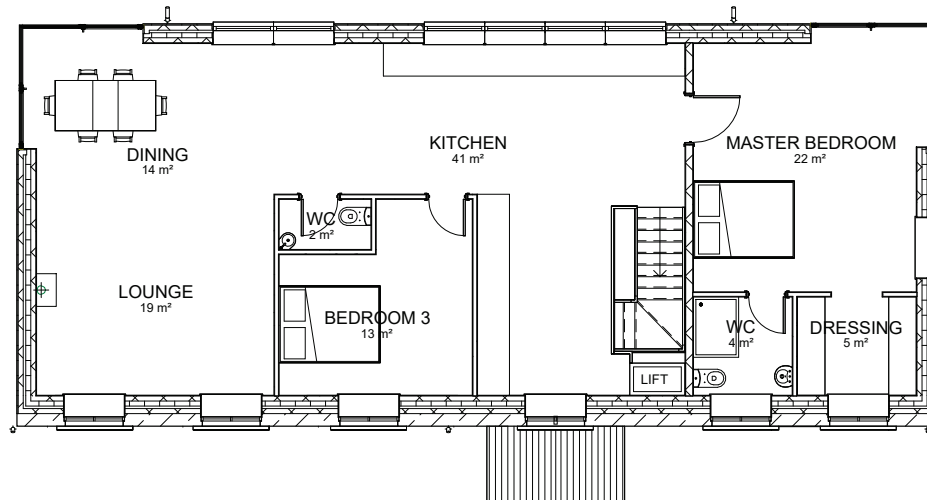
ARCHITECTURAL DESIGNERS,  
PLANNING CONSULTANTS  
BUILDING SURVEYORS & PROJECT MANAGERS

BRYN RHEDYN, LLANELLYD  
DOLGELLAU, GWYNEDD, LL40 2SU  
TELEPHONE: 01341 422370



## PROPOSED GROUND PLAN

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## FIRST PLAN

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| AMENDMENTS                                                                                                                                                                                                                    |  | Date                                                  | By |
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| <div>JOB</div> <div>DEMOLITION OF EXISTING FARMHOUSE AND RE BUILDING NEW DWELLING</div>                                                                                                                                       |  |                                                       |    |
| <div>TITLE</div> <div>GELLIDYWYLL FFESTINIOG</div>                                                                                                                                                                            |  |                                                       |    |
| <div>REF</div> <div>C.3/23</div>                                                                                                                                                                                              |  | <div>DRAWING</div> <div>02 PROPOSED FLOOR PLANS</div> |    |
| <div>SCALE @A3</div>                                                                                                                                                                                                          |  | <div>1 : 100</div>                                    |    |
| <div>DRAWN GLA</div>                                                                                                                                                                                                          |  | <div>DATE NOV 24</div>                                |    |
| <div>GERAINT LEWIS ASSOCIATES</div> <div>ARCHITECTURAL DESIGNERS, PLANNING CONSULTANTS BUILDING SURVEYORS &amp; PROJECT MANAGERS</div> <div>BRYN RHEDYN, LLANELLYD DOLGELLAU, GWYNEDD, LL40 2SU TELEPHONE: 01341 422370</div> |  |                                                       |    |

|                  |                                                                                                |
|------------------|------------------------------------------------------------------------------------------------|
| <b>MEETING</b>   | Planning and Access Committee                                                                  |
| <b>DATE</b>      | 9 <sup>th</sup> September 2026                                                                 |
| <b>TITLE</b>     | <b>DEVELOPMENT MANAGEMENT<br/>PERFORMANCE REPORT –2025/2026</b>                                |
| <b>REPORT BY</b> | Iona Roberts – Head of Development Management and Compliance                                   |
| <b>PURPOSE</b>   | To update Members in respect to DM Performance against Welsh Government Indicators and Targets |

## REPORT SUMMARY

The purpose of this report is to update Members on the performance of the Development Management service with regard to determining planning applications. The report outlines performance against government targets in terms of the speed of processing all applications.

This report provides an overview of for the year 2025/2026 and Quarter 1 of 2026/2027.

## RECOMMENDATION

To note the contents of the report in relation to performance and capacity, and provide any observations and comments on this.

### 1.0 Background Information

1.1 The statutory time limits for planning applications are set out set out in The Town and Country Planning (Development Management Procedure) (Wales) Order 2012. These time limits are as follows:

- a) Planning and other applications should be determined in 8 weeks. Other applications include advertisements, conservation area consent, listed building consent and householder.
- b) Applications subject to an Environmental Impact Assessment (EIA) should be determined within 16 weeks.

### 2.0 Case Figures

2.1 385 applications were registered during the 2025/2026 period. 391 applications were determined during the same period.

- 2.2 During Q1 of 2026/2027, 71 applications were registered and 56 applications have been determined.

### **3.0 Current Resource Situation**

- 3.1 There have been some changes to the team and structure over the last 12 months. Within the Development Management team the current structure includes three Principal Planning Officers, one Planning Officer (part time) and a Planning Officer (Graduate Trainee). I am pleased to confirm that the team is now at full capacity with regards to MD Officers as of February 2026, following a difficult 2 years where the team was 50% down on the usual staffing capacity for a long period of time due to long term sickness leave and an unfilled vacant post which undoubtedly had an impact on performance during that time. It is important to acknowledge that the 3 Compliance Officers were of great assistance to DM Officers during that time in taking on some of the caseload, however it is acknowledged that this did impact on their ability to progress their own cases.
- 3.4 The current team structure shows that Officers are supported by three Planning Technicians and one part time Administrative Assistant who is shared with the Planning Policy team. However, two posts (part time Planning Technician, and Administrative Assistant) became vacant in June and July 2026. In the meantime, the other two Planning Technicians have had to absorb the additional workload. At the time of writing interviews have taken place for the Planning Technician and confirmation is awaited regarding the successful candidate. Further interviews for the Administrative Assistant post are also scheduled for August 2026.
- 3.5 The Historic Environment Planning Officer post remains vacant, with Development Management Officers continuing to take on some applications for Listed Building Consent in addition to their workloads. The Built Conservation Planning Officer (Graduate Trainee), with continued assistance and mentoring from an external consultant, is able to provide advice to Planning Officers and process their own caseload of Listed Building Consent applications. This arrangement is working well and will be reviewed once the Graduate Trainee finishes their masters degree at the end of the year, and a longer-term plan to fill the vacant Historic Environment Planning Officer post is currently under consideration.
- 3.6 Members will see that departmental capacity has been a significant issue in the recent past, and still remains amongst the Planning Technicians, and we have only seen the benefit of having a full team of officers in the last 6 months. It is considered important that Members be briefed on this in the context of this report.

### **4. Welsh Government Performance Indicators**

- 4.1 Speed, together with quality, are the major components of the Welsh Government's measure of development management performance. The 8 week determination period remains important. However, in retaining this target it is important to note that a local planning authority will be deemed to have determined a planning application "on time", if the decision is issued in

accordance with the time period set out in a Planning Performance Agreement, or an agreed extension of determination period.

- 4.2 Currently the Welsh Government target is to determine 80% of all applications within 8 weeks or within the extended period agreed with the applicant. The exception to this is applications subject to an EIA.
- 4.3 The following table represents the data that the Welsh Government collects and publishes as part of their Development Management Quarterly Surveys and shows both the number and percentage of applications determined “on time” and within 8 weeks for Eryri.

|                      | Planning applications determined within statutory and agreed timescale |                               |                               | Planning applications determined within 8 weeks (16 weeks for EIA applications) |                                   |                                      |
|----------------------|------------------------------------------------------------------------|-------------------------------|-------------------------------|---------------------------------------------------------------------------------|-----------------------------------|--------------------------------------|
|                      | Number Determined On Time                                              | Number Not Determined On Time | Percentage Determined On Time | Number determined within 8 weeks                                                | Number determined outside 8 weeks | Percentage determined within 8 weeks |
| Q1<br>2025/2026      | 46                                                                     | 24                            | 66%                           | 23                                                                              | 47                                | 33%                                  |
| Q2<br>2025/2026      | 71                                                                     | 43                            | 62%                           | 42                                                                              | 72                                | 37%                                  |
| Q3<br>2025/2026      | 51                                                                     | 41                            | 55%                           | 29                                                                              | 63                                | 32%                                  |
| Q4<br>2025/2026      | 162                                                                    | 22                            | 88%                           | 115                                                                             | 74                                | 61%                                  |
| 2025/2026<br>(Total) | 330                                                                    | 130                           | 67.75%                        | 209                                                                             | 256                               | 40.75%                               |
| Q1<br>2026/2027      | 47                                                                     | 9                             | 84%                           | 22                                                                              | 34                                | 39%                                  |

(For reference, the Wales average for the year 2025/26 was 91.75% determined on time, and 51.5% determined within 8 weeks).

- 4.4 While the figures for 2025/26 as a whole are still below the 80% target rate and the average across Wales, it is very encouraging that the figures for Q4 show a great improvement for both the percentage of applications determined “on time”, which not only exceeds the target rate, but is also is close to the Wales average. The 8 week figures also exceed the Wales average. I believe that this can be explained by the addition of a new Officer during that time period and the DM officers now at full capacity after a long period of staff absences.

- 4.5 Looking at the figures for Q1 of 2026/27, whilst there has been a small decrease in the percentage of applications determined “on time” compared with Q4 of 2025/26, this still exceeds the Welsh Government’s target rate of 80%, and continues to be an improvement from the average from the previous year. It is disappointing that the 8 week figures have dropped in Q1 of 2026/27 from the figures for Q4 of 2025/26, however it remains consistent with the average for the previous year.
- 4.6 Whilst these figures show a picture of how the Authority is performing against the Welsh Government’s targets, it is important to note that that these figures do not reflect the true workload of officers, nor the challenges faced with resources within the team which can have a significant impact on performance. Over the last decade the amount of work that goes into processing and determining a planning application has increased for officers, whilst the 8 week target has remained the same. Whilst meeting this target where possible is important, it should not be in place of quality decisions.
- 4.7 Overall, considering the challenges that the team have faced and increased pressure in workload as a result, it is reassuring that there continues to be positive improvement, particularly in relation to application determined “on time”. It is yet to be determined however what longer term impact the staff absences during the 2025/26 period will have on the first quarter of the 2026/27 year – but as mentioned above, capacity is now been built back into the department and will hopefully have a positive impact on performance throughout the year.

## **5. Appeals**

- 5.1 Whilst the Welsh Government measures performance based on speed of determination of planning applications, performance in terms of assessing the ‘quality’ of decision making can be judged against recent appeal judgements.
- 5.2 A total of 8 appeals were determined within the 2025/26 period. 3 appeals were dismissed and 5 were allowed. Of those allowed these included:
1. Taltreuddyn Fawr in relation to variation of a condition attached to planning consent NP5/58/LB459A, dated 06/12/2023. The appeal was allowed and condition 3 varied from C3 use only to C3 and C5. The Inspector concluded the safeguarding of the listed building carried significant weight in the case and on balance and having regard to the particular circumstances, outweighs the local need arguments in favour of retention of the conditions. For those reasons the retention of the disputed condition was considered neither necessary or reasonable.
  2. Maes Lledfan, Rhoslefain in relation to the discharge of a planning obligation (s106 – the occupation of the dwelling be limited to persons employed or last employed in a regular trade, business or profession at a location within a thirty-mile radius of the dwelling). The inspector concluded that the obligation no longer served a useful purpose.

- 3 & 4. Llanfendigaid, Rhoslegain in relation to the removal of the same condition from both a listed building consent and planning permission which excluded an existing picket fence from the approval of a wider application for conversion to holiday units. The appeal was allowed for the removal of the condition as it was concluded that the disputed condition was not reasonable or necessary to preserve the special architectural and historic interest of the Grade II\* Listed Building and its setting.
5. Beddgelert Railway Station Building in relation to the construction of a new railway station building. The appeal was allowed having concluded that there would be no impact on the character and appearance of the area, no adverse effects on neighbouring residents, highway safety and the designated Dark Skye Reserve.

In addition 4 applications for an award of costs against the Authority were refused, and 1 allowed.

- 5.3 Whilst a 37.5% dismissal rate may not appear to be a favourable result for the Authority, it is important to note the nature of those appeals that were allowed. Four of the five appeals allowed related to the removal or variation of planning conditions or obligations, where the Inspectors concluded that the restrictions imposed no longer met the relevant tests of necessity, reasonableness or relevance having regard to the particular circumstances of the case. These decisions often involved finely balanced planning judgements, particularly in relation to listed buildings and long-standing occupancy restrictions. Importantly, the appeal outcomes demonstrate that, whilst Inspectors reached different conclusions in a number of cases, there is limited evidence to suggest a systemic issue with the quality of the Authority's decision-making. This is further supported by the fact that four of the five applications for costs were refused, demonstrating that the Authority was generally able to substantiate its position and had not acted unreasonably in defending its decisions. Therefore, the appeal statistics should be viewed in context and not solely as a measure of decision-making quality.

### **Areas for improvements**

- 6.1 Within the previous performance update report it was noted that the geographical areas that each Development Management Officer covers will be reviewed to ensure that the workload continues to be shared amongst the officers fairly and reduce any undue pressure on any individuals. Some changes were identified and the change in DM officer areas came into effect as of 1st June 2026. It is hoped that this will result in a fairer distribution of application numbers for everyone, and this will be reviewed each year.
- 6.2 Within the previous performance update report it was noted that a Local Validation List for Listed Building Consent applications had been adopted as of the 1st June 2025. The purpose of this was to increase the quality of the submissions and thus reduce officers time in chasing for additional information in order to assess and determine each application. Feedback provided by our Built Conservation Planning Officer (Graduate Trainee)

indicates that the introduction of the Local Validation List has been positive on the whole, providing relevant information at the outset, however it can cause some delay in validating applications where necessary information is lacking.

- 6.3 Discussions are actively being held to review improvements and additions to our back-office system to lessen the burden on the Planning Technicians in registering applications/enquiries.
- 6.4 A review of pre-application responses, and the contents contained within, has taken place in July 2026. The aim of the review was to ensure greater consistency in the level of detail provided across officers' responses and to create a strong, comprehensive foundation for each pre-application reply.
- 6.5 A review of pre-application fees for non-statutory enquiries and other services provided by the planning team is currently underway to reflect the work and officer time involved. A report will be brought before Members in due course.

## **7.0 Conclusion**

- 7.1 Looking at the 2025/26 period and Q1 of 2026/27, improvements have been made in respect to the figures used by the Welsh Government. We have exceeded the 80% target rate for the last two quarters and have shown a great improvement since the DM officers have been back to full capacity.
- 7.2 Overall the Development Management section should be encouraged with what has been accomplished during what has been a very challenging time over the last 12 months. It is hoped that now DM officers are back to full capacity, and once the vacant posts among the Planning Technicians and Administrative Assistant are filled, further improvements will be seen in our performance.

|                  |                                                                     |
|------------------|---------------------------------------------------------------------|
| <b>MEETING</b>   | Planning and Access Committee                                       |
| <b>DATE</b>      | 9 <sup>th</sup> September 2026                                      |
| <b>TITLE</b>     | <b>AN UPDATE ON COMPLIANCE CASELOAD AND PERFORMANCE</b>             |
| <b>REPORT BY</b> | Jane Jones – Principal Planning Officer (Compliance)                |
| <b>PURPOSE</b>   | To Update Members in respect to Compliance Caseload and Performance |

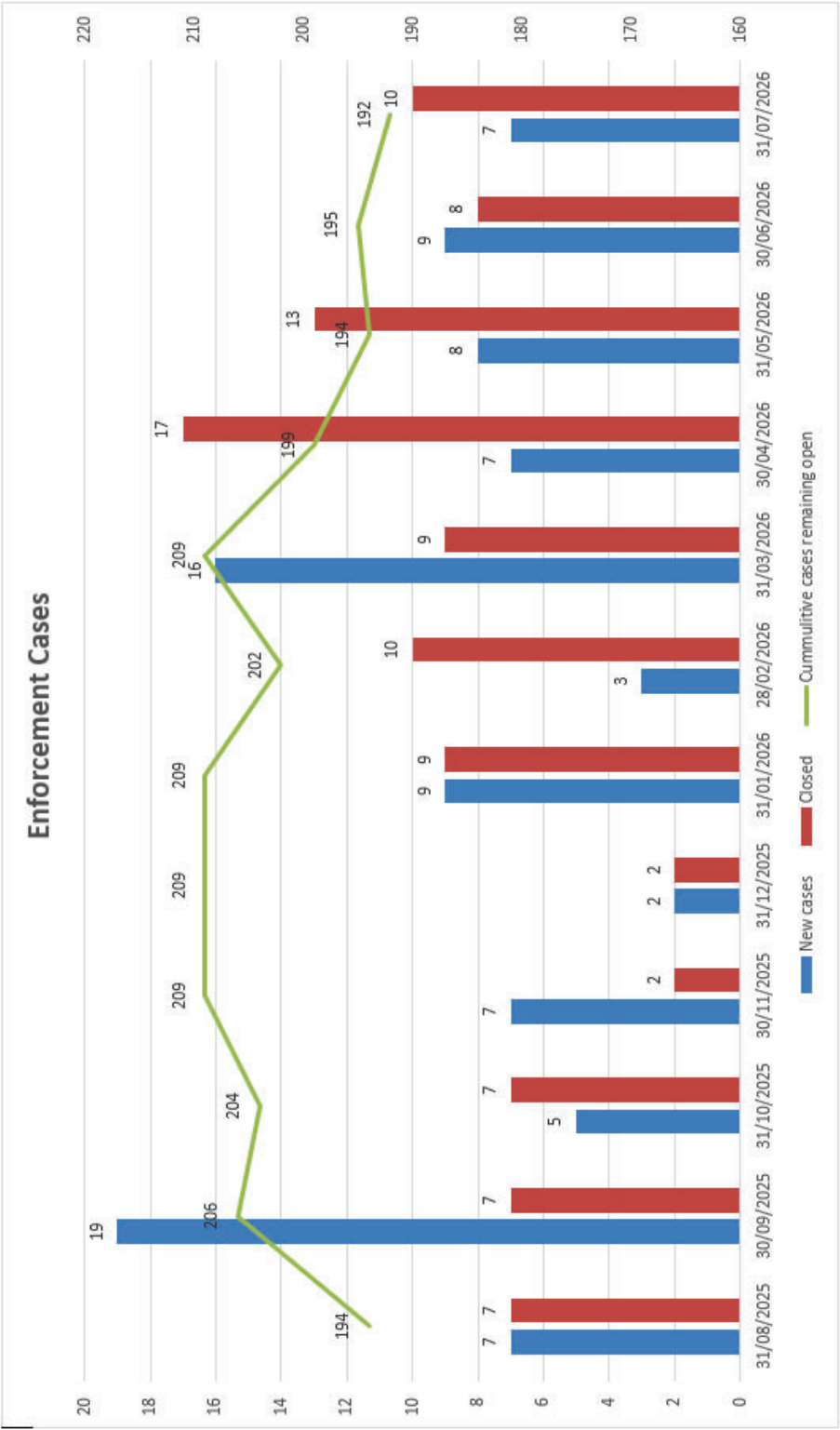
## **1.0 Background**

- 1.1 At a Working Group meeting held in June 2026, Members agreed to adopt a revised Compliance Caseload and Performance update report template, with the next full update to be reported to Members in September 2026.
- 1.2 This revised report will aim to brief Members on the current situation with the compliance function and will also provide an update in respect to longstanding, notable compliance cases.

## **2.0 Service Update**

- 2.1 Following on from the update report delivered in January 2026, the compliance team remain fully resourced.
- 2.2 During July, Consultants Prospero have handed any ongoing enforcement cases back to the team to progress, and their services are no longer being used.
- 2.3 With a full complement of Planning Officers from February 2026, the compliance team have been able to fully focus on compliance duties.

3.0 Compliance Caseload and Performance



3.1 The attached graph at 3.0 provides Members with monthly figures showing new cases (blue), closed cases (red) and the green line denoting the number of cases still open at the end of each month.

- 3.2 In relation to new cases, there is clearly an uplift during September 2025 and March 2026, with the remaining months holding steady with an average of 7 to 9 new cases been reported. The rise in new cases reported in September will inevitably have been triggered from the summer holiday period coming to an end. The number of new cases for March 2026 could be attributable to the warmer spring weather.
- 3.3 Closed cases have been consistent until April and May 2026 where closures increased and Officers closed a total of 30 cases. It is difficult to determine the reasoning for this other than Officers having an opportunity to review caseloads.
- 3.4 Towards the end of 2025, the outstanding number of cases remaining open rose to over 200. This amount remained static between November 2025 through to March 2026. Since then, the number of outstanding cases has started to slowly reduce in number. Ideally a manageable caseload for the team would be around the 130 range.

#### 4.0 Retrospective planning applications

|               | Received | Determined |
|---------------|----------|------------|
| January 2026  | 2        | 1          |
| February 2026 | 1        | 1          |
| March 2026    | 0        | 5          |
| April 2026    | 0        | 1          |
| May 2026      | 4        | 1          |
| June 2026     | 0        | 1          |
| July 2026     | 0        | 1          |

Outstanding Retrospective Applications as at the end of July 2026 = 7

- 4.1 From the table above, the submission of retrospective planning applications appears to have decreased in number.
- 4.2 There are two long standing retrospective planning applications for Dyfi Bike Park, Pantperthog (NP5/56/153D & NP5/56/153E).

Factors contributing to this delay, include a holding direction from Welsh Government Trunk Roads Agency which has only recently been lifted. There are other areas, such as Environmental Health and Ecology, where further information is still required.

## 5.0 Types of Breaches Reported

- 5.1 Between January to then end of July 2026, the following table shows the type of breach that is being reported –

|                                                                             |    |
|-----------------------------------------------------------------------------|----|
| Unauthorised operational development (building, engineering, mining, other) | 44 |
| Unauthorised works to a listed building                                     | 5  |
| Unauthorised display of an advertisement                                    | 2  |
| Untidy land or buildings                                                    | 3  |
| Not in accordance with the approved plans                                   | 1  |
| Breach of condition                                                         | 6  |

- 5.2 As expected mainly the built-up areas of the National Park have generated the most complaints during January to July; these been Aberdyfi, Beddgelert, Bro Machno, Dyffryn Ardudwy and Harlech.

## 6.0 Enforcement Notices/Other Formal Notices

- 6.1 Between January to the end of July 2026, we have served 2 Enforcement Notices and 2 Section 215 Notices (land adversely affecting the amenity of the area).
- 6.2 On the 20<sup>th</sup> of April, an Enforcement Notice was served on the Plas Coch Hotel, High Street, Bala in relation to the installation of new PVC-U windows. The Notice requires the removal of the unauthorised PVC-U windows and the installation of timber framed windows of an appearance and method of opening that restores the front elevation of the hotel to its condition before the breach took place. A compliance period of 12 months was provided with the Notice taking effect on the 25<sup>th</sup> of May, unless an appeal was made against it beforehand. I can report no appeal has been received and the Notice is due to be complied with by the 25 May 2027.

- 6.3 The second Enforcement Notice was served on the 8<sup>th</sup> of July, on land at Station Approach, Station Road, Betws y Coed. The breach of planning control relates to the removal of timber sash windows and their replacement with unauthorised PVC-U sash windows to the west, east and south facing elevations of the former railway station building. The Notice requires the removal of all 38 PVC-U windows and to install timber framed windows of an appearance and method of opening replicating those windows which were in situ before the breach took place. A compliance period of 12 months was provided, which was due to take effect from the 12<sup>th</sup> of August. I can confirm an appeal has been lodged.
- 6.4 The first Section 215 Notice to be served relates to land at Castell Coch, Dyffryn Ardudwy. This was served on the 18<sup>th</sup> of May, with the schedule requiring extensive repairs to the dwellinghouse and the overall improvement of the surrounding land by the removal of unused and unroadworthy vehicles and all other waste. An 18-month compliance period was stipulated with the Notice due to take effect from the 22<sup>nd</sup> of June. No appeal has been lodged, and the Notice is due to be complied with by the 22<sup>nd</sup> of December 2027.
- 6.5 The final Section 215 Notice was served on the 22<sup>nd</sup> of June and relates to land at The Cottage & 3 Gwyndy, Penybryn, Llan Ffestiniog. The schedule within the Notice concentrates on improving the condition of the front elevations of both properties which front the junction leading to Blaenau Ffestiniog. A period of 12 months has been stipulated for compliance. No appeal has been lodged, and the Notice took effect on the 27<sup>th</sup> of July. The Notice is due to be complied with by the 27<sup>th</sup> of July 2027.

## **7.0 Appeals**

- 7.1 As noted above a new Enforcement Notice appeal has been lodged in respect to land at Station Approach, Station Road, Betws y Coed. As yet no start date has been provided by Planning & Environment Decisions Wales (PEDW).
- 7.2 In January 2026 it was reported to Members that an Enforcement Notice appeal relating to an unauthorised lodge development at Craig y Dderwen Hotel, Betws y Coed had been lodged. The appeal decision was made on the 19<sup>th</sup> of March, where PEDW dismissed the appeal and upheld the Enforcement Notice. The Enforcement Notice took effect on the day of the appeal decision, and the appellant had two months in which to comply. A request was made to extend the period of compliance, and an additional month was agreed. The Enforcement Notice has now largely been complied with, apart from the removal of a tarmac path.

**Before – Craig y Dderwen Hotel, Betws y Coed**



**After – Craig y Dderwen Hotel, Betws y Coed**



- 7.3 The Authority still await the appeal decision against the service of an Enforcement Notice relating to unauthorised side extensions at Glygyrog Ddu, Aberdyfi.
- 7.4 In respect to the part refusal of a Lawful Development Certificate at Tan y Coed Lodge, Ffordd Gors Road, Dyffryn Ardudwy, the Authority still await a date for the Public Inquiry.

## **8.0 Update on Notable Cases**

### **Nannau, Llanfachreth**

- 8.1 Following on from a productive site meeting held back in December 2025, deliberations have continued.
- 8.2 Emergency works to make Nannau watertight have taken place. These works have prevented any further water ingress into the building, and it is now able to start drying out. Nannau has also been emptied of chattels with any items relating to Nannau being stored in a large onsite container.
- 8.3 A pre-application enquiry has been received and responded to, and although a large quantity of information is required before informing a substantive response; this submission has resulted in an onsite meeting with a representative from CADW.
- 8.4 The Authority now await additional details to provide a full response to the pre-application enquiry.
- 8.5 Photographs of the current condition of Nannau will be presented to Members at the meeting.

## **9.0 Other Cases**

- 9.1 Members are reminded to contact the Service directly should you wish to have an update on any specific case.
- 9.2 Members are encouraged to advise members of the public to report alleged breaches of planning control through the online form 'Raise a Concern,' which is located on the Planning and Development page on the Authority's website.

## **10.0 Recommendation**

- 10.1 To note the contents of the report in relation to capacity and performance and provide any observations and comments on this.



**PLANNING AND ACCESS COMMITTEE**  
**09 SEPTEMBER 2026**

**SECTION 106 AGREEMENTS**

**SNOWDONIA NATIONAL PARK AUTHORITY  
PLANNING AND ACCESS COMMITTEE 09 SEPTEMBER 2026**

**SECTION 106 AGREEMENTS**

| <b>Rhif</b> | <b>Application No.</b> | <b>Date application was received</b> | <b>Location</b>                          | <b>Development</b>                                                                                              | <b>Present Position</b>                                                                                           |
|-------------|------------------------|--------------------------------------|------------------------------------------|-----------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------|
| 1.          | NP3/15/T173C           | 01/08/2024                           | Yr Helfa, Llanberis. LL55 4UW            | Change of use of short-term holiday letting dwelling (Use Class C6) to open market dwellinghouse (Use Class C3) | Applicants in the process of selling their property so that they can pay the commuted sum                         |
| 2.          | NP4/32/L205A           | 15/12/2025                           | Former Primary School, Trefriw. LL27 0RX | Conversion of former primary school into a single dwelling (C3 use class)                                       | Draft agreement sent 18/5/2026                                                                                    |
| 3.          | NP5/61/647A            | 12/03/2024                           | Ty'n y Gwater, Harlech. LL46 2UW         | Demolition of existing buildings and construction of a rural enterprise dwelling (Re-submission).               | Applicants in the process of purchasing the property they rent so that only they will need to sign the agreement. |

Number of applications on committee list 24 June 2026 = 3

**APPLICATIONS SUBJECT TO A SECTION 106 AGREEMENT AND WHICH HAVE BEEN COMPLETED SINCE  
PLANNING & ACCESS COMMITTEE 24 JUNE 2026**

| <b>Application No.</b> | <b>Location</b> | <b>Development</b> |
|------------------------|-----------------|--------------------|
|                        |                 |                    |

**APPLICATIONS SUBJECT TO A SECTION 106 AGREEMENT WHICH HAVE BEEN REFUSED, WITHDRAWN, OR  
DISPOSED, OR WHERE AN AGREEMENT IS NO LONGER NECESSARY SINCE PLANNING & ACCESS  
COMMITTEE 24 JUNE 2026**

| <b>Application No.</b> | <b>Location</b> | <b>Development</b> |
|------------------------|-----------------|--------------------|
|                        |                 |                    |



## **PLANNING AND ACCESS COMMITTEE**

**09 SEPTEMBER 2026**

# **OUTSTANDING APPLICATIONS WHERE MORE THAN 13 WEEKS HAVE ELAPSED**

## SNOWDONIA NATIONAL PARK AUTHORITY

### PLANNING AND ACCESS COMMITTEE 09 SEPTEMBER 2026 OUTSTANDING APPLICATIONS WHERE MORE THAN 13 WEEKS HAVE ELAPSED

#### Awaiting Ecology Information / Response / Resolutions

|             |          |                                            |                                                                                                                                                                                                                                        |
|-------------|----------|--------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| NP2/11/679H | 30/09/25 | Cae Du Camping Site, Beddgelert. LL55 4NE. | Enhancement to tourist accommodation and facilities through creation of additional touring/camping pitches, erection of new toilet blocks, and improvements to landscaping and biodiversity enhancement together with associated works |
| NP5/72/254  | 22/01/24 | Ddol Hir, Fron Goch, Bala, LL237NT         | Construction of a rural enterprise dwelling and installation of a package treatment plant.                                                                                                                                             |

#### Awaiting Details from Agent / Applicant

|              |          |                                                                        |                                                                                                                                                                                                                                                                                    |
|--------------|----------|------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| NP2/11/L9D   | 17/04/26 | Glan Gwynant, Nant Gwynant. LL55 4NW                                   | Change of use from guesthouse to dwelling (Use Class C3) and rebuilding works.                                                                                                                                                                                                     |
| NP3/15/92D   | 22/05/26 | Cae Gwyn, Nant Peris. LL55 4UH                                         | Retrospective application for the siting of a Shepherd's Hut for short term holiday accommodation use associated with the campsite.                                                                                                                                                |
| NP3/15/92F   | 22/05/26 | Cae Gwyn, Nant Peris. LL55 4UH                                         | Erection of stone barn to form shower and toilet block following partial collapse and demolition of previous stone barn (Part retrospective)                                                                                                                                       |
| NP3/21/LB67A | 07/05/26 | Ffrancon House, Nant Ffrancon, Bethesda. LL57 3LX                      | Listed Building Consent to replace five rotted front windows like for like.                                                                                                                                                                                                        |
| NP4/11/337E  | 15/01/25 | Land adjacent to Hendre Farm, Pentre Du, Betws-y-Coed. LL24 0BN        | Discharge Conditions 3 (Details Relating to Private Sewerage System), 4 (Slate Details), 6 (Stonework Sample) & 10 (Details of External Lighting) attached to Planning Consent NP4/11/337D dated 05/01/2024.                                                                       |
| NP4/32/L155E | 08/04/26 | Capel Ebeneser, Crafnant Road, Trefriw. LL27 0JQ                       | Conversion of former chapel to form 9 self-contained holiday apartments (Use Class C6) and extension to vestry roof to create dedicated bat loft (Re-submission).                                                                                                                  |
| NP5/53/T154N | 17/06/24 | National Westminster Bank Buildings, 44-46 High Street, Bala. LL23 7NE | Change of use of the ground floor from A2 use (Financial and professional services) to A1 use (Retail shops and stores), omit the previously consented semi-detached dwellings (2) and omit the previously consented single storey extension to the rear of the existing building. |
| NP5/56/153D  | 13/11/24 | Dyfi Bike Park, Pantperthog. SY20 9AS                                  | Retrospective application for the construction of café/admin block, erection of uplift shelter, additional tracks and associated jumps and amendments to opening hours,                                                                                                            |
| NP5/56/153E  | 12/02/25 | Dyfi Bike Park, Pantperthog. SY20 9AS                                  | Re-instatement of track and extension to existing site boundary                                                                                                                                                                                                                    |
| NP5/57/34D   | 19/05/26 | Livestock Market, Bala Road, Dolgellau. LL40 2YF                       | Alterations and extension to existing offices and café                                                                                                                                                                                                                             |
| NP5/57/494W  | 10/11/25 | Coleg Meirion Dwyfor, Ffordd Ty'n y Coed, Dolgellau. LL40 2SW          | Construction of a educational building and associated development, including access tracks and walkways, solar PV panels, external plant including air-source heat pumps, retaining walls, drainage, an allotment area and landscaping,                                            |
| NP5/58/227E  | 23/10/24 | Land adjoining Tan-y-Foel, Dyffryn Ardudwy.                            | Erection of 3 detached dwellings (1 affordable and 2 open market).                                                                                                                                                                                                                 |

|               |          |                                             |                                                                                                                                                                                                                                                                                                                                                                                    |
|---------------|----------|---------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| NP5/63/281    | 15/05/24 | Gorseddau, Cwmtirmynach, Bala. LL23 7EB     | Part retrospective application for replacement roof with increased eaves height to rear creating additional accommodation at first floor level, removal of 2 chimneys and addition of 2 new chimneys, installation of 4 dormer windows and 4 rooflights, alteration/addition of windows and doors, and landscaping including creation of hardstanding for parking and turning area |
| NP5/71/LB272M | 27/02/25 | Ty'n-y-Ffridd, Llanuwchllyn. LL23 7UN       | Discharge Condition 9 (Ventilation fans) attached to Planning Consent NP5/71/LB272J dated 29/01/2024                                                                                                                                                                                                                                                                               |
| NP5/73/LB27S  | 24/11/25 | The Grapes Hotel, Maentwrog. LL41 4HN       | Change of use of land to create additional car parking area, together with a new vehicular entrance from the existing car park and relocation of existing bins compound,                                                                                                                                                                                                           |
| NP5/73/LB27T  | 24/11/25 | The Grapes Hotel, Maentwrog. LL41 4HN       | Listed Building Consent for formation of car park, together with the formation of a new vehicular entrance in the boundary wall of the existing car park,                                                                                                                                                                                                                          |
| NP5/73/440    | 05/09/25 | Land opposite 1 & 2 Cefn Lllys, Gellilydan. | LL41 4ED Outline application for the erection of a single detached dwelling (open market dwelling) with all matters reserved,                                                                                                                                                                                                                                                      |

#### Awaiting Amended Plans

|             |          |                                                                      |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |
|-------------|----------|----------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| NP2/11/53A  | 22/08/25 | Eryri National Park Authority Car Park, Pont Bethania, Nant Gwynant. | Installation of package treatment plant, campervan cartridge disposal tank, construction of gabion retaining walls and associated works                                                                                                                                                                                                                                                                                                                                                                                                             |
| NP4/13/258A | 04/04/25 | Land at Coed Bryn Engan, Capel Curig. LL24 0ES                       | Installation of a 27.5m high lattice tower to be finished with a non-reflective matt green (RAL6009) installed on a 3000 x 2500mm concrete base, 9 no. antennas, 2 no. Å600mm transmission dishes and associated ancillary development including installation of ground equipment which includes 1. no meter cabinet, 1 no. generator, 1 no. viper cabinet, 1 no. M35 cabinet, 1 no. primary AIRO with IP rated sub-enclosure cabinet, 1 no. MK4 link AC cabinet, 1 no. Ericsson 6130 cabinet, 1 no. PSC cabinet, 3 no. GPS nodes and access track. |

#### Awating Response from Consultee's on recent submitted details

|               |          |                                                              |                                                                                                                                                                                                                                                    |
|---------------|----------|--------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| NP2/11/31P    | 10/07/25 | Forest Holidays Campsite, Beddgelert. LL55 4UU               | Replacement of 85 caravan and camping pitches with 22 year-round, self-contained, self-catering holiday cabins. Erection of a new reception and café building, provision of ancillary facilities, landscape planting and biodiversity enhancement. |
| NP2/16/472    | 30/01/26 | Aberdunant Hall Holiday Park, Prenteg. LL49 9SR              | Erection of a new wellness building, and minor amendments to an existing access                                                                                                                                                                    |
| NP2/16/AD472A | 11/03/26 | Aberdunant Hall Holiday Park, Prenteg. LL49 9SR              | Advertisement Consent for one permanent floor mounted slate sign                                                                                                                                                                                   |
| NP4/11/73H    | 19/12/24 | Gwydyr Hotel, Betws y Coed. LL24 0AB                         | Retrospective application for erection of detached summer house, new landscaping and re-surfacing of parking area.                                                                                                                                 |
| NP4/11/AD383H | 20/02/26 | Alpine Coffee Shop, Station Approach, Betws y Coed. LL24 0AE | Advertisement Consent to display non-illuminated external signage.                                                                                                                                                                                 |
| NP4/11/383G   | 24/02/26 | Alpine Coffee Shop, Station Approach, Betws y Coed. LL24 0AE | New shop front.                                                                                                                                                                                                                                    |
| NP4/26/348A   | 23/12/25 | Land adjoining A470, near Hendre Wen, Llanrwst.              | Proposed cattle and manure store & associated works.                                                                                                                                                                                               |

|               |          |                                                                 |                                                                                                                                                                                                                                                                                                             |
|---------------|----------|-----------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| NP5/53/576D   | 18/12/25 | Land at Bala.                                                   | Discharge Conditions 2 (Planned improvements to Bala Wastewater Treatment Works), 7 (CEMP / Method Statement), 11 (Construction Traffic Management Plan), 12 (Scheme of remediation in relation to highway work) & 15 (Detailed lighting plan) attached to Planning Permission NP5/53/576B dated 03/09/2025 |
| NP5/54/376C   |          | Hafod Owen, Abergeirw, Dolgellau. LL40 2PF                      | Change of use from C5 (Second Home) to Unique Use (Sui Generis) as a writers' retreat (amended plans/supporting information received).                                                                                                                                                                      |
| NP5/55/250    | 11/05/26 | 5 Dol Fathew, Bryncrug. LL36 9PX                                | Retrospective application for the change of use of land shown as a "hedge screen & wildlife zone" on Planning Consent NP5/55/5C to residential curtilage, and the formation of a car parking area in association with landscaping on land opposite (AMENDED PLANS RECEIVED),                                |
| NP5/57/1102C  | 21/04/26 | Ysgol Bro Idris, Dolgellau. LL40 2YW                            | Demolish buildings and create a yard and netball court.                                                                                                                                                                                                                                                     |
| NP5/58/629A   | 26/02/26 | Land between Plas Meini & Swyn y Môr, Dyffryn Ardudwy. LL42 2BH | Outline Application for the erection of 3 dwellings with integral garages (2 open market and 1 affordable), and formation of new vehicular access on to the A496                                                                                                                                            |
| NP5/62/LB297B | 05/10/22 | Capel Gwynfryn, Llanbedr. LL45 2PA                              | Conversion of chapel to dwelling, alterations to existing access (Relocate plinth), and installation of package treatment plant and associated drainage.                                                                                                                                                    |
| NP5/67/352    | 07/08/25 | Coed y Fedw, Abergynolwyn.                                      | Vehicular access to public highway and construction of access track for forestry purposes.                                                                                                                                                                                                                  |
| NP5/70/6H     | 19/12/25 | Maesyfallen, Rhosygdwaliau. LL23 7EY                            | Construction of an agricultural storage building                                                                                                                                                                                                                                                            |
| NP5/71/140A   | 22/12/25 | Weirglodd Ddu, Llanuwchllyn. LL23 7SU                           | Conversion of outbuilding to form annexe accommodation and installation of package treatment plant                                                                                                                                                                                                          |
| NP5/71/145B   | 14/01/26 | Craig-y-Tan, Llanuwchllyn. LL23 7TA                             | Construction of rural enterprise dwelling.                                                                                                                                                                                                                                                                  |
| NP5/73/LB74W  | 17/02/26 | Plas Dol-y-Moch, Maentwrog. LL41 3YT                            | Listed Building Consent for the erection of single storey infill extension within existing kitchen wing courtyard along with minor alterations, and minor alterations to internal arrangement of dormitory and bathroom facilities on upper floors.                                                         |
| NP5/73/LB74X  | 17/02/26 | Plas Dol-y-Moch, Maentwrog. LL41 3YT                            | Erection of single storey infill extension within existing kitchen wing courtyard and minor alterations.                                                                                                                                                                                                    |

#### Awaiting Applicants Response to S.106 Request Letter

|             |          |                                        |                                                                                                                                                                       |
|-------------|----------|----------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| NP4/12/228C | 01/10/24 | Ysgol Tal-y-Bont, Tal-y-Bont. LL32 8QF | Demolition of former classroom cabin and conversion of former school and headmaster's lodge into two dwellings and new double garage / workshop (Repeat Application). |
|-------------|----------|----------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------|

Total applications on list = 41

Total applications on list Committee 24 June 2026 = 40



**PLANNING AND ACCESS COMMITTEE**  
**09 SEPTEMBER 20026**

**DELEGATED DECISIONS**

# SNOWDONIA NATIONAL PARK AUTHORITY

## PLANNING AND ACCESS COMMITTEE 09 SEPTEMBER 2026

### DELEGATED DECISIONS

#### Applications Approved

|     | Application No. | Proposed                                                                                                                                         | Location                                         | Decision Date | Case Officer      |
|-----|-----------------|--------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------|---------------|-------------------|
| 1.  | NP2/11/124A     | Installation of telemetry bollard                                                                                                                | Bank of Afon Glaslyn, Beddgelert.                | 17/07/26      | Mr. Dafydd Thomas |
| 2.  | NP2/11/188B     | Construction of a two-storey side extension, parking bay and landscaping                                                                         | Tan y Dderwen, Beddgelert. LL55 4UY              | 28/07/26      | Mr. Dafydd Thomas |
| 3.  | NP2/16/102A     | Change of use from second home (Use Class C5) to a mixed use as a second home (C5) and short term holiday accommodation (Use Class C6).          | 5 London Terrace, Prenteg. LL49 9SS              | 22/07/26      | Mr. Dafydd Thomas |
| 4.  | NP2/16/446B     | Retrospective application for the construction of bin store shelter and concrete hardstanding to campsite entrance                               | Ty'n Llan Campsite, Cwm Pennant. LL51 9AX        | 15/07/26      | Mrs. Alys Tatum   |
| 5.  | NP2/16/468B     | Erection of garden room                                                                                                                          | Beudy'r Garth, Cwmystradllyn. LL51 9BQ           | 07/05/26      | Mr. Dafydd Thomas |
| 6.  | NP3/15/246      | Conversion and alteration works to an existing outbuilding in order to form new self-contained holiday accommodation (falling under Use Class 6) | Barn adjacent to 1 Mur Mawr, Llanberis, LL55 4TG | 21/07/26      | Mr Richard Thomas |
| 7.  | NP4/12/LB38H    | Listed Building Consent to install external flue on rear roof slope                                                                              | Bwthyn Rhyd, Rowen. LL32 8YU                     | 15/07/26      | Miss Eva Jones    |
| 8.  | NP4/19/83C      | Demolition of detached outbuilding and garage and erection of split-level extension to rear of dwelling                                          | Derwen Deg, Llechwedd, Conwy. LL32 8DX           | 21/05/26      | Mr. Dafydd Thomas |
| 9.  | NP5/50/427E     | Erection of a staircase linking the garden and shelter building                                                                                  | Crow's Nest, Aberdyfi. LL35 0NG                  | 26/06/26      | Mr David Jones    |
| 10. | NP5/50/584A     | Erection of a free-standing raised terrace                                                                                                       | The Coach House, Aberdyfi. LL35 0NR              | 24/07/26      | Mr David Jones    |
| 11. | NP5/50/700B     | Extension and alterations                                                                                                                        | 29 Mynydd Isaf, Aberdyfi. LL35 0PH               | 15/06/26      | Mr David Jones    |
| 12. | NP5/50/L212D    | Extensions & alterations                                                                                                                         | 5 Nantiesyn, Aberdyfi. LL35 0NB                  | 11/06/26      | Mr David Jones    |

|     |               |                                                                                                                                                                                                                                                        |                                                              |          |                |
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| 13. | NP5/52/318D   | Demolition of existing chalet, construction of a replacement dwelling, including the installation of solar panels and a treatment plant, and the formation of a parking and turning area                                                               | Bryn Celyn, Arthog. LL39 1BJ                                 | 07/05/26 | Mr David Jones |
| 14. | NP5/52/LB65G  | Retrospective permission to install an air source heat pump on the west elevation                                                                                                                                                                      | Hen Ddol Cottage, Y Friog. LL38 2TJ                          | 20/05/26 | Mr David Jones |
| 15. | NP5/53/576E   | Discharge Conditions 8 (Landscaping Scheme) & 9 (Biodiversity Management Plan) attached to Planning Permisison NP5/53/576B dated 03/09/2025                                                                                                            | Land at Bala.                                                | 26/06/26 | Mr Ben Jones   |
| 16. | NP5/54/261B   | Construction of external ramps and steps, re-roofing including raising ridge height by 300mm, installation of external render and external wall insulation                                                                                             | Village Hall, Brithdir.                                      | 29/05/26 | Mr Ben Jones   |
| 17. | NP5/55/240    | Alterations and extensions                                                                                                                                                                                                                             | Llwyn Glas, Brynchrug. LL36 9RW                              | 08/06/26 | Mr David Jones |
| 18. | NP5/57/LB344A | Listed Building Consent for installation of internal stairlift                                                                                                                                                                                         | Glyn Arian, 1 Idris Terrace, Cader Road, Dolgellau. LL40 1RT | 07/07/26 | Miss Eva Jones |
| 19. | NP5/57/LB406A | Listed Building Consent to convert the outbuilding into an annexe accommodation in connection with the Bed and Breakfast use, internal and external alterations and the installation of an air-source heat pump                                        | Bryn Mair, Dolgellau. LL40 1SR                               | 29/07/26 | Mr David Jones |
| 20. | NP5/57/LB406B | Conversion of outbuilding into annexe accommodation in connection with the Bed and Breakfast use, internal and external alterations and the installation of an air source heat pump, engineering works to the vehicular access, including resurfacing. | Bryn Mair, Dolgellau. LL40 1SR                               | 29/07/26 | Mr David Jones |
| 21. | NP5/58/19M    | Relocation and re-siting of 9 static holiday caravans (no increase in overall number of units) within the existing site boundary, together with a relocated play area and environmental improvements                                                   | Sarnfaen Holiday Park, Talybont. LL43 2AZ                    | 04/06/26 | Mr Aled Lloyd  |
| 22. | NP5/58/70G    | Erection of an agricultural building to store manure                                                                                                                                                                                                   | Ystumgwern, Dyffryn Ardudwy. LL44 2DD                        | 18/05/26 | Mr Aled Lloyd  |
| 23. | NP5/59/236F   | Demolition of the existing 'Portacabins' and the erection of a replacement timber structure together with the siting of a movable timber sauna pod and beauty treatment cabin                                                                          | Gwesty Seren, Llan Ffestiniog. LL41 4NS                      | 09/07/26 | Mr Ben Jones   |

|     |               |                                                                                                                                                                                                                                                         |                                                                               |          |                |
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| 24. | NP5/59/LB475M | Listed Building Consent to remove ventilation ducts                                                                                                                                                                                                     | Ty'r Wern, Llan Ffestiniog. LL41 4LS                                          | 10/07/26 | Miss Eva Jones |
| 25. | NP5/61/476A   | Erection of single storey extension to front elevation to replace existing conservatory, replacement of existing rear conservatory roof, alterations to fenestration and replacement of existing flat roof over office                                  | Aris, 4 Pen-y-Bryn, Harlech. LL46 2SL                                         | 01/06/26 | Mr Aled Lloyd  |
| 26. | NP5/61/670A   | Erection of single storey rear extension and new balcony/bridge with glass balustrades (Amended application to that previously approved under reference no. NP5/61/670 dated 18/02/2025)                                                                | Afallon, Ffordd Pen Llech, Harlech. LL46 2YL                                  | 14/05/26 | Mr Aled Lloyd  |
| 27. | NP5/61/682    | Installation of 2 dormers on front elevation, 4 rooflights on the rear elevation, alterations to windows and erection of side conservator                                                                                                               | Golygfa Hyfryd, Pencerrig, Ffordd Uchaf, Harlech. LL46 2SS                    | 12/05/26 | Mr Aled Lloyd  |
| 28. | NP5/61/83E    | Installation of ground mounted solar array (14 panels)                                                                                                                                                                                                  | Cynfal, 40 Heol y Bryn, Harlech. LL46 2TU                                     | 30/07/26 | Mr Aled Lloyd  |
| 29. | NP5/61/AD20K  | Advertisement Consent for replacement of existing signage and the display of 2 illuminated fascia signs, 2 illuminated pylon signs & 1 non-illuminated pylon sign                                                                                       | Garej Toyota, Ffordd Newydd, Harlech. LL46 2PS                                | 30/07/26 | Mr Aled Lloyd  |
| 30. | NP5/62/LU63M  | Certificate of Lawful Use (Existing) that the use in relation to Planning Appeal decision APP/H9504/A/21/3270953 dated 28/06/21 is extant and Condition 1 of the Appeal decision has been fulfilled and development has commenced within the five years | Cymru Lân Fallen Stock Collection Centre, Pentre Gwynfryn, Llanbedr. LL45 2PB | 30/07/26 | Mr Aled Lloyd  |
| 31. | NP5/64/86J    | Erection of manure store (revised application to that refused under reference NP5/64/86H)                                                                                                                                                               | Fferm Nant Y Cynog, Llanegryn, LL36 9LN                                       | 04/06/26 | Mr David Jones |
| 32. | NP5/65/19C    | Installation of ground mounted solar panels (18 panels, arranged in 3 rows of 6)                                                                                                                                                                        | Figra, Bontddu. LL40 2UR                                                      | 03/08/26 | Mr Ben Jones   |
| 33. | NP5/67/55A    | Installation of a sewage treatment plant to replace the existing foul drainage system                                                                                                                                                                   | Ty Gwyn, Abergynolwyn. LL36 9UP                                               | 10/07/26 | Mr David Jones |
| 34. | NP5/68/100G   | Change of use of building and erection of single storey extension to existing building for use in association with existing pottery business                                                                                                            | Creua, Llanfrothen. LL48 6SH                                                  | 09/06/26 | Mr Aled Lloyd  |

|     |             |                                                                                                                                                                                                                                                                                                                             |                                                     |          |                |
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| 35. | NP5/69/252C | Application to discharge Section 106 Agreement dated 03/04/2006 in relation to Planning Consent NP5/69/252A                                                                                                                                                                                                                 | Land to rear of Frondeg, Llwyngwrl.                 | 08/06/26 | Mr David Jones |
| 36. | NP5/69/434  | Alterations and extensions.                                                                                                                                                                                                                                                                                                 | Shelton, Celynnin Road, Llwyngwrl. LL37 2JD         | 23/06/26 | Mr David Jones |
| 37. | NP5/70/123D | Change use of land to residential curtilage. Demolition of existing single storey garage and construction of two storey extension, and conversion of barn into a swim spa, changing and bathroom facilities, and storage space for disabled user. Construction of a single storey link extension between the house and barn | Garth Lwyd, Rhosygwaliau. LL23 7PL                  | 01/06/26 | Mr David Jones |
| 38. | NP5/71/83C  | Construction of cattle and feeding store with underground slurry store                                                                                                                                                                                                                                                      | Y Bryn, Cynllwyd, Llanuwchllyn. LL23 7DE            | 10/07/26 | Mr Ben Jones   |
| 39. | NP5/72/36A  | Conversion of existing attached barn to form extension to dwelling                                                                                                                                                                                                                                                          | Ty'n-y-Bryn, Rhyduchaf. LL23 7SB                    | 26/06/26 | Mr Ben Jones   |
| 40. | NP5/74/343C | Upgrading of existing telecommunications site, comprising the installation of a generator and ancillary development                                                                                                                                                                                                         | Penantigi Uchaf, Dinas Mawddwy. SY20 9LX            | 07/05/26 | Mr Ben Jones   |
| 41. | NP5/74/507A | Installation of 48 solar panels on shed roof                                                                                                                                                                                                                                                                                | Pennantigi Isaf, Dinas Mawddwy. SY20 9LX            | 15/07/26 | Mr Ben Jones   |
| 42. | NP5/74/76C  | Siting of 1 holiday unit and associated works                                                                                                                                                                                                                                                                               | Land at Dolbrawdmaeth Hotel, Dinas Mawddwy SY20 9LP | 28/05/26 | Mr Ben Jones   |
| 43. | NP5/74/LB9G | Listed Building Consent for internal alterations to include removal and inclusion of stud walls to improve layout and function, inclusion of new staircase to improve fire protection and escape together with external alterations to block up doorway and change window to doorway and associated works                   | Brigands Inn, Mallwyd. SY20 9HJ                     | 09/06/26 | Miss Eva Jones |
| 44. | NP5/75/68F  | Discharge Condition 4 (Details of Archaeological works) attached to Planning Permission NP5/75/68B dated 21/12/2023                                                                                                                                                                                                         | Land opposite Maesteg, Pennal. SY20 9DL             | 29/05/26 | Mr David Jones |

|     |              |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                             |          |                |
|-----|--------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------|----------|----------------|
| 45. | NP5/77/336L  | Amendments to approved plans attached to Planning Permission NP5/77/336B dated 24/09/2021 including changes to the slope direction of the central section of the Tunnel Head House (THH) building roof, minor amendments to equipment within the THH/Sealing End Compound (SEC). Gradient of access road modified to a more gradual incline along the length to avoid a steep rise to the compound area. Inclusion of emergency generator and fuel storage tank and associated changes to drainage | Land at Cilfor, Llandecwyn.                 | 27/07/26 | Mr Aled Lloyd  |
| 46. | NP5/77/LB65F | Listed Building Consent for internal amendments to previously approved consent (NP5/77/LB65D dated 12/08/2025) to include lowered additional balustrade to gallery level, new straight stair section, and relocation of bathroom and shower room facilities to garden side of chapel                                                                                                                                                                                                               | Capel Soar, Talsarnau. LL47 6UT             | 16/07/26 | Miss Eva Jones |
| 47. | NP5/78/608   | Installation of dormer window and erection of sun lounge extension                                                                                                                                                                                                                                                                                                                                                                                                                                 | Ty'n-y-Coed, Trawsfynydd. LL41 4UW          | 08/07/26 | Mr Ben Jones   |
| 48. | NP5/78/LB43E | Replacement of domestic oil tank within curtilage of Listed Building                                                                                                                                                                                                                                                                                                                                                                                                                               | White Lion Inn, Trawsfynydd. LL41 4UB       | 29/06/26 | Miss Eva Jones |
| 49. | NP5/79/338D  | Discharge Conditions 3 (Archaeological work) & 10 (External render) attached to Planning Permission NP5/79/338C dated 01/05/2025                                                                                                                                                                                                                                                                                                                                                                   | Erw Faethlon, Cwm Maethlon, Tywyn. LL36 9HY | 10/07/26 | Mr David Jones |

### Applications Refused

|    | App No.       | Proposed                                                                                    | Location                                                | Reason for Refusal                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | Case Officer    |
|----|---------------|---------------------------------------------------------------------------------------------|---------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------|
| 1. | NP2/11/LU111E | Certificate of Existing Lawful Use or Development for the stationing of three mobile units. | Land opposite Bistro Hebog, Caernarfon Road, Beddgelert | 04/06/26<br>The structures, by reason of their degree of permanence, constitute operational development.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | Mrs. Alys Tatum |
| 2. | NP2/11/LB234  | Replacement front door and windows                                                          | Colwyn, Caernarfon Road, Beddgelert. LL55 4UY           | 28/07/26<br>The information provided is inadequate and lacking in detail regarding the potential impact of the proposed works on the significance of the listed building. Consequently, the proposals present a risk to the character, appearance, and features of architectural and historic significance of the heritage asset and would neither preserve nor enhance the character or appearance of the Conservation Area. The proposal therefore fails to comply with the requirements of Policies A, Ff, 1, and 7 of the Eryri Local Development Plan 2016-2031; the guidance set out in Planning Policy Wales 12 (February 2024), specifically paragraphs 6.1.10 to 6.1.13; and the guidance set out in Technical Advice Note 24 The Historic Environment, specifically paragraphs 5.9 to 5.18. | Miss Eva Jones  |
| 3. | NP5/77/36D    | Erection of detached double garage incorporating utilities area                             | Llidiart-Garw, Eisingrug, Talsarnau. LL47 6UY           | 17/06/26<br>The proposed double garage, by reason of its siting, scale and design would detract from the character and appearance of the host traditional dwelling and would be a visually prominent and incongruous development within the landscape, contrary to policies DP1 and DP 7 of the adopted Eryri Local Development Plan 2016-2031.                                                                                                                                                                                                                                                                                                                                                                                                                                                       | Mr Aled Lloyd   |

|    |             |                                                                                                                                                                                                              |                                        |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |                 |
|----|-------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------|
| 4. | NP5/77/259G | Retrospective application for the retention of an extended hardstanding access track for 2 Shepherd's huts, together with the retention of three illuminated light bollards and an electricity hook up point | Bryn Derw, Cilfor, Talsarnau. LL47 6YG | <p>10/06/26</p> <p>The development, by reason of it facilitating the introduction of a new touring site, is contrary to Development Policy 23: Touring and Camping Sites which states that no new touring or camping sites will be permitted within the National Park. The development does not either fall under Development Policy 29: Alternative Holiday Accommodation, Development Policy 20: Agricultural Diversification and SPG 8: Visitor Accommodation as it does not form part of an agricultural diversification scheme and is considered to adversely affect landscape character. The development is also contrary to the objectives of Strategic Policy A: National Park Purposes and Sustainable Development and Strategic Policy C: Spatial Development Strategy.</p> <p>The development, by reason of the introduction of hardstanding and urbanised features into the open countryside to create permanent caravan pitches, fails to conserve or enhance the special qualities of the landscape, contrary to Development Policy 1: General Development Principles of the Eryri Local Development Plan which seeks to ensure that development is compatible with the capacity and character of the site and locality within which it is located.</p> | Mrs. Alys Tatum |
|----|-------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------|



## Appeal Decision

by I Stevens BA (Hons) MCD MBA MRTPI

an Inspector appointed by the Welsh Ministers

Decision date: 16/06/2026

Appeal reference: CAS-04632-J5H6B2

Site address: Hangin' Pizzeria, Unit 1, Station Approach, Betws Y Coed, LL24 0AE

- The appeal is made under section 78 of the Town and Country Planning Act 1990 against a refusal to grant planning permission.
- The appeal is made by Mr & Mrs J Potgeiter against the decision of Eryri National Park Authority.
- The application Ref NP4/11/377D, dated 25 November 2024, was refused by notice dated 16 April 2025.
- The development proposed is to enclose road side elevation of existing covered area with bifold doors and glazed screens.
- A site visit was made on 22 April 2026.

### Decision

1. The appeal is allowed and planning permission is granted to enclose road side elevation of existing covered area with bifold doors and glazed screens at Hangin' Pizzeria, Unit 1, Station Approach, Betws Y Coed, LL24 0AE, in accordance with the terms of the application, Ref NP4/11/377D, dated 25 November 2024, subject to the conditions set out in the schedule to this decision letter.

### Main Issues

2. The main issues are the effect of the proposed development on:
  - The character and appearance of the area, having regard to its location in the Betws y Coed Conservation Area and Eryri National Park.
  - The vitality and viability of Betws y Coed retail centre.

### Reasons

#### *Character and Appearance*

3. The appeal site forms part of a covered seating area outside a restaurant. It is located at one corner end of the Betws y Coed railway station building which includes commercial units facing on to Station Road. A glazed canopy sits above the seating area, which also forms part of a walkway in front of retail units. Some of the canopy supporting columns are affixed to a low stone wall on one side of the space, which protrudes beyond the canopy to the highway edge.

4. The existing canopy has a degree of permanence, complementing the narrower but longer feature which runs along much of the walkway in front of the station building. The proposal would partially enclose the covered space with glazing on its frontage and side elevations, along the length of the stone wall, which would be partly reconfigured to align with the canopy edge. A bifold door would also be installed along this highway-facing elevation. A void in the side wall of the adjacent retail unit would be replaced with full glazing.
5. The appeal site is in the Betws y Coed Conservation Area. The National Park Authority (NPA) have identified the railway station building as a historic asset of special local interest. Whilst continuing to serve as a railway station on the Conwy Valley Line, the building has evolved over time to accommodate a range of uses that reflect Betws y Coed's role as a visitor destination. There is visual coherence in the use of openings and traditional materials palette along the frontage. The rhythmic arrangement of shopfronts, with alternating colours to the doors and window frames, is evident in the units nearest the appeal site. These features collectively give visual interest to the large station building.
6. The evolving nature and use of the building is reflected in the variety of alterations and additions to the street scene directly in front of it. They include outdoor seating, planters of varying heights and types, parasols, and lighting. These features contribute to the busy appearance of the street scene.
7. The appeal site is viewed in this context, forming part of the wider outdoor seating area for different eateries. The juxtaposition of commercial activity and tangible signs of local history give the area a distinctive and pleasant character, which is experienced when moving along the covered walkway.
8. The proposed glazing and bifold doors would give greater definition to the covered seating area. Relative to the scale of the station building and outdoor seating areas, the enclosed space would be minor. It would also have a simple form. The bifold doors would be a minor modern addition, but neither it nor the window frames would be particularly bulky, with materials matching the existing canopy. The rectangular dimensions would be sympathetic to the existing façade. Minor alterations to the position of a section of stone wall would not appear incongruous. The station building would retain its features of interest and be visible through the glazing.
9. Whilst the NPA consider that views of the station building frontage would be obscured, the impacts would be minimal when the existing situation has drop-down blinds which partially obscure views of the shopfronts. In any case, the glazing and bifold doors would be transparent. Views of the corner shopfronts would still be possible. The rhythmic composition of shopfront displays would be unaffected.
10. The proposal would have a functional design that complements the existing building and area character, whilst also serving a meaningful purpose in protecting customers who are seated outdoors from adverse weather conditions. These aims accord with one of the objectives in Planning Policy Wales Edition 12 (PPW) to preserve or enhance the character or appearance of conservation areas, whilst at the same time helping them remain vibrant and prosperous.
11. The enclosed space would not be an alien feature in front of the wider building, as I saw another seating area with a roof and glazing near the railway station entrance. Although there would be visual change through the proposed works, they would be read as relatively minor alterations that do not conceal the architectural and historic value of the building. The entire canopied area would not be fully enclosed, and the building would continue to be appreciated both in close range along the covered walkway and in wider

views along the footway on the opposite side of Station Road. This broadly accords with the National Park's Special Qualities, which amongst others include architectural heritage reflected in the historic environment, and extensive opportunities for recreation and leisure.

12. Reference has been made to incremental changes along the street. I do not have details of all changes, but in any case, I have assessed the proposal on its individual merits having regard to development plan policy and my site visit observations. I have also had special regard under the Historic Environment (Wales) Act 2023 to the desirability of preserving or enhancing the character or appearance of the area.
13. The proposal would have a neutral effect on the Betws y Coed Conservation Area, thereby preserving its character and appearance. It would accord with National Park purposes in Strategic Policy A of the Eryri Local Development Plan 2016-2031 (LDP), which amongst others include respecting and enhancing the historic environment. It would also satisfy LDP Strategic Policy Ff, in not adversely affecting the Conservation Area or traditional building. There would also be no conflict with LDP Development Policy 1 regarding the nature, location and siting, height, form and scale of development and its sympathetic use of materials.

#### *Retail Centre and Highway Safety*

14. The appeal site forms part of the retail area for Betws y Coed. There are a mix of retail uses along the wider station building including cafes, restaurants, gift shops, and a gallery, amongst others. This offering is primarily aimed at tourists which is reflected in efforts to enhance the visitor experience through outdoor seating and related paraphernalia. The mix of uses and public realm works contribute to the vitality and viability of the retail area.
15. Technical Advice Note (TAN) 4 - Retail and Commercial Development recognises that for retail centres to be sustainable in the longer term they need to react to changes in the marketplace and adapt to the changing needs of society, whilst ensuring that centres remain sustainable in the longer term. This advice applies to the appeal proposal, where the covered space is already in use as a seating area for the adjacent restaurant. The proposal could facilitate increased use of that space during trading hours throughout the year, thereby supporting Betws y Coed's retail core. This, in turn, could increase vibrancy along Station Road and benefit the local economy.
16. The canopy links with the covered walkway which terminates in front of the appeal site at the highway edge, where tactile paving denotes a crossing point across Station Road. The appellant maintains that pedestrians could still open the bifold doors to access the canopied walkway, and the doors would never be permanently closed. Even if they were closed at certain times, by moving the front portion of the wall slightly back to align with the canopy edge, space would be created to allow pedestrian movement around the glazed structure, without needing to enter the public highway. It is a short distance around the stone wall to the covered walkway, ensuring ease of access for the public and emergency services.
17. The proposal would not prohibit pedestrians from continuing to cross the highway at the current point. However, to aid pedestrian movement near the highway edge I agree with the NPA, on the advice of the local highway authority, that the area where the wall is to be reconfigured is finished with appropriate surfacing, so that it is clearly delineated as a footway. This would be on land within the appellant's ownership. Subject to a planning condition securing the necessary details, the proposal would maintain good access within the retail centre, which TAN 4 recognises is key to the vibrancy of a place.

18. I have no tangible evidence before me that the proposal would impact on the vitality and viability of the adjacent gift shop, at the corner end of the station building. The shop has a large sign on the side of the building facing Station Road, informing potential customers of its location. Customers would have convenient access to the shop through the bifold doors or by moving the short distance around the stone wall to the covered walkway. As the gift shop and outdoor seating areas are within the appellant's ownership, they would understandably wish to maintain convenient access to these spaces. Any potential change of use of the gift shop is speculative and falls outside the scope of this appeal. Besides, the NPA have an established policy framework in place to deal with changes of use within retail areas.
19. I conclude that the proposal would not harm the vitality or viability of Betws y Coed retail centre. By enabling inclusive access to facilities and a design compatible with the capacity and character of the site and locality, the proposal accords with Strategic Policy A and Development Policy 1, respectively. It would also satisfy the broad thrust of advice in TAN 4.

### **Other Matters, Conditions and Conclusion**

20. My attention has been drawn to a draft Conservation Area Appraisal and Management Plan for Betws y Coed, which I understand has been the subject of public consultation. However, as it is in draft form and could be changed prior to adoption, I afford it little weight in this appeal.
21. The submitted plans and Green Infrastructure Statement identify 2 bird boxes to be affixed to the railway station building, within the appellant's ownership. Their position would accord with advice from the NPA Planning Ecologist and therefore secure biodiversity enhancement.
22. As explained under the second main issue, a condition is necessary to secure details of the surface finish where the wall is to be reconfigured, with an agreed timetable to secure delivery of works.
23. I have considered objections to the proposal and addressed relevant design, retail impact, and pedestrian safety issues above. By maintaining convenient pedestrian access around the enclosed structure, including the bifold door and open-ended section in front of the station building, the proposal would not result in an unacceptable risk to fire safety.
24. For the reasons given above, and having regard to all other matters raised, I conclude that the appeal should be allowed.
25. In reaching my decision, I have taken into account the requirements of sections 3 and 5 of the Well-Being of Future Generations (Wales) Act 2015. I consider that this decision is in accordance with the Act's sustainable development principle through its contribution towards one or more of the Welsh Ministers' well-being objectives.

*I Stevens*

INSPECTOR

## SCHEDULE OF CONDITIONS

- 1) The development shall begin not later than five years from the date of this decision.

Reason: To comply with Section 91 of the Town and Country Planning Act 1990.

- 2) The development shall be carried out in accordance with the following approved plans and documents:

- Location Plan. Drawing Number A-00-01. Dated 25 November 2024
- Site Block Plan. Drawing Number A-00-02. Dated 25 November 2024
- Proposed Plan & Elevations. Drawing Number A-03-01 Rev 01. Dated 4 December 2024
- Design and Access Statement, dated 25 November 2024
- Heritage Impact Assessment, dated 25 November 2024
- Green Infrastructure Statement

Reason: To ensure the development is carried out in accordance with the approved documents, plans and drawings submitted with the application.

- 3) No development shall take place until a scheme for the surface finishing of the area where the wall is to be reconfigured has been submitted to and agreed in writing by the local planning authority. The scheme shall include details of the materials and a timetable for its implementation.

Reason: In the interests of pedestrian safety in accordance with Strategic Policy A of the Eryri Local Development Plan 2016-2031.